

PROJECT NAME

NEW 2-STORY DUPLEX CONSTRUCTION
(2) 2940 SF LIVING AND 444 SF GARAGE
(2) 4 BEDROOMS & 4.5 BATHS

PROJECT ADDRESS

121 CECIL PL COSTA MESA, CA 92627

SUBJECT LOT INFORMATION

Table with 2 columns: LEGAL DESCRIPTION, APN, ZONING, USE, ORIGINAL LOT SIZE, EXISTING NUMBER OF UNITS, EXISTING SQUARE FOOTAGE, YEAR BUILT.

PROJECT AREA BREAKDOWNS

Table with 3 columns: ORIGINAL DEVELOPMENT LOT, NEW DEVELOPMENT LOT, (2) 1ST FLOORS, (2) 2ND FLOORS, LOT COVERAGE, OPEN SPACE, (2) DRIVEWAYS, (2) GARAGES, (2) 2ND FLOORS, 2ND FLOOR LIMIT.

REQUIRED PARKING: (2) 2 COVERED & 2 OPEN
PROVIDED PARKING: (2) 2 COVERED & 2 OPEN

Table with 2 columns: 121 CECIL PL A, 121 CECIL PL B. Rows include LIVING, GARAGE, TOTAL BUILDING, COVERED PATIO.

CODE REVIEW

ALL DESIGNS, PLANS, CONSTRUCTION WORK, AND MATERIALS SHALL CONFORM STRICTLY TO THE FOLLOWING APPLICABLE CODES:

- CITY OF COSTA MESA LOCAL ORDINANCES
CALIFORNIA BUILDING CODES
2022 CRC 2022 CBC 2022 CFC 2022 CPC 2022 CEC
2022 CMC 2022 CEES (CA ENERGY) 2022 CG (CAL GREEN)
ALL OTHER FEDERAL, STATE, AND LOCAL CODES

Table with 2 columns: OCCUPANCY TYPE, TYPE OF CONSTRUCTION, FIRE SPRINKLERS, NUMBER OF STORIES.

DEFERRED SUBMITTALS

- 1. FIRE SPRINKLERS (NFPA-13D)
2. SOLAR PHOTOVOLTAICS (PV)
3. SOUND ATTENUATION DESIGN FOR HVAC UNITS
4. SITE WALLS

NOTE: DEFERRED SUBMITTALS TO BE REVIEWED BY PROJECT DESIGNER OR ENGINEER OF RECORD AND CERTIFIED PRIOR TO SUBMITTAL FOR PLAN CHECK OR APPROVAL BY THE CITY.

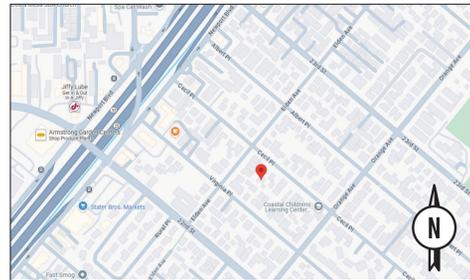
SCOPE OF WORK

DEMOLISHING EXISTING ONE-STORY RESIDENCE (1,530 SF) AND DETACHED GARAGE (648 SF), AND CONSTRUCTING A NEW TWO-STORY DUPLEX TOTALING 5,880 SF LIVING AND 888 SF GARAGES.

PROJECT TEAM

Table with 2 columns: OWNER, PROJECT DESIGNER, LAND SURVEYOR, SOILS ENGINEER, STRUCTURAL ENGINEER, CIVIL ENGINEER, ENERGY CONSULTANT.

VICINITY



SHEET INDEX

Table with 3 columns: Sheet Number, Title, Description. Lists sheets 1 through 12 including Title Sheet, Topographic Survey, Site Plan, Landscape Plan, Irrigation Plan, Floor Plans, Roof Plan, Elevations, Breakdowns, Privacy Impact Study, and Building Sections.

CONSTRUCTION REQUIREMENTS

- PLUMBING
1. WATER CLOSETS TO HAVE A SIDE CLEARANCE OF 15 INCHES ON EACH SIDE MEASURED FROM THE CENTERLINE OF THE WATER CLOSET TO THE WALLS OR OTHER OBSTRUCTIONS. (CPC 402.5)
2. THE FOLLOWING WATER-CONSERVING PLUMBING FIXTURE FLOW RATES
A. WATER CLOSET TO BE 1.28 GALLONS PER FLUSH MAXIMUM OR DUAL FLUSH PER CPC 411.2
B. KITCHEN FAUCET TO BE 1.8 GALLONS PER MINUTE, MAXIMUM, PER CPC 420.2.1 & 420.2.2
C. RESIDENTIAL LAVATORY FAUCET TO BE 1.2 GALLONS PER MINUTE, MAXIMUM PER CPC 407.2.2
D. SHOWER HEADS TO BE 1.8 GALLONS PER MINUTE, MAXIMUM PER CPC 408.2
ELECTRICAL
1. EXTERIOR LIGHTING LUMINAIRES TO MEET THE FOLLOWING REQUIREMENTS, AS APPLICABLE PER CEC 150.0(K)(3)
A. CONTROLLED BY A MANUAL ON AND OFF SWITCH THAT DOES NOT OVERRIDE TO ON THE AUTOMATIC ACTIONS OF ITEMS B OR C BELOW; AND
B. CONTROLLED BY PHOTOCELL AND MOTION SENSOR. CONTROLS THAT OVERRIDE TO ON SHALL NOT BE ALLOWED UNLESS THE OVERRIDE AUTOMATICALLY REACTIVATES THE MOTION SENSOR WITHIN 6 HOURS; OR
C. CONTROLLED BY ONE OF THE FOLLOWING METHODS:
I. PHOTOCONTROL AND AUTOMATIC TIME SWITCH CONTROL
II. ASTRONOMICAL TIME CLOCK
III. ENERGY MANAGEMENT CONTROL SYSTEM
2. PROVIDE A SMOKE AND CARBON MONOXIDE DETECTOR OUTSIDE THE VICINITY OF SLEEPING ROOMS PER (CRC 314.3 AND CRC R315.3)
3. LIGHTS & RECEPTACLES: PLAN ON ONE SWITCHABLE RECEPTACLE OR LIGHT IN EVERY ROOM AND HALL. PLAN ON A LIGHT OUTSIDE EXIT DOORS. IF LIGHTS ARE PLANNED IN CLOSETS CONSULT ARTICLE 410.8 OF THE 2022 C.E.C. PLAN TO INSTALL AN ELECTRICAL RECEPTACLE WITHIN 6 FEET OF ALL POINTS ALONG THE WALL IN ALL HABITABLE ROOMS. PLAN ON ONE GFCI PROTECTED RECEPTACLE AT THE BATHROOM SINK. RECEPTACLES MUST BE PLACED EVERY TWO FEET ABOVE KITCHEN COUNTERS AND BE GFCI PROTECTED. ALL LIGHTING MUST COMPLY WITH THE 2007 CALIFORNIA ENERGY CODE. CHECK FOR TITLE 24 REQUIREMENTS.
MECHANICAL
1. ROOMS CONTAINING BATHTUBS, SHOWERS, SPAS AND SIMILAR FIXTURES SHALL BE PROVIDED WITH AN EXHAUST FAN WITH HUMIDITY CONTROL SENSOR HAVING A MINIMUM CAPACITY OF 50 CFM DUCTED TO TERMINATE OUTSIDE THE BUILDING. (CRC R303.3, CAL GREEN 4.506.1, CBC 1202.5.2.1, CMC 402.5)
2. WHERE WATER CLOSET COMPARTMENT IS INDEPENDENT OF THE BATHROOM OR SHOWER AREA, A FAN WILL BE REQUIRED IN EACH AREA. BATHROOMS SHALL HAVE AN EXHAUST FAN WITH HUMIDITY CONTROL SENSOR, MIN. 50 CFM CAPACITY. (CRC R303.3)
3. EXHAUST DUCTS SHALL TERMINATE 3'-0" FROM OPENINGS INTO THE BUILDING. (CMC 502.21)
BATHROOM
1. BATHTUB AND SHOWER FLOORS AND WALLS ABOVE WITH BATHTUBS INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR. (CRC R307.2)
2. GYPSUM BOARD SHALL NOT BE USED WHERE THERE WILL BE DIRECT EXPOSURE TO WATER, OR IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY. (CRC R702.3.7)
3. WALL COVERING OF SHOWERS OR TUBS WITH SHOWERS SHALL BE OF CEMENT PLASTER, TILE, OR APPROVED EQUAL, TO A HEIGHT OF NOT LESS THAN 72 INCHES ABOVE DRAIN INLET. BACKING FOR TILE SHALL BE CEMENT BOARD OR CEMENT PLASTER. (CRC R307.2, CBC 1209.2.3)
4. CLEARANCE FOR WATER CLOSET TO BE A MINIMUM OF 24 INCHES IN FRONT, AND 15 INCHES FROM ITS CENTER TO ANY SIDE WALL OR OBSTRUCTION. (CPC 402.5)
5. WINDOW TO BE TEMPER GLAZED WHERE WINDOWS ARE 60 INCHES OR LESS ABOVE THE TUB OR SHOWER FLOOR. (CRC R308.4.5)
STAIRS
1. MAXIMUM RISE OF 7.75 INCHES AND MINIMUM RUN (TREAD) OF 10 INCHES. R311.7.5
2. PROVIDE A NOSING BETWEEN 0.75" AND 1.25" ON STAIRWAYS WITH SOLID RISERS WHERE TREAD DEPTH IS LESS THAN 11". R311.7.5.3 AND EXCEPTION 1
3. MINIMUM WIDTH OF 36 INCHES. R311.7.1
4. MINIMUM HEADROOM OF 6 FT. 8 INCHES. R311.7.2
5. ALTERNATING TREAD DEVICES AND SHIP LADDERS SHALL NOT BE USED AS AN ELEMENT OF A MEANS OF EGRESS. R311.7.11 AND R311.7.12
HANDRAILS
1. PROVIDE A MINIMUM OF ONE CONTINUOUS HANDRAIL ON STAIRWAYS WITH 4 OR MORE RISERS AND AT ALL OPEN SIDES. R311.7.8
2. HANDRAIL HEIGHT SHALL BE 34 TO 38 INCHES ABOVE THE NOSING OF TREADS. R311.7.8.1
3. HANDRAIL WITH CIRCULAR CROSS-SECTIONS SHALL HAVE A DIAMETER OF 1.25 TO 2 INCHES. R311.7.8.3 ITEM 1.
4. HANDRAILS WITH OTHER THAN CIRCULAR CROSS-SECTIONS SHALL HAVE A PERIMETER DIMENSION OF 4 TO 6.25 INCHES WITH A MAXIMUM CROSS-SECTION OF 2.25 INCHES. R311.7.8.3 ITEM 1
5. HANDRAILS WITH A PERIMETER GREATER THAN 6.25 INCHES SHALL COMPLY WITH R311.7.8.3 ITEM 2.
6. HANDRAIL SHALL BE CONTINUOUS WITHOUT INTERRUPTION BY NEWEL POST OR OTHER OBSTRUCTION, EXCEPT AT THE LANDING, VOLUTE, OR TURNOUT ON LOWEST TREAD. R311.7.8.2, EXCEPTION 1 & 2.
7. CLEAR SPACE BETWEEN HANDRAIL AND WALL SHALL BE 1.5 INCHES MINIMUM. R311.7.8.2

ATTACHMENT 6
CONSTRUCTION REQUIREMENTS

- MEANS OF EGRESS
1. SLEEPING ROOMS SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. SUCH OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY, YARD OR COURT THAT OPENS TO A PUBLIC WAY, PROVIDE DETAILS ON PLANS. (R310.1 CRC).
I. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A NET CLEAR OPENING OF 5.7 SF.
J. MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES.
K. MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES.
L. EMERGENCY ESCAPE AND RESCUE OPENING SHALL HAVE A SILL HEIGHT NOT MORE THAN 44 INCHES ABOVE THE FLOOR. (R310.2.2)
WINDOW FALL PROTECTION
1. WINDOW FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS 9R312.2.1 AND R312.2.2).
A. WINDOW SILLS. IN DWELLING UNITS, WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 24 INCHES ABOVE THE FINISHED FLOOR AND GREATER THAN 72 INCHES ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW.
B. OPERABLE WINDOWS WITH OPENINGS THAT WILL NOT ALLOW A 4 INCHES DIAMETER SPHERE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPENED POSITION.
C. OPENINGS THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090.
D. WINDOWS THAT ARE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH SECTION R312.2.2.
WINDOW OPENING CONTROL DEVICES
1. WINDOW OPENING CONTROL DEVICES SHALL COMPLY WITH ASTM F 2090. THE WINDOW OPENING CONTROL DEVICE, AFTER OPERATION TO RELEASE THE CONTROL DEVICE ALLOWING THE WINDOW TO FULLY OPEN, SHALL NOT REDUCE THE MINIMUM NEW CLEAR OPENING AREA OF THE WINDOW UNIT TO LESS THAN THE AREA REQUIRED BY SECTION R310.1.1. (R312.2.2)
KITCHEN ISLAND SINK
1. EACH ISLAND VENT SHALL SERVE ONLY ONE FIXTURE.
2. ALL FITTINGS FOR THE LOOP VENT, FOOT VENT, AND RETURN VENT SHALL BE DRAINAGE TYPE FITTINGS.
3. THE LOOP BEND SHALL CONSIST OF ONE FITTING OR ONE 1/4 BEND AND TWO 1/8TH BENDS. IT SHALL RISE AS HIGH AS POSSIBLE BEFORE TURNING DOWNWARD.
4. THE RETURN VENT SHALL CONNECT TO THE HORIZONTAL DRAIN DIRECTLY BELOW THE CONNECTION BETWEEN THE RETURN VENT AND THE FOOT VENT WITH A WYE TYPE FITTING
5. THE FOOT VENT SHALL EXTEND FROM THE RETURN VENT IN THE VERTICAL POSITION IMMEDIATELY BELOW THE FLOOR WITH A WYE TYPE FITTING.
6. THE FOOT VENT SHALL EXTEND FROM THE RETURN VENT TO A POINT IMMEDIATELY BELOW THE FLOOR WITH A WYE TYPE FITTING.
7. CLEANOUTS SHALL BE PROVIDED IN THE DRAIN BELOW THE FIXTURE TRAP AND IN THE VERTICAL PART OF THE FOOT VENT ABOVE THE FLOOR.
GUARDS
1. ELEVATED PORCHES, LANDINGS, DECKS OR FLOORS THAT ARE 30" OR MORE ABOVE GRADE OR FLOOR BELOW MUST HAVE A GUARD AT LEAST 42" HIGH.
2. MUST BE RIGID AND SECURE AND STRONG ENOUGH TO ACCEPT A SIDEWAYS PUSH OF 20 POUNDS PER FOOT THROUGHOUT ITS LENGTH.
3. TYPICAL TO USE BOLTS OR METAL BRACKETS INSTEAD OF NAILS TO SECURE GUARD POSTS.
4. OPEN GUARDS SHALL HAVE BALUSTERS OR ORNAMENTAL PATTERNS SUCH THAT A 4 INCH SPHERE CANNOT PASS THROUGH ANY OPENING.
5. CONSULT SECTION 1013 OF THE CALIFORNIA BUILDING CODE FOR ADDITIONAL CODE REQUIREMENTS AND EXCEPTIONS.
SAFETY GLASS
1. SAFETY GLAZING IS REQUIRED IN DOORS OF ALL TYPES, SHOWER ENCLOSURES, BATH ENCLOSURES, WHIRLPOOL ENCLOSURES, ETC., WINDOW GLAZING THAT IS WITHIN 24" OF A DOOR UNLESS IT IS 5' ABOVE THE FLOOR, WINDOWS GREATER THAN 9 SQ. FT. AND WITHIN 18" OF THE FLOOR, AND GLASS IN GUARDRAILS AND HANDRAILS.
2. NOTE THAT THE MANUFACTURERS OF DOORS AND SHOWER ENCLOSURES ARE GENERALLY AWARE OF THESE REQUIREMENTS.
3. USE CAUTION WHEN ORDERING WINDOWS THAT MAY BE LOCATED NEAR DOORS BECAUSE WINDOWS ARE NOT NORMALLY EQUIPPED WITH SAFETY GLAZING.
4. CONSULT THE 2022 CALIFORNIA BUILDING CODE FOR MORE INFORMATION.
SMOKE DETECTORS
1. PROVIDE SMOKE DETECTORS ON THE CEILING OR WALL OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS; IN EACH ROOM USED FOR SLEEPING PURPOSES; IN EACH STORY WITHIN A DWELLING UNIT, INCLUDING BASEMENTS; IN DWELLINGS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS. PLACE ONE ABOVE THE TOP OF THE STAIRS LEADING TO UPPER LEVEL SLEEPING AREAS.
2. PROVIDE SMOKE DETECTORS WITH POWER FROM THE HOUSE WIRING IN ALL NEW CONSTRUCTION. USE BATTERY TYPE ELSEWHERE.
3. DETECTORS ARE REQUIRED TO BE INSTALLED THROUGHOUT THE HOUSE WHENEVER YOU REMODEL. THEY ARE ONE OF THE MOST IMPORTANT THINGS YOU CAN DO TO YOUR HOUSE TO SAFEGUARD YOUR FAMILY. CONSULT THE 2022 CALIFORNIA BUILDING CODE -SECTION 907.2.10.1.2

MANAGING MEMBER: DAVID MIRAFRANT
PROJECT NAME: NEW 2-STORY DUPLEX CONSTRUCTION FOR CECIL VENTURE LLC
PROJECT ADDRESS: 121 CECIL PL., COSTA MESA, CA 92627
STATUS: PLANNING REVIEW
REVISIONS
T-1 SHEET 1 OF 12
DATE: 12.22.25

TENTATIVE PARCEL MAP NO. 2025-178

IN THE CITY OF COSTA MESA
 COUNTY OF ORANGE, STATE OF CALIFORNIA
 FOR CONDOMINIUM PURPOSES

OWNER:
 CECIL VENTURE, LLC,
 17741 MITCHELL DRIVE, UNIT 200,
 IRVINE, CALIFORNIA 92614.
 PHONE: (949) 252 - 9999.

ENGINEER / SURVEYOR:
 KAREN KORGANYAN, PLS 8510,
 KKL SURVEYING INC.
 19539 BERMUDA STREET,
 PORTER RANCH, CA 91326.
 PHONE: (818) 482 - 6532.

SITE ADDRESS:
 121 CECIL PLACE,
 COSTA MESA, CA 92627.

LEGAL DESCRIPTION:
 PORTION OF LOT 18 OF TRACT NO. 114 SOUTH SANTA ANA SUBDIVISION NO. 1,
 IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS
 PER MAP RECORDED IN BOOK 11, PAGE 14 OF MISCELLANEOUS MAPS, RECORDS
 OF THE COUNTY OF ORANGE.

A.P.N. 426-052-05.

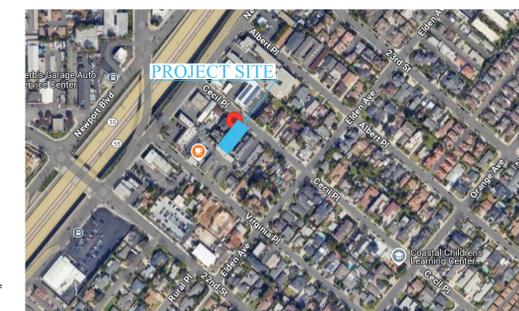
BASIS OF BEARINGS:
 THE BEARINGS SHOWN HEREON ARE BASED ON THE BEARING N50°11'45"W OF
 THE CENTERLINE OF CECIL PLACE, IN THE CITY OF COSTA MESA, COUNTY OF
 ORANGE, STATE OF CALIFORNIA, AS SHOWN IN RECORD OF SURVEY, FILED IN
 BOOK 279, PAGE 8 OF RECORDS OF SURVEYS, RECORDS OF THE COUNTY OF ORANGE.

BENCHMARK:
 CITY / LOCATION: COSTA MESA, OCS INDEX MAP: Q11 - 16. PAGE/GRID: 889 / B2.
 YEAR LEVELED: 2005. NAVD 1988. ELEVATION: 74.564'. DESCRIPTION: DESCRIBED
 BY OCS 2001 - FOUND 3 3/4" OCS, ALUMINUM BENCHMARK DISK STAMPED "CM-17-70",
 SET IN THE SOUTHEASTERLY CORNER OF A 4 FT. BY 9 FT. CONCRETE CATCH BASIN.
 MONUMENT IS LOCATED IN THE SOUTHWEST CORNER OF THE INTERSECTION OF
 SANTA ANA AVENUE AND 23RD STREET, 58 FT. SOUTHWESTERLY OF THE CENTERLINE
 OF 23RD STREET AND 21 NORTHWESTERLY OF THE CENTERLINE OF SANTA ANA AVENUE.
 MONUMENT IS SET LEVEL WITH THE SIDEWALK.

DATE OF SURVEY:
 MARCH 25, 2025.

- PROJECT NOTES:**
1. ALL EXISTING STRUCTURES TO BE DEMOLISHED FOR THE CONSTRUCTION OF 2 DWELLING UNITS.
 2. SITE ADDRESS: 121 CECIL PLACE, COSTA MESA, CA 92627.
 3. THE SITE IS RELATIVELY FLAT.
 4. THE SITE IS NOT IN FLOOD ZONE.
 5. SANITARY SEWER AND OTHER PUBLIC UTILITIES ARE AVAILABLE.
 6. PROPERTY AREA: 8,482 SQ. FT. - 0.195 AC. (GROSS, BEFORE DEDICATION)
 PROPERTY AREA: 8,299 SQ. FT. - 0.190 AC. (NET, AFTER DEDICATION)
 7. PROPOSED DEVELOPMENT:
 2 CONDOMINIUM DWELLING UNITS.
 2 - STORY DWELLING UNITS WITH MAXIMUM HEIGHT OF 27'.
 8. PARKING SPACES PER CONDOMINIUM DWELLING UNIT - 4.
 PARKING PROVIDED: 2 - CAR GARAGE AND 2 - CAR DRIVEWAY
 (4 TOTAL SPACES NEEDED FOR 4 BEDROOMS OR FEWER)
 9. VEHICULAR ACCESS ARE FROM THE COMMON DRIVEWAY.
 10. TRASH BIN AND RECYCLE AREA ARE IN PRIVATE YARD.
 11. ALL EXISTING TREES TO BE REMOVED.
 12. GRADING QUANTITIES:
 CUT: _____ C.Y.; FILL: _____ C.Y.
 13. THE SITE IS NOT IN GEOLOGICALLY HAZARDOUS AREA.
 14. THE EXISTING PROPERTY WILL BE USED FOR THE DEVELOPMENT OF TWO (2) CONDOMINIUM DWELLING UNITS.
 15. EXISTING ZONE: R2-MD.
 16. PROPOSED ZONE: R2-MD.
 17. MAP REVISED ON _____

COPIES OF THIS PLAN WITHOUT AN ORIGINAL SIGNATURE AND WITHOUT WET SEAL ARE NOT VALID.



VICINITY MAP



PREPARED UNDER THE DIRECTION OF:

 KAREN KORGANYAN PLS 8510

PREPARED EXCLUSIVELY FOR:

TENTATIVE PARCEL MAP NO. 2025-178

SHEET TITLE

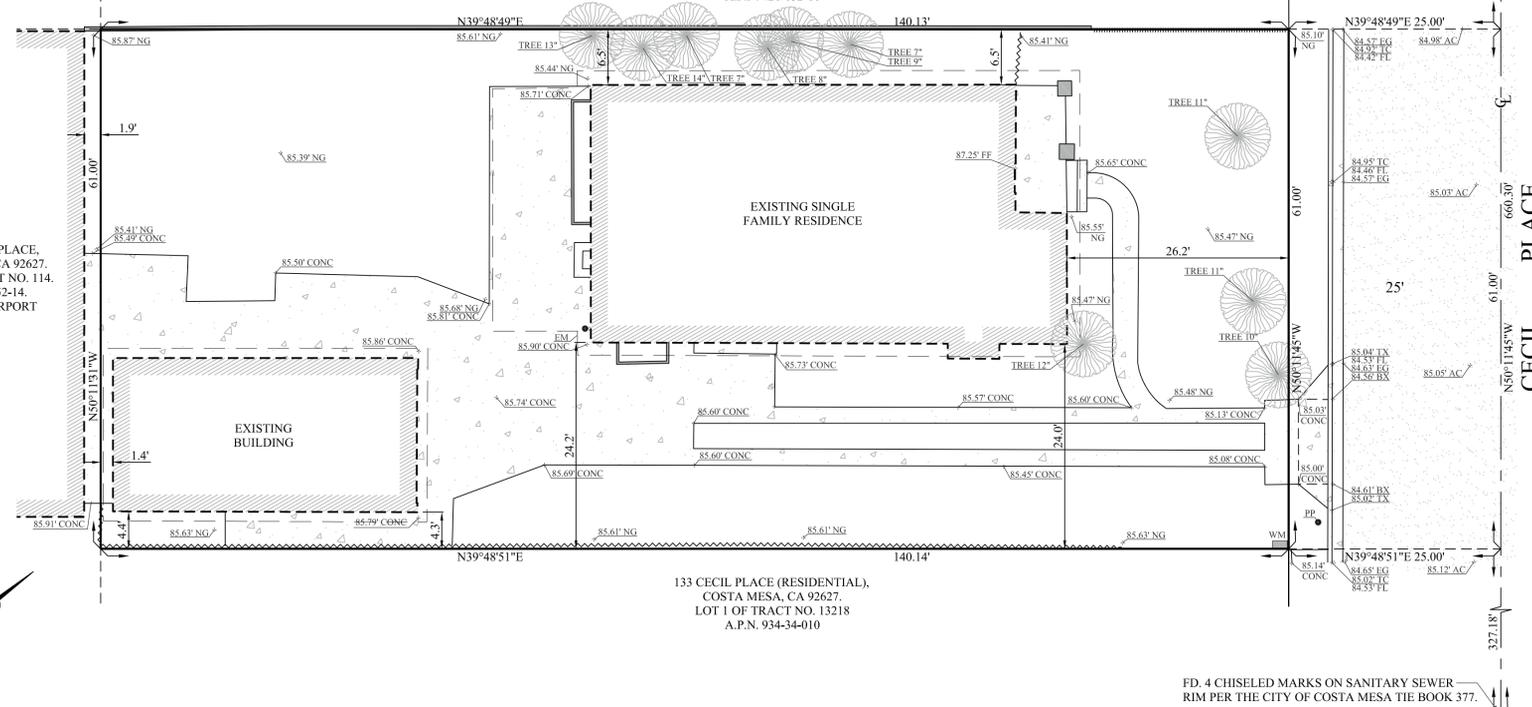
DATE: 02-05-2026
 SHEET NO.: 1
 JOB NO.:

NEWPORT BLVD.

ESTAB. BY TIES PER CALTRANS
 TIE NOTE 92-084, PAGE 11.

117 CECIL PLACE (RESIDENTIAL),
 COSTA MESA, CA 92627.
 PARCEL 2 OF PM 2014-140
 A.P.N. 426-052-18

128 VIRGINIA PLACE,
 COSTA MESA, CA 92627.
 LOT 13 OF TRACT NO. 114.
 A.P.N. 426-052-14.
 EXISTING CARPORT



EXISTING SITE

FD. 4 CHISELED MARKS ON SANITARY SEWER
 RIM PER THE CITY OF COSTA MESA TIE BOOK 377.

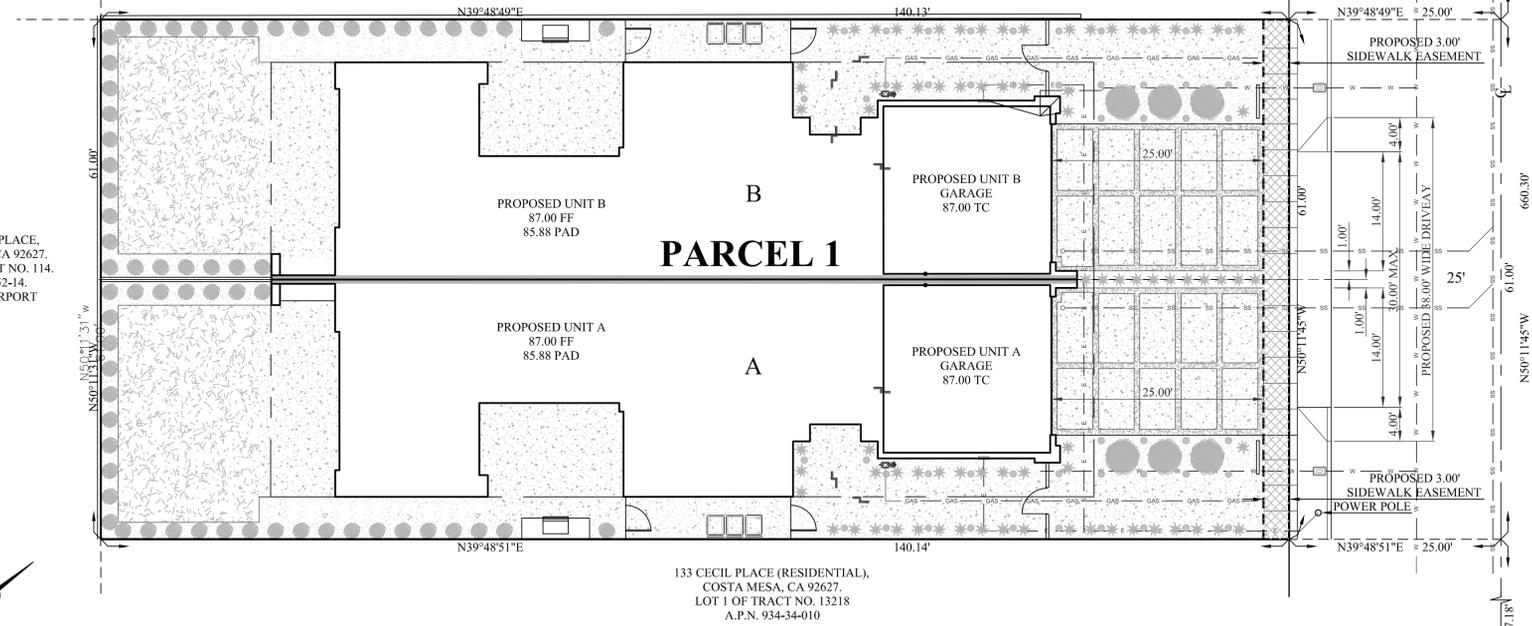
ELDEN AVENUE

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PROPOSED SITE

FD. 4 CHISELED MARKS ON SANITARY SEWER
 RIM PER THE CITY OF COSTA MESA TIE BOOK 377.

ELDEN AVENUE

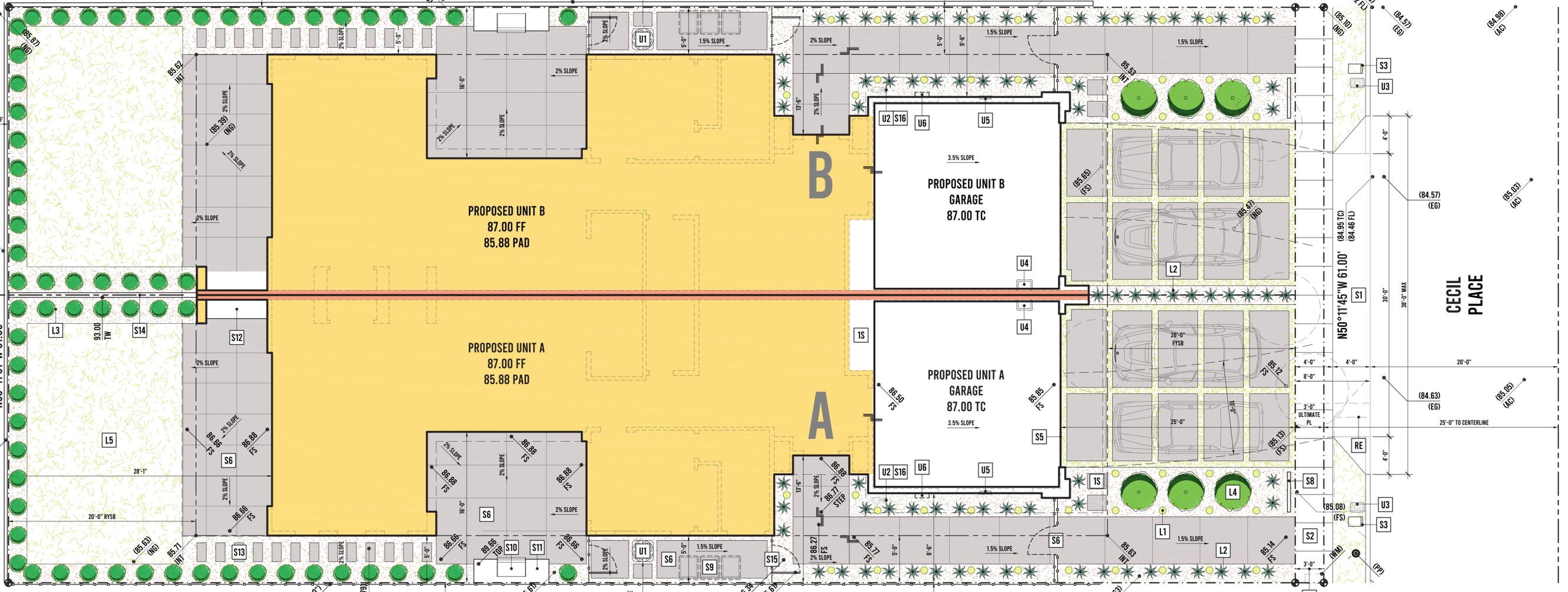
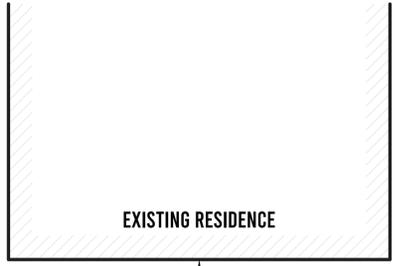
LEGEND:

- CONCRETE WALL
- BLOCK WALL
- STONE WALL
- STUCCO WALL
- CHAIN LINK FENCE
- WOODEN FENCE
- CENTER LINE
- LOT LINE
- CONCRETE
- TREE
- BC BEGIN OF CURVE
- EC END OF CURVE
- EG EDGE OF GUTTER
- EP EDGE OF PAVEMENT
- FL FLOWLINE
- NG NATURAL GRADE
- POC POINT ON CURVE
- POL POINT ON LINE
- TW TOP OF WALL
- TOP TOP OF SLOPE
- MB MAIL BOX
- WM WATER METER
- EB ELECTRICAL BOX
- PB PULL BOX
- GM GAS METER
- (M) MEASURED DISTANCE
- (C) COMPUTED DISTANCE
- (R) RECORDED DISTANCE

PLAN
 N.T.S.

PLAN
 SCALE: 1" = 10'
 GRAPHIC SCALE

PLAN
 SCALE: 1" = 10'
 GRAPHIC SCALE



SITE PLAN
SCALE: 3/16"=1'-0"

AVG GRADE

85.53 NG
85.63 NG
85.71 NG
+85.82 NG
= 342.48
342.48/4 = 85.62



SITE PLAN LEGEND

	BUILDING OUTLINE		U1. AIR CONDENSER(S)
	PROPERTY LINE		U2. GAS METER(S)
	SETBACK LINE		U3. WATER METER(S)
	EXISTING SITE CONDITION TO BE REPLACED		U4. TANKLESS WATER HEATER(S) (HIGH MOUNT)
	KEYNOTE TAG		U5. ELECTRICAL METER(S) - 200 AMP SCE UNDERGROUND SERVICE
			U6. TELECOMMUNICATIONS / CABLE SERVICE DEMARCATION

SITE KEYNOTES

- S1. NEW CONCRETE DRIVEWAY APRON PER CITY OF COSTA MESA STANDARDS DIMENSIONS SHALL BE X=4' AND W=16'
- S2. NEW H.C. ACCESSIBLE SIDEWALK (TYP.) PER CITY OF COSTA MESA STANDARDS
- S3. NEW MAIL BOX LOCATION PER CITY OF COSTA MESA
- S4. NEW SIDEWALK EASEMENT DEDICATION (3'-0" WIDTH)
- S5. AUTOMATIC ROLL-UP GARAGE DOOR REMOTE CONTROLLED DOOR OPENER REQUIRED
- S6. COLORED CONCRETE HARDSCAPE - PROVIDE CONTROL JOINTS & EXPANSION JOINT AT BASE OF HOUSE AGAINST ANY WALLS
- S7. COLORED CONCRETE DRIVE PADS (6" THICK) SURROUNDED WITH 6" SYNTHETIC TURF
- S8. LOW LANDSCAPE WALL (24" TALL) - 3" BACKLIT OUTDOOR LED ADDRESS NUMBERS
- S9. TRASH AREA
- S10. OUTDOOR BBQ UNIT - PROVIDE UNDERGROUND GAS LINE
- S11. OUTDOOR BBQ ISLAND (8'-0" WIDTH / 3'-0" HEIGHT)
- S12. OUTDOOR ENTERTAINMENT / LOW STORAGE
- S13. STEPPING STONES - CONCRETE
- S14. WOOD FENCE (8'-0" TALL)
- S15. WOOD SIDE ENTRY GATE (6'-0" TALL TYPICAL)
- S16. ANY POTENTIAL ABOVE GROUND UTILITIES OR UTILITY CONNECTIONS MUST BE PLACED UNDERGROUND PURSUANT TO SECTION 13-71(D) OF THE CMMC.
- RE. EXISTING SITE CONDITION TO BE REPLACED - SEE TOPOGRAPHIC SURVEY FOR REFERENCE

ARTIFICIAL TURF ESTIMATE

FRONT YARD WITHIN FRONT YARD SETBACK AREA	1220 SF	(20 FT X 61 FT)
ARTIFICIAL TURF	172 SF	(UNDER 50%)

MANAGING MEMBER:
DAVID MIRAFRAT
17741 MITCHELL N #200
IRVINE, CA 92614
(714) 240-5592
ANNAH@HOMEREALTY.COM

PROJECT NAME:
NEW 2-STORY DUPLEX CONSTRUCTION
FOR CECIL VENTURE LLC
PROJECT ADDRESS:
121 CECIL PL.,
COSTA MESA, CA 92627

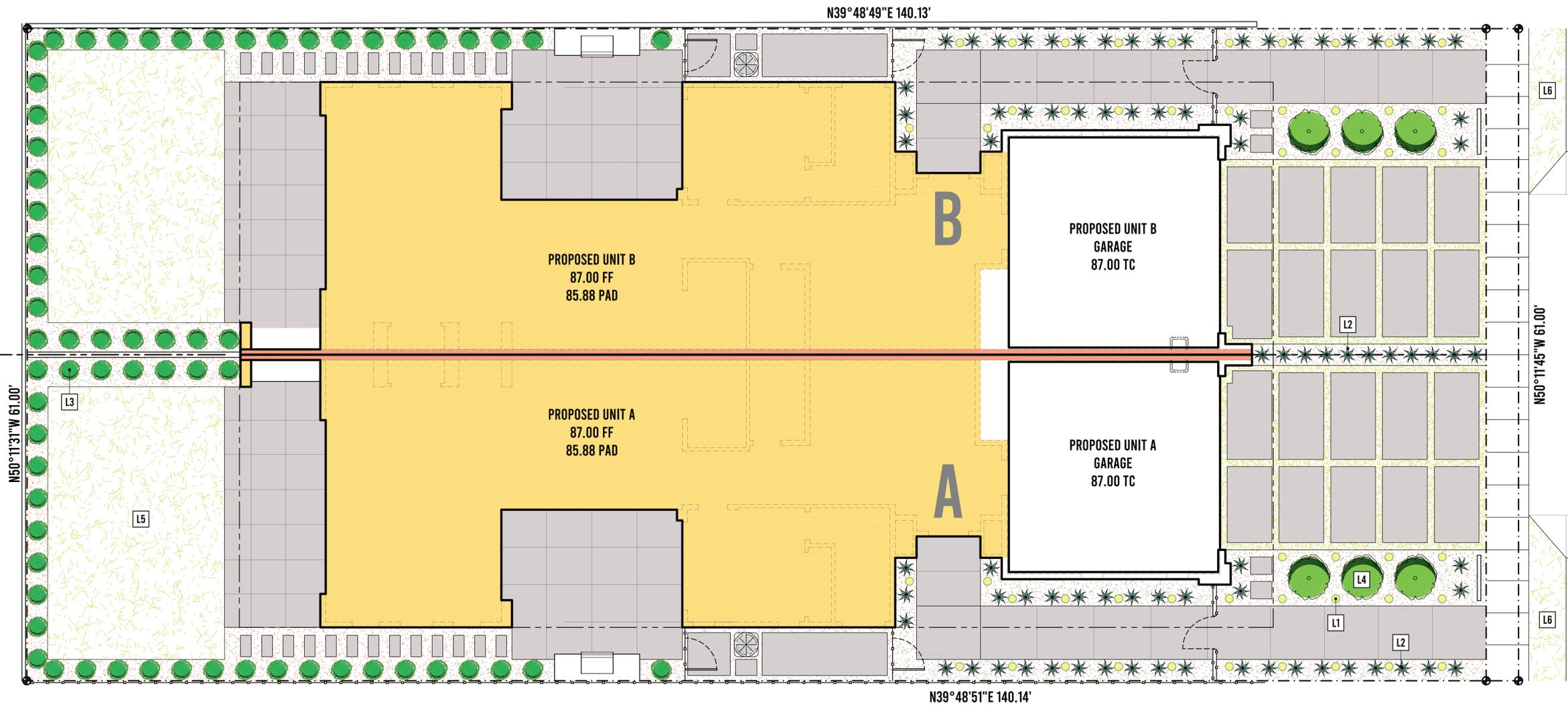
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JOSH@OSSAHOMES.COM
(714) 988-3327

Josh Martinec
PROJECT DESIGNER
JOSH.MARTINEC

STATUS: PLANNING REVIEW
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REVISIONS

A-1
SHEET 3 OF 12
DATE: 12.22.25



LANDSCAPE PLAN

SCALE: 3/16"=1'-0"



LANDSCAPE & PLANTING LEGEND

- L1. PATH LIGHT - CENTENNIAL BRASS - MODEL:16261CBR30
- L2. SESLERIA AUTUMNALIS (AUTUMN MOOR GRASS)
1 GAL - GRASS TO 20" TALL, BEARS SPIKE-LIKE SILVER-WHITE (TURNING GOLDEN) FLOWER TASSELS
- L3. PRUNUS CAROLINIANA 'COMPACTA' (COMPACT CHERRY LAUREL)
15 GAL - COMPACT EVERGREEN SHRUB W/ WHITE FLOWER SPIKES, TAKES SHEARING WELL, SUN.
- L4. OLIVE 'SWAN HILL' (FRUITLESS) - OLEA EUROPAEA 'SWAN HILL'
24" BOX - EVERGREEN SPECIES W/ MODERATE CANOPY GROWTH NON-FRUITING VARIETY
- L5. SYNTHETIC TURF TO BE DUPONT SELECT LX BY FOREVERLAWN

LANDSCAPE & PLANTING TABLE

SYMBOL	BOTANICAL/Common NAME	SIZE	SPACING	QUANTITY	COMMENTS
L2.	SESLERIA AUTUMNALIS (AUTUMN MOOR GRASS)	1 GAL - GRASS TO 20" TALL	24" O.C. MIN.	(2) 35	...
L3.	PRUNUS CAROLINIANA 'COMPACTA' (COMPACT CHERRY LAUREL)	15 GAL	36" O.C. MIN.	(2) 34	...
L4.	MAGNOLIA GRAND "LITTLE GEM" (DWARF MAGNOLIA TREE)	36" BOX	60" O.C. MIN.	(2) 2	...
L5.	SYNTHETIC TURF TO BE DUPONT SELECT LX	SOD ROLL	N/A	(2) 575 SF	...



LANDSCAPE NOTES

- ALL CONCRETE TO BE COLORED FRENCH GRAY W/ TOP CAST #3 FINISH
- TREE SPECIES ARE SMALL-CANOPY, NON-INVASIVE, AND SUITABLE FOR PLANTING ADJACENT TO UTILITIES. ROOT BARRIER TO BE INSTALLED WHERE TREE IS WITHIN 5' OF UNDERGROUND SERVICE LINES OR WATER METER.

PUBLIC PARKWAY (R/W)

- PROVIDE LOW-WATER TURF GRASS WITHIN THE PUBLIC RIGHT-OF-WAY BETWEEN SIDEWALK AND CURB.
- TURF TO BE INSTALLED FLUSH WITH ADJACENT SIDEWALK AND CURB AND GRADED TO DRAIN TOWARD CURB WITH NO STANDING WATER.
- IRRIGATION TO BE DRIP OR SUBSURFACE ONLY; NO SPRAY IRRIGATION PERMITTED.
- TURF TO BE MAINTAINED AT A MAXIMUM HEIGHT OF 4 INCHES.
- ALL WORK WITHIN PUBLIC RIGHT-OF-WAY SUBJECT TO CITY OF COSTA MESA ENGINEERING APPROVAL.

STATUS: PLANNING REVIEW

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REVISIONS

L-1

SHEET 4 OF 12

DATE: 12.22.25

PROJECT NAME:
NEW 2-STORY DUPLEX CONSTRUCTION
FOR CECIL VENTURE LLC
PROJECT ADDRESS:
121 CECIL PL.,
COSTA MESA, CA 92627

PROJECT DESIGNER
JOSH MARTINEZ

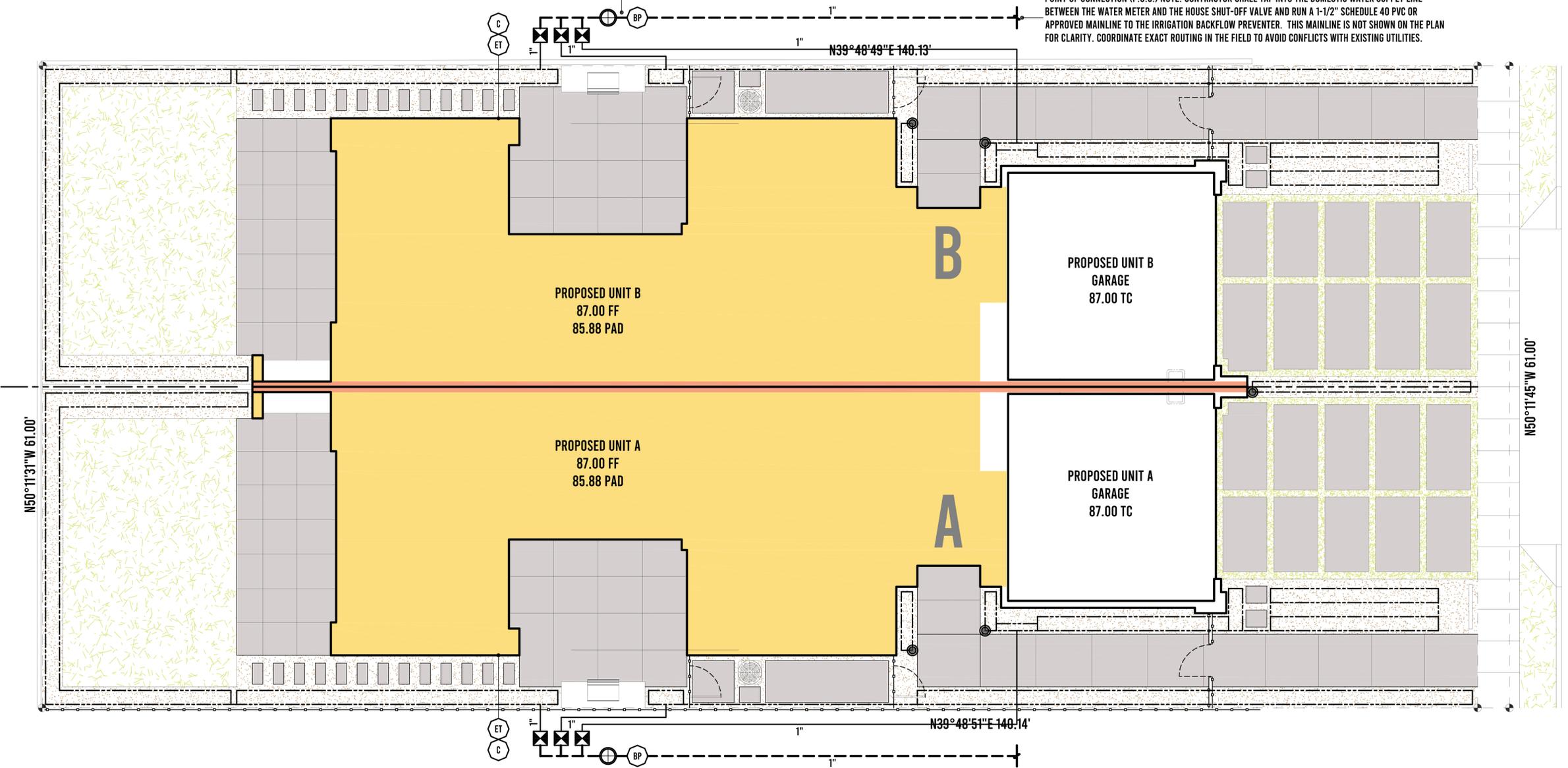
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AUTOMATIC IRRIGATION CONTROLLER REQUIREMENT: ALL IRRIGATION SYSTEMS SHALL UTILIZE AUTOMATIC IRRIGATION CONTROLLERS WITH EVAPOTRANSPIRATION (ET) ADJUSTMENT CAPABILITIES AND NON-VOLATILE MEMORY FOR IRRIGATION SCHEDULING. CONTROLLERS SHALL BE U.S. EPA WATERSENSE-LABELED, WHERE APPLICABLE, IN ACCORDANCE WITH LOCAL AND STATE WATER EFFICIENCY REGULATIONS (E.G., CALIFORNIA MWELD).

POINT OF CONNECTION (P.O.C.) NOTE: CONTRACTOR SHALL TAP INTO THE DOMESTIC WATER SUPPLY LINE BETWEEN THE WATER METER AND THE HOUSE SHUT-OFF VALVE AND RUN A 1-1/2" SCHEDULE 40 PVC OR APPROVED MAINLINE TO THE IRRIGATION BACKFLOW PREVENTER. THIS MAINLINE IS NOT SHOWN ON THE PLAN FOR CLARITY. COORDINATE EXACT ROUTING IN THE FIELD TO AVOID CONFLICTS WITH EXISTING UTILITIES.



IRRIGATION PLAN
SCALE: 3/16"=1'-0"

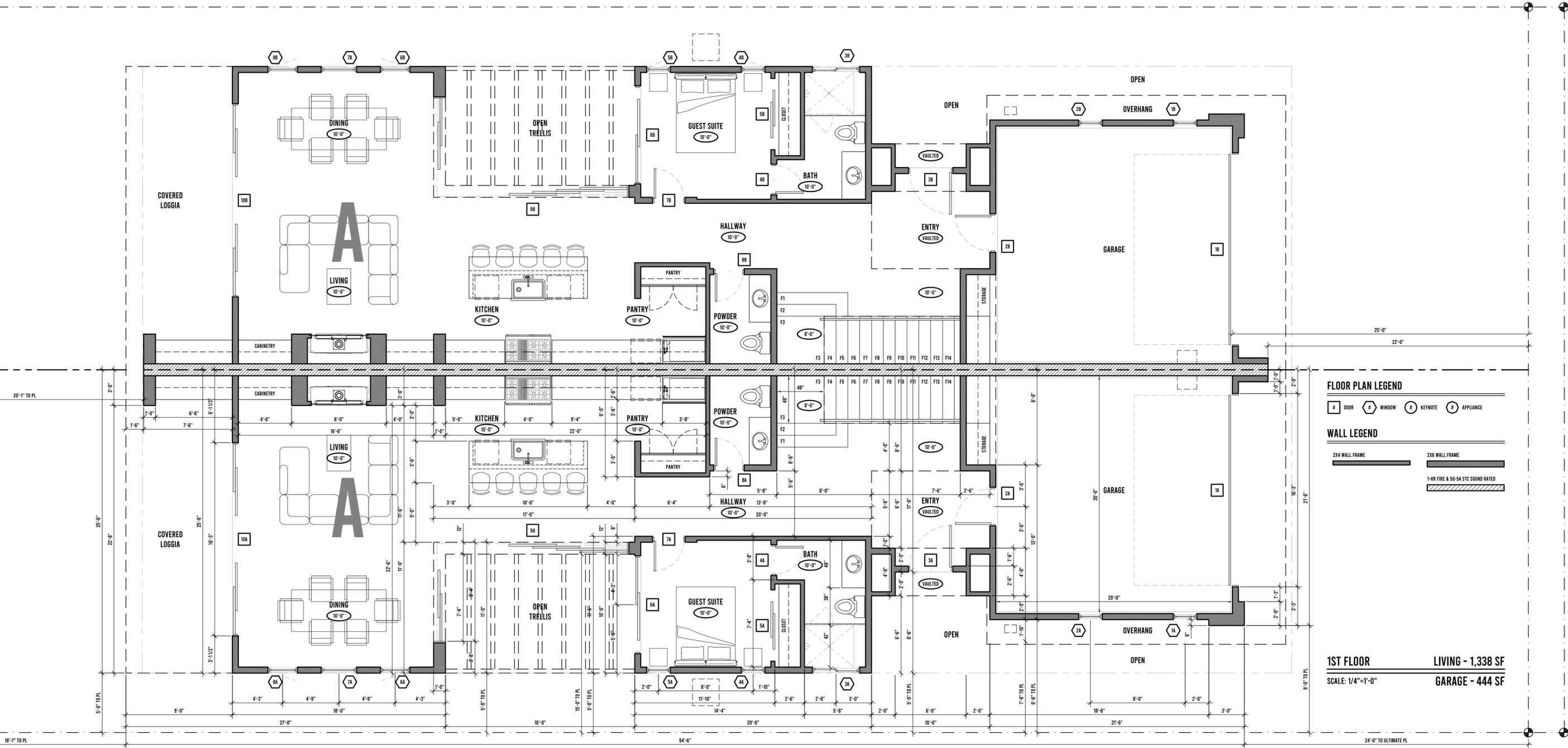


- IRRIGATION PLAN LEGEND**
- FEBCO 825YA SERIES REDUCED PRESSURE BACKFLOW PREVENTER, WHEN INSTALLED WITH A WILKINS YBP-80 STRAINER
OPTIONAL: A WILKINS 500XL PRESSURE REGULATOR
 - NIBCO T-580-70 TWO-PIECE BRONZE BALL VALVE (FULL PORT) FNPT THREADED
 - IRRITROL 700-1 ULTRAFLOW 1" ELECTRIC VALVE HIGH-PERFORMANCE IRRIGATION VALVE
 - INSTALL WITH 1" 25 PSI SENNINGER PRESSURE REGULATOR, AND 1" NETAFIM DISC FILTER
 - TORO TMC-424E-00+TSM-8F CONTROLLER WITH IRRITROL CL-100 CLIMATE LOGIC WIRELESS ET/RAIN SENSOR
 - SCHEDULE 40 PVC PRESSURE MAINLINE PIPING SHALL BE INSTALLED W/ A MINIMUM OF 18 INCHES OF COVER (FINISHED GRADE TO TOP OF PIPE).
 - CLASS 200 PVC (ASTM D2241) WITH A MINIMUM OF 12 INCHES OF COVER (MEASURED FROM FINISHED GRADE TO TOP OF PIPE).
 - NETAFIM MODEL TLHCVR5-12XX TECHLINE CV OR APPROVED EQUAL DRIPLINE TUBING WITH PRESSURE-COMPENSATING, CHECK-VALVE EMITTERS RATED AT 0.53 GPH, SPACED AT 12" ON CENTER. ROW SPACING (ROS) TUBING SHALL BE BURIED 3"-4" BELOW FINISHED GRADE SECURE WITH LANDSCAPE STAPLES AT MINIMUM EVERY 3-4 FEET AND AT CHANGES IN DIRECTION TO MAINTAIN ALIGNMENT DURING BACKFILL
 - FIELD FABRICATED OPERATION INDICATOR / MANUAL FLUSH VALVE ASSEMBLY

- LANDSCAPE NOTES**
1. IRRIGATION EQUIPMENT IN PAVED AREAS: ALL PIPING AND IRRIGATION EQUIPMENT SHOWN WITHIN PAVED OR HARDSCAPE AREAS IS FOR DIAGRAMMATIC CLARITY ONLY. ALL IRRIGATION COMPONENTS SHALL BE INSTALLED WITHIN PLANTED OR PERVIOUS AREAS WHENEVER FEASIBLE.
 2. IRRIGATION CONTROLLER PLACEMENT: THE FINAL LOCATION AND INSTALLATION HEIGHT OF THE IRRIGATION CONTROLLER SHALL BE SUBJECT TO APPROVAL BY THE PROPERTY OWNER PRIOR TO INSTALLATION. CONTROLLER SHALL BE INSTALLED IN A SECURE, ACCESSIBLE, AND WEATHER-PROTECTED LOCATION PER MANUFACTURER'S RECOMMENDATIONS.
 3. QUALIFIED CONTRACTOR REQUIREMENT: THE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND EXPERIENCED LANDSCAPE CONTRACTOR FAMILIAR WITH HYDRAULIC DESIGN PRINCIPLES. CONTRACTOR SHALL FIELD-SELECT ALL SPRAY NOZZLES AND ARC PATTERNS TO ENSURE EFFICIENT, HEAD-TO-HEAD COVERAGE AND MINIMIZE OVERSPRAY ONTO NON-TARGET SURFACES (E.G., PAVEMENTS, BUILDINGS).
 4. WARRANTY OF WORKMANSHIP AND MATERIALS: THE IRRIGATION CONTRACTOR SHALL WARRANT THE ENTIRE SYSTEM AGAINST DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL INSPECTION OR ACCEPTANCE. ANY REPAIRS REQUIRED DUE TO DEFECTIVE MATERIALS OR INSTALLATION PRACTICES SHALL BE COMPLETED BY THE CONTRACTOR AT NO COST TO THE OWNER.
 5. FIELD ADJUSTMENTS DUE TO OBSTRUCTIONS: IF VERTICAL OBSTRUCTIONS (E.G., UTILITY BOXES, STREETLIGHTS, TREE TRUNKS) INTERFERE WITH THE SPRINKLER SPRAY PATTERN AND PREVENT ADEQUATE COVERAGE, THE IRRIGATION CONTRACTOR SHALL ADJUST THE LAYOUT IN THE FIELD. THIS MAY INCLUDE ADDING OR REPOSITIONING QUARTER- OR HALF-CIRCLE HEADS AROUND THE OBSTRUCTION TO ENSURE COMPLETE AND EFFICIENT COVERAGE. ALL SUCH ADJUSTMENTS SHALL BE INCLUDED IN THE BASE CONTRACT AND PROVIDED AT NO ADDITIONAL COST TO THE OWNER.

- LANDSCAPE KEYNOTES**
1. ALL WORK RELATED TO WATER IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A C-34 LICENSED PIPELINE CONTRACTOR OR AN A LICENSED GENERAL ENGINEERING CONTRACTOR.

CECIL PLACE



FLOOR PLAN LEGEND

DOOR # WINDOW # KEYNOTE # APPLIANCE

WALL LEGEND

2X4 WALL FRAME 2X6 WALL FRAME

1-HR FIRE & 50-54 STC SOUND RATED

1ST FLOOR **LIVING - 1,338 SF**
SCALE: 1/4"=1'-0" **GARAGE - 444 SF**

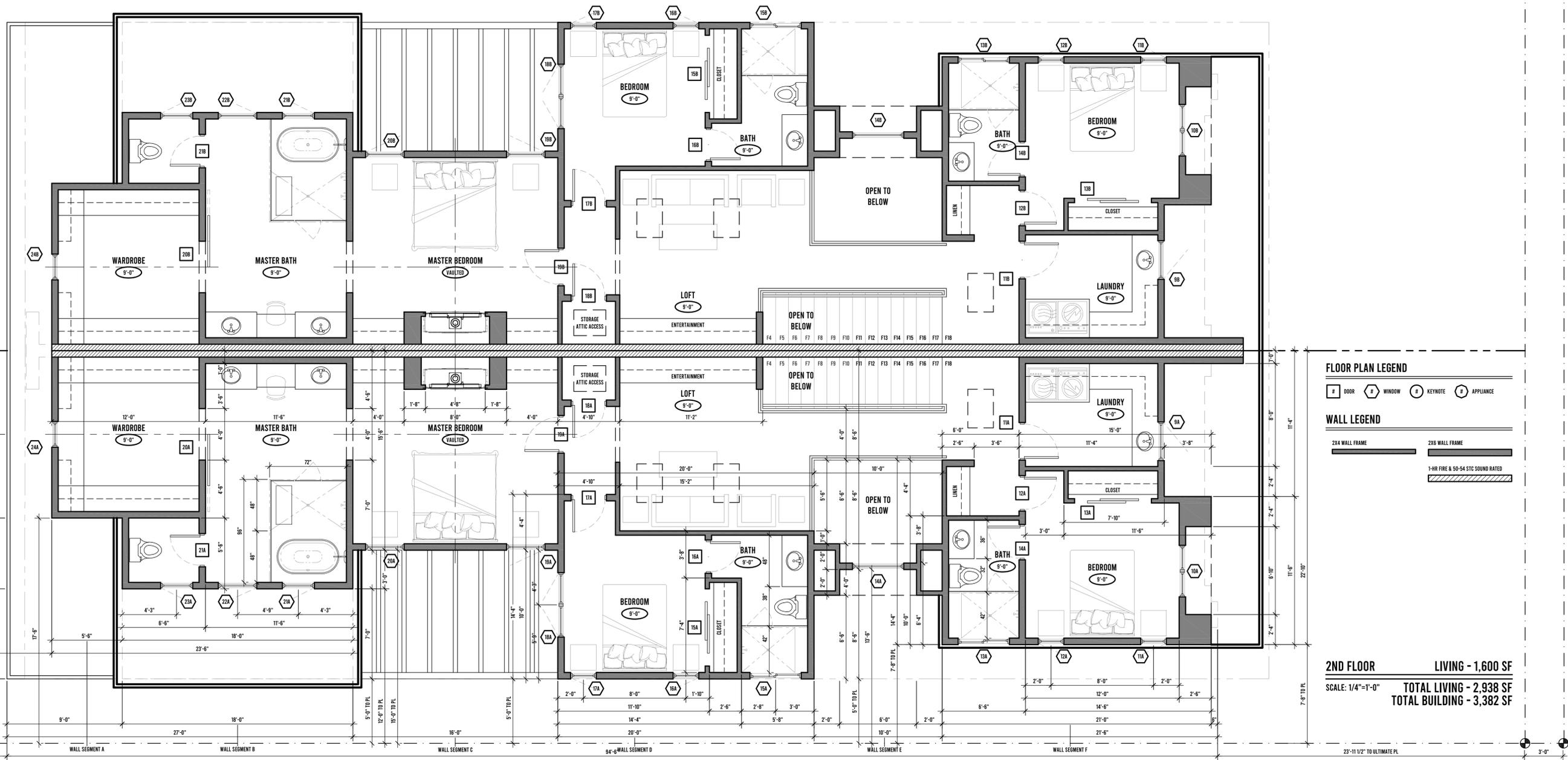
DOOR SCHEDULE

#	TAG	SIZE	DESCRIPTION	SWING	JAMB	BORE	HANDLE	MATERIAL	TEMPERED	COMMENTS
1	1A	16'-0" X 8'-0"	GARAGE SECTIONAL	RH IS	7"	-	-	MANUFACTURER	-	SEE DOOR NOTE C&D
2	2A	3'-0" X 8'-0"	GARAGE INTERIOR	RH IS	5"	DOUBLE	PRIVACY/LOCK HANDLE	SOLID CORE	-	SEE DOOR NOTE A
3	3A	3'-6" X 8'-0"	ENTRY	RH IS	7"	DOUBLE	DEADBOLT/ENTRY HANDLE	WOOD	-	SEE DOOR NOTE A
4	4A	2'-4" X 8'-0"	BATH 1	LH IS	4.75"	SINGLE	PRIVACY	MDF	-	-
5	5A	15'-0" X 8'-0"	BEDROOM 1 CLOSET	SLIDERS	4.75"	SINGLE	PASSAGE	MDF	-	-
6	6A	8'-0" X 8'-0"	BEDROOM 1 CLOSET	OX	7"	-	PASSAGE/LOCK HANDLE	ALUMINUM	YES	-
7	7A	2'-6" X 8'-0"	BEDROOM 1	RH IS	4.75"	SINGLE	PRIVACY	MDF	-	-
8	8A	16'-0" X 8'-0"	BEDROOM 1	XXXX	7"	-	PRIVACY/LOCK HANDLE	ALUMINUM	YES	-
9	9A	8'-0" X 8'-0"	BEDROOM 1 CLOSET	OX	7"	-	PRIVACY/LOCK HANDLE	ALUMINUM	YES	-
10	10A	16'-0" X 8'-0"	BEDROOM 1	XXXX	7"	-	PRIVACY/LOCK HANDLE	ALUMINUM	YES	-
11	11A	4'-0" X 8'-0"	PANTRY	LH RH OS	4.75"	SINGLE	PASSAGE	MDF	-	-
12	12A	2'-4" X 8'-0"	POWDER BATH	LH IS	4.75"	SINGLE	PRIVACY	MDF	-	-

ABBREVIATIONS
IS - IN-SWING, OS - OUTSWING
LH - LEFT HINGED, RH - RIGHT HINGED
MDF - MEDIUM-DENSITY FIBERBOARD
O - NON-OPERABLE
X - OPERABLE

WINDOW SCHEDULE

#	TAG	SIZE	DESCRIPTION	FINISH	TEMPERED	GLAZING	COMMENTS
1	1A	20'-0"	FIXED	VINYL FRAME	-	SF	-
2	2A	20'-0"	FIXED	VINYL FRAME	-	SF	-
3	3A	40'-0"	OX SLIDER	VINYL FRAME	X	SF	-
4	4A	20'-0"	RH CASEMENT	VINYL FRAME	-	10 SF	-
5	5A	20'-0"	LH CASEMENT	VINYL FRAME	-	10 SF	-
6	6A	20'-0"	RH CASEMENT	VINYL FRAME	-	SF	-
7	7A	30'-0"	FIXED	VINYL FRAME	-	15 SF	-
8	8A	20'-0"	LH CASEMENT	VINYL FRAME	-	SF	-



FLOOR PLAN LEGEND

DOOR # WINDOW # KEYNOTE # APPLIANCE

WALL LEGEND

2X4 WALL FRAME 2X6 WALL FRAME

1-HR FIRE & 50-54 STC SOUND RATED

2ND FLOOR **LIVING - 1,600 SF**

SCALE: 1/4"=1'-0"

TOTAL LIVING - 2,938 SF

TOTAL BUILDING - 3,382 SF

2ND-STORY SETBACK CALCULATION TABLE

WALL SEGMENT	WALL WIDTH	SETBACK	SEGMENT TOTALS
A	5'-6"	17'-6"	96.25
B	18'-0"	12'-0"	216.00
C	16'-0"	15'-0"	240.00
D	20'-0"	5'-0"	100.00
E	10'-0"	13'-6"	135.00
F	20'-0"	7'-8"	153.33
TOTALS	89'-6"		940.58
TOTAL SETBACK AVG			10.51 FT

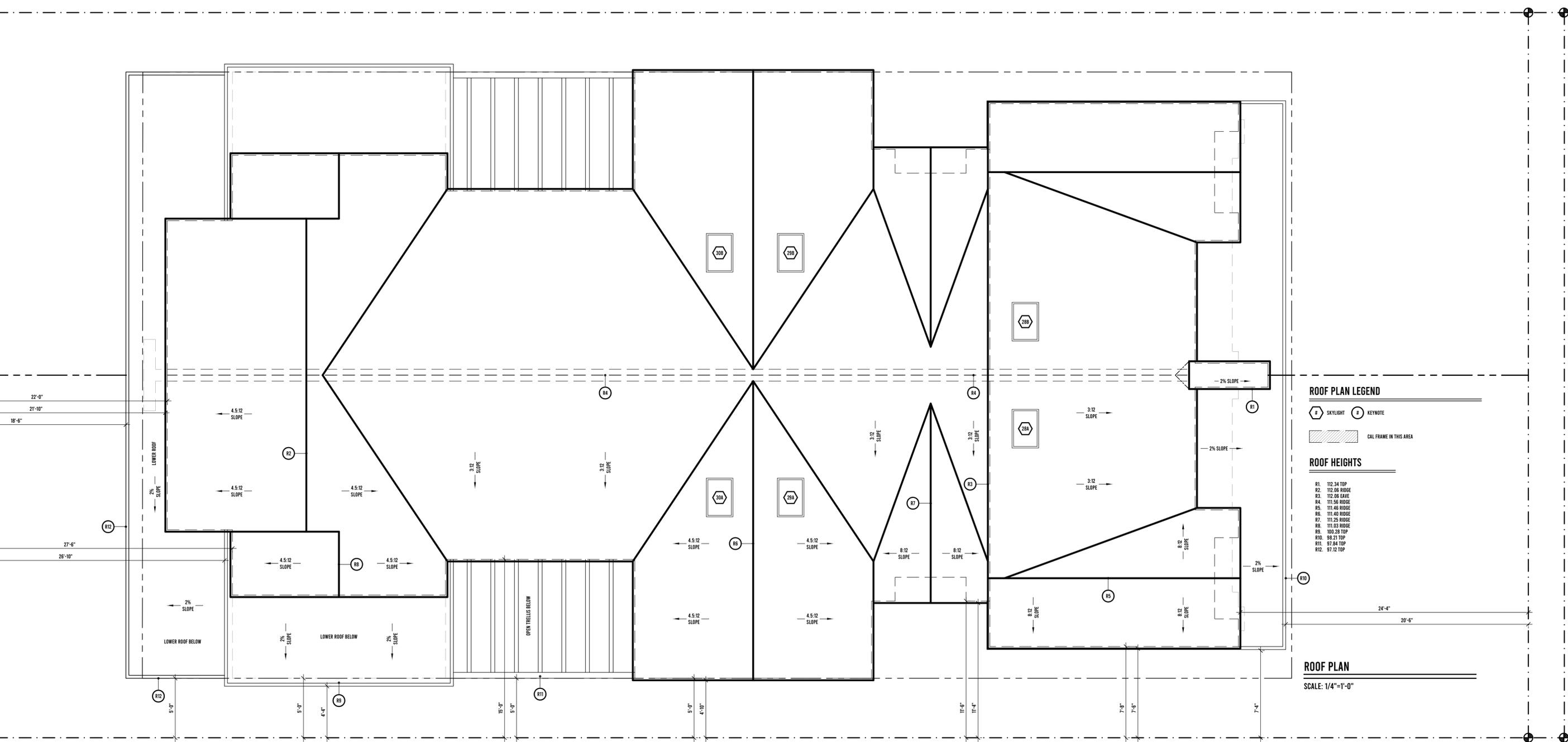
DOOR SCHEDULE

#	TAG	SIZE	DESCRIPTION	SWING	JAMB	BORE	HANDLE	MATERIAL	TEMPERED	COMMENTS
25	13A	2'-8" X 8'-0"	LAUNDRY	RH IS	4.75"	SINGLE	PRIVACY	MDF	-	-
26	14A	2'-6" X 8'-0"	BEDROOM 2	LH IS	4.75"	SINGLE	PRIVACY	MDF	-	-
27	15A	6'-0" X 8'-0"	BEDROOM 2 CLOSET	SLIDERS	4.75"	SINGLE	PASSAGE	MDF	-	-
28	16A	2'-6" X 8'-0"	BATH 2	RH IS	4.75"	SINGLE	PRIVACY	MDF	-	-
29	17A	2'-4" X 8'-0"	BATH 3	LH IS	4.75"	SINGLE	PRIVACY	MDF	-	-
30	18A	6'-0" X 8'-0"	BEDROOM 3 CLOSET	SLIDERS	4.75"	SINGLE	PASSAGE	MDF	-	-
31	19A	2'-6" X 8'-0"	BEDROOM 3	RH IS	4.75"	SINGLE	PRIVACY	MDF	-	-
32	20A	2'-6" X 8'-0"	STORAGE	RH IS	4.75"	SINGLE	PRIVACY	MDF	-	-
33	21A	2'-8" X 8'-0"	MASTER BEDROOM	LH IS	4.75"	SINGLE	PRIVACY	MDF	-	-
34	22A	4'-0" X 8'-0"	MASTER BATH LINEN	LH RH OS	4.75"	SINGLE	PASSAGE	MDF	-	-
35	23A	2'-6" X 8'-0"	MASTER WARDROBE	RH IS	4.75"	SINGLE	PRIVACY	MDF	-	-
36	24A	2'-4" X 8'-0"	MASTER BATH	LH IS	4.75"	SINGLE	PRIVACY	MDF	-	-

ABBREVIATIONS
IS = IN-SWING, OS = OUTSWING
LH = LEFT HINGED, RH = RIGHT HINGED
MDF = MEDIUM-DENSITY FIBREBOARD
O = NON-OPERABLE
X = OPERABLE

WINDOW SCHEDULE

#	TAG	SIZE	DESCRIPTION	FINISH	TEMPERED GLAZING	COMMENTS
9	9A	3050	RH CASEMENT	VINYL FRAME	-	15 SF
10	10A	4050	RH CASEMENT	VINYL FRAME	-	20 SF
11	11A	2050	RH CASEMENT	VINYL FRAME	-	10 SF
12	12A	2050	LH CASEMENT	VINYL FRAME	-	10 SF
13	13A	4020	OX SLIDER	VINYL FRAME	X	SF
14	14A	4072	FIXED	VINYL FRAME	X	SF
15	15A	4020	OX SLIDER	VINYL FRAME	X	SF
16	16A	2050	RH CASEMENT	VINYL FRAME	-	10 SF
17	17A	2050	LH CASEMENT	VINYL FRAME	-	10 SF
18	18A	5050	RH CASEMENT	VINYL FRAME	-	25 SF
19	19A	3050	RH CASEMENT	VINYL FRAME	-	15 SF
20	20A	3050	LH CASEMENT	VINYL FRAME	-	15 SF
21	21A	4050	FIXED	VINYL FRAME	X	20 SF
22	22A	2820	LH CASEMENT	VINYL FRAME	-	12.5 SF
23	23A	3020	RH CASEMENT	VINYL FRAME	-	15 SF
24	24A	2620	LH CASEMENT	VINYL FRAME	-	12.5 SF
25	25A	2616	FIXED	VINYL FRAME	-	SF
26	26A	2616	FIXED	VINYL FRAME	-	SF
27	27A	3050	LH CASEMENT	VINYL FRAME	X	15 SF



ROOF PLAN LEGEND

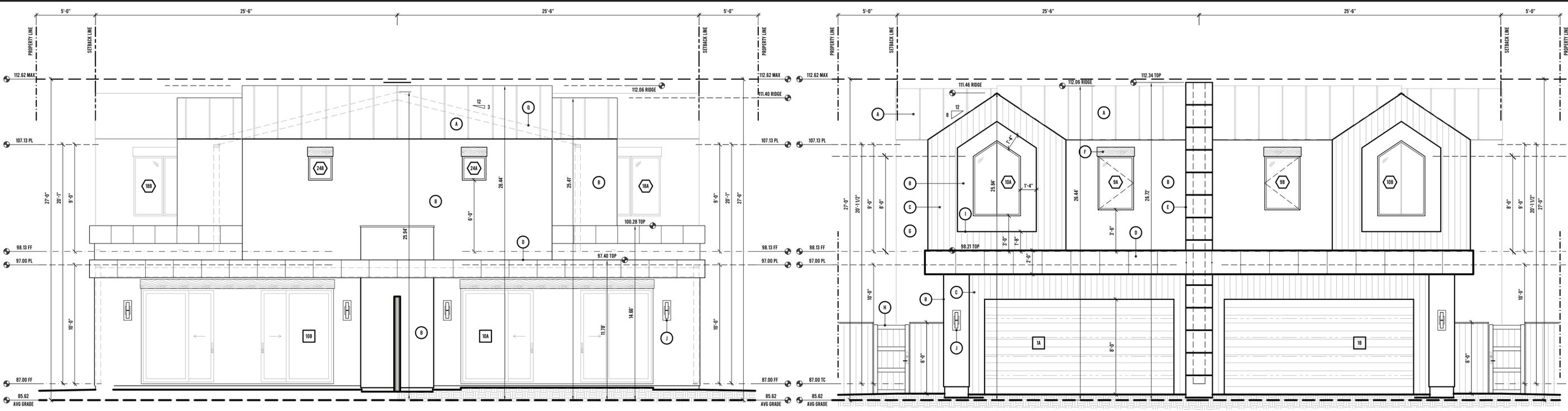
- SKYLIGHT
- KEYNOTE
- CAL FRAME IN THIS AREA

ROOF HEIGHTS

- R1: 112.34 TOP
- R2: 112.06 RIDGE
- R3: 112.06 EAVE
- R4: 111.56 RIDGE
- R5: 111.46 RIDGE
- R6: 111.40 RIDGE
- R7: 111.28 RIDGE
- R8: 111.03 RIDGE
- R9: 100.28 TOP
- R10: 95.21 TOP
- R11: 97.84 TOP
- R12: 97.12 TOP

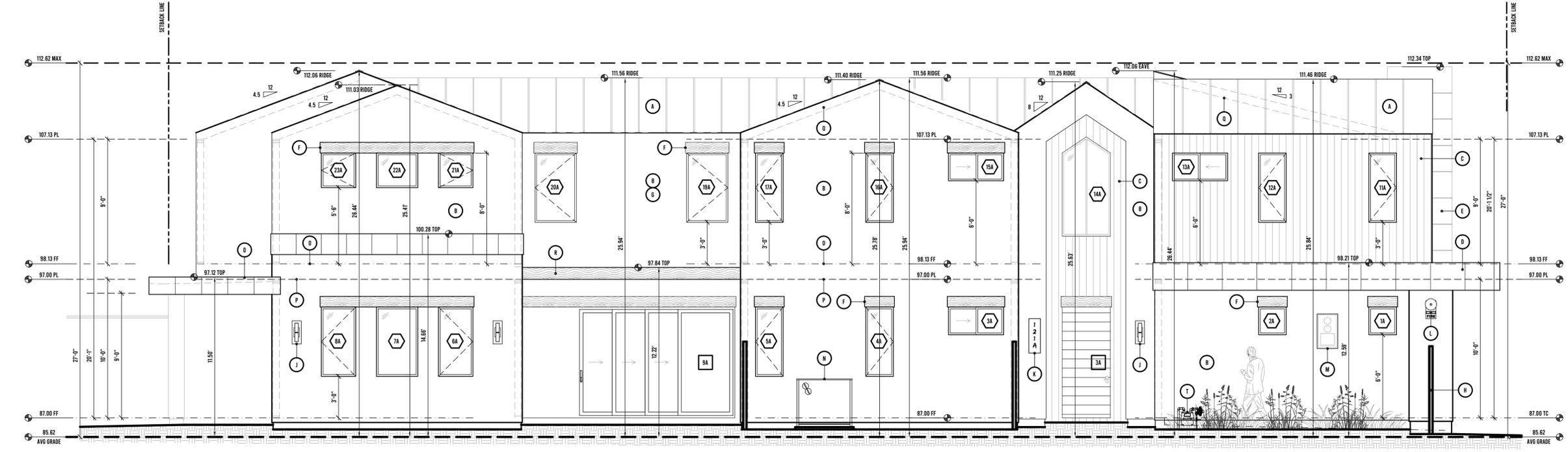
ROOF PLAN

SCALE: 1/4"=1'-0"



REAR ELEVATION
SCALE: 1/4"=1'-0"

FRONT ELEVATION
SCALE: 1/4"=1'-0"



SIDE ELEVATION
SCALE: 1/4"=1'-0"

ELEVATION MATERIALS & KEYNOTE LEGEND

TAG	NOTES
A	PETERSON STANDING SEAM METAL ROOF STYLE: METAL ROOF PANELS COLOR: SLATE GREY REPORT: ESL-1320 LISTING: UL CLASS A FIRE RESISTANCE RATING ASTM E108 - CLASS A ROOF
B	SMOOTH STUCCO STYLE: SANTA BARBARA FINISH APPLICATION: STEEL TROWEL COLOR: WESTHIGHLAND WHITE (SW 7566)
C	VERTICAL SIDING STYLE: WOOD CEDAR BOARDS (1X8) APPLICATION: NICKEL SPACE COLOR: URBANE BRONZE (SW 7048)
D	METAL HORIZONTAL BAND STYLE: ARCHITECTURAL METAL APPLICATION: PRE-FINISHED ALUMINUM CLAD COLOR: MATTIE BLACK
E	EXTERIOR CONCRETE CLADDING (LIGHTWEIGHT) WEIGHT: 3.2 LBS/FT ² THICKNESS: 1/2" STYLE: 1/4" MORTAR LINE EDGE COLOR: CHARCOAL FIRE RATING: CLASS A FIRE RATED
F	WOOD TRIM (HEADER ACCENTS) STYLE: HARDIEBOARD PANEL TRIM BOARD TEXTURE: RUSTIC GRAM COLOR: IRON GRAY
G	OUTLINE OF BUILDING BEYOND
H	PRIVATE ENTRY GATE
J	SLOPED SILL SURFACE W/ WATERPROOFING MEMBRANE
K	EXTERIOR SLIM WALL SCENCE - DARK BRONZE
L	ADDRESS PLAQUE - CUSTOM LIGHT BOX & NATURAL BLACK METAL FIRE ALARM BELL LOCATION
M	ELECTRICAL PANEL LOCATION - RECESSED BOX
N	OUTDOOR AIR CONDENSER LOCATION
O	FINISH FLOOR LINE
P	TOP PLATE LINE
Q	FRAMING BEYOND FOR REFERENCE
R	OUTDOOR WOOD TRELLIS - CEDAR OR REDWOOD
S	OUTDOOR COVERED PATIO ENTERTAINMENT
T	6AS METER LOCATION



BUILDING COLOR RENDERINGS
SCALE: NTS

MANAGING MEMBER:
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PROJECT NAME:
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Josh Martinec
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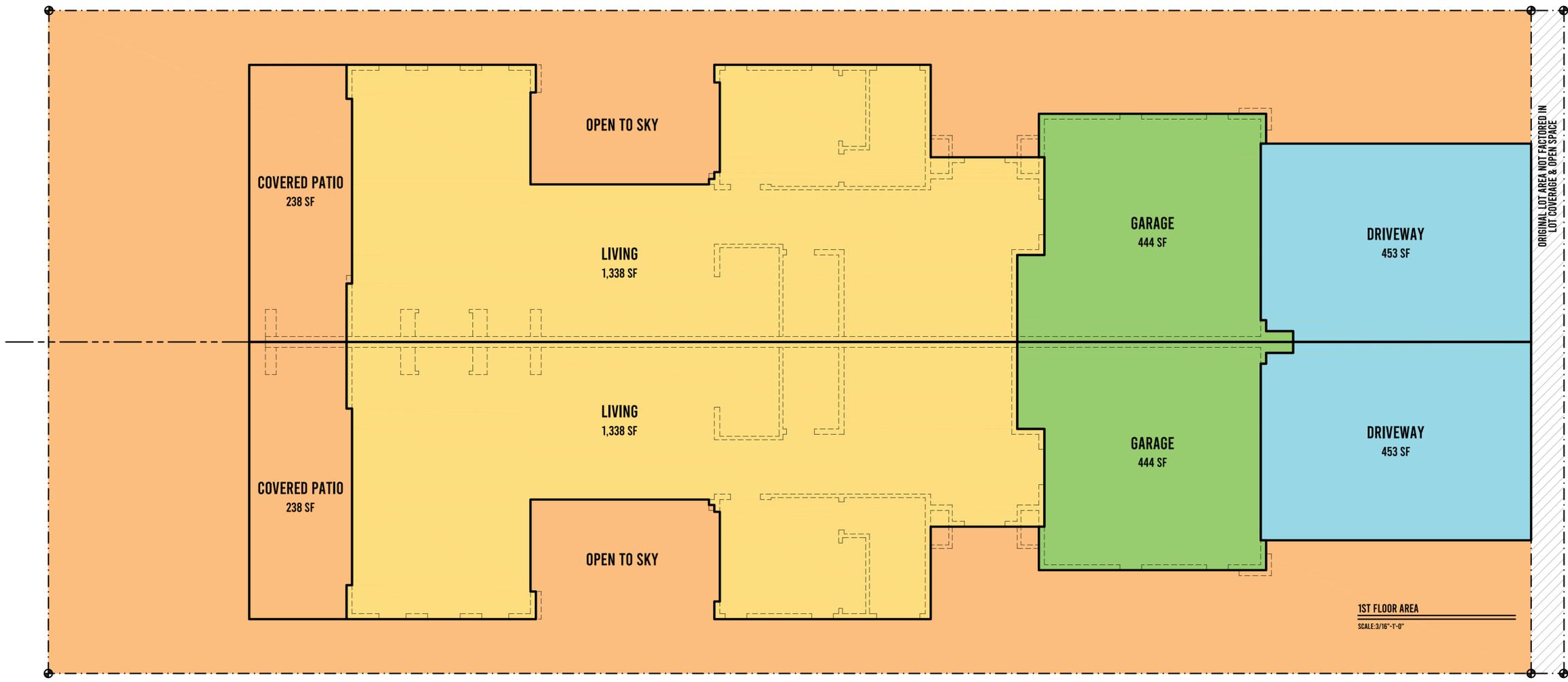
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REVISIONS

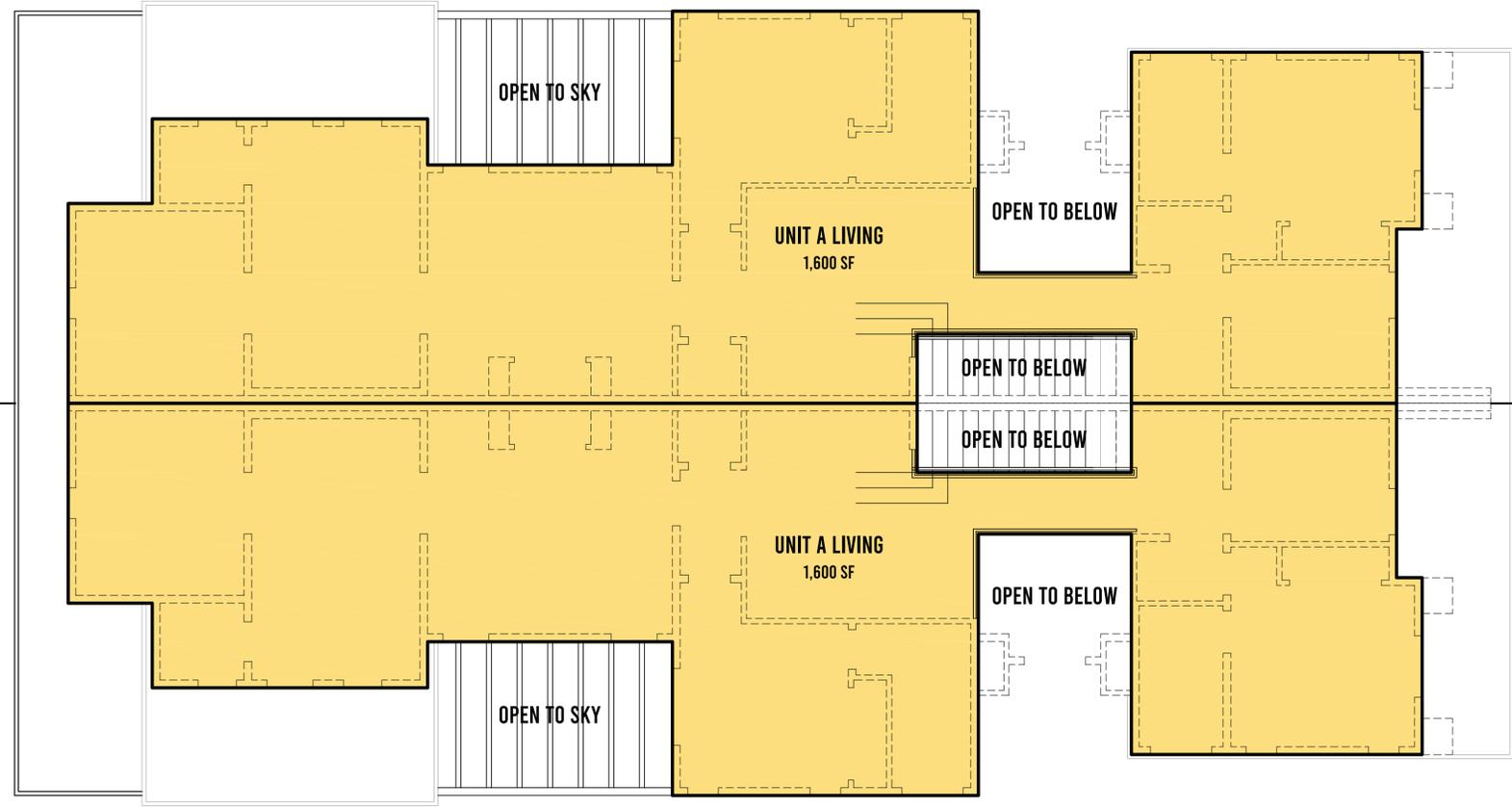
A-5

SHEET 9 OF 12

DATE: 12.22.25



1ST FLOOR AREA
SCALE: 3/16"=1'-0"



2ND FLOOR AREA
SCALE: 3/16"=1'-0"

ORIGINAL LOT AREA:	8,545 SF		
NEW DEVELOPMENT LOT:	8,357 SF		
AREA BREAKDOWN	UNIT A	UNIT B	COMBINED
1ST FLOOR	1,338 SF	1,338 SF	2,676 SF
2ND FLOOR	1,600 SF	1,600 SF	3,200 SF
GARAGE	444 SF	444 SF	888 SF
DRIVEWAY	453 SF	453 SF	906 SF
LOT COVERAGE	2,235 SF	2,235 SF	4,470 SF (53%)
OPEN SPACE	1,944 SF	1,944 SF	3,888 SF (47%)
2ND FLOOR LIMIT	1,782 SF	1,782 SF	3,564 SF

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PROJECT NAME:
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FOR CECIL VENTURE LLC
PROJECT ADDRESS:
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COSTA MESA, CA 92627

Josh Martineez
PROJECT DESIGNER
JOSH MARTINEEZ

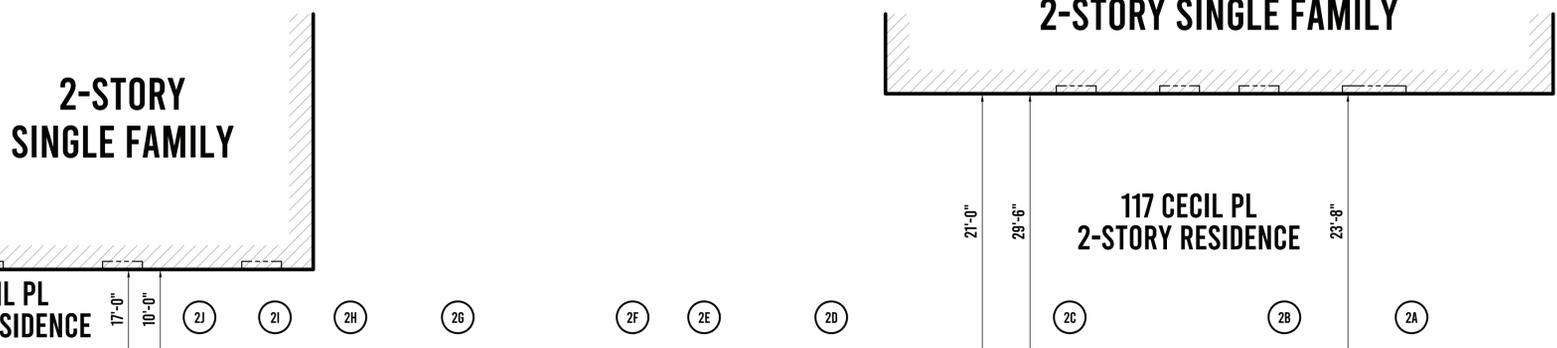
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REVISIONS

2-STORY SINGLE FAMILY



KEYNOTE LEGEND

TAG	WINDOW	SILL HEIGHT	NOTES
2A	11B	3'-0"	VIEW IS FACING (E) 2-STORY RESIDENCES, SATIN-ETCHED (ACID-ETCHED FROST) - ABOUT 23'-8"
2B	12B	3'-0"	VIEW IS FACING (E) 2-STORY RESIDENCES, SATIN-ETCHED (ACID-ETCHED FROST) - ABOUT 23'-8"
2C	14B	2'-0"	VIEW IS FACING (E) 2-STORY RESIDENCES ABOUT 38'-6" IN DISTANCE
2D	16B	3'-0"	VIEW IS FACING (E) 2-STORY RESIDENCES, SATIN-ETCHED (ACID-ETCHED FROST)
2E	17B	3'-0"	VIEW IS FACING NEIGHBORING OPEN YARD SPACE
2F	19B	3'-0"	VIEW IS FACING NEIGHBORING OPEN YARD SPACE
2G	20B	3'-0"	VIEW IS FACING NEIGHBORING OPEN YARD SPACE
2H	21B	5'-6"	VIEW IS FACING (E) 2-STORY RESIDENCES, SATIN-ETCHED (ACID-ETCHED FROST) - ABOUT 17'-0"
2I	22B	5'-6"	VIEW IS FACING (E) 2-STORY RESIDENCES, SATIN-ETCHED (ACID-ETCHED FROST) - ABOUT 17'-0"
2J	23B	5'-6"	VIEW IS FACING (E) 2-STORY RESIDENCES, SATIN-ETCHED (ACID-ETCHED FROST) - ABOUT 17'-0"
NONE	13B	6'-0"	VIEW IS ABOVE EYE LEVEL
NONE	15B	6'-0"	VIEW IS ABOVE EYE LEVEL
NONE	18B	3'-0"	VIEW IS NOT FACING NEIGHBORING LOT
NONE	24B	6'-0"	VIEW IS ABOVE EYE LEVEL

SATIN-ETCHED (ACID-ETCHED FROST) GLAZING

- ALL SECOND-FLOOR WINDOWS FACING ADJACENT RESIDENTIAL PROPERTIES SHALL BE PROVIDED WITH PERMANENT OBSCURE GLAZING TO PRESERVE VISUAL PRIVACY BETWEEN NEIGHBORING DWELLINGS.
- THE GLAZING SHALL CONSIST OF FACTORY SATIN-ETCHED (ACID-ETCHED FROST) GLASS OR APPROVED EQUIVALENT, PROVIDING A UNIFORM MATTE TRANSLUCENT FINISH THAT DIFFUSES LIGHT WHILE OBSTRUCTING DIRECT VIEWS INTO ADJACENT YARDS OR WINDOWS.



EXAMPLE OF FACTORY SATIN-ETCHED (ACID-ETCHED FROST) GLAZING FINISH

PRIVACY IMPACT STUDY

SCALE: 3/16"=1'-0"



KEYNOTE LEGEND

TAG	WINDOW	SILL HEIGHT	NOTES
1A	11A	3'-0"	VIEW IS FACING (E) 2-STORY RESIDENCES, SATIN-ETCHED (ACID-ETCHED FROST)
1B	12A	3'-0"	VIEW IS FACING (E) 2-STORY RESIDENCES, SATIN-ETCHED (ACID-ETCHED FROST)
1C	14A	2'-0"	VIEW IS FACING (E) 2-STORY RESIDENCES ABOUT 38'-6" IN DISTANCE
1D	16A	3'-0"	VIEW IS FACING (E) 2-STORY RESIDENCES, SATIN-ETCHED (ACID-ETCHED FROST)
1E	17A	3'-0"	VIEW IS FACING (E) 2-STORY RESIDENCES, SATIN-ETCHED (ACID-ETCHED FROST)
1F	19A	3'-0"	VIEW IS FACING (E) 2-STORY RESIDENCES, SATIN-ETCHED (ACID-ETCHED FROST)
1G	20A	3'-0"	VIEW IS FACING (E) 2-STORY RESIDENCES, SATIN-ETCHED (ACID-ETCHED FROST)
1H	21A	5'-6"	VIEW IS FACING (E) 2-STORY RESIDENCES ABOUT 21'-8" IN DISTANCE
1I	22A	5'-6"	VIEW IS FACING (E) 2-STORY RESIDENCES ABOUT 21'-8" IN DISTANCE
1J	23A	5'-6"	VIEW IS FACING (E) 2-STORY RESIDENCES ABOUT 21'-8" IN DISTANCE
NONE	13A	6'-0"	VIEW IS ABOVE EYE LEVEL
NONE	15A	6'-0"	VIEW IS ABOVE EYE LEVEL
NONE	18A	3'-0"	VIEW IS NOT FACING NEIGHBORING LOT
NONE	24A	6'-0"	VIEW IS ABOVE EYE LEVEL

COVERED CARPORT
124 VIRGINIA PL
CARPORTS

≈ (24'-0")
TO COVERED CARPORTS

≈ (24'-0")
TO COVERED CARPORTS

133 CECIL PL
2-STORY MULTI-FAMILY RESIDENCES

≈ (26'-0")
TO 2-STORY RESIDENCES

≈ (29'-0")
TO 2-STORY RESIDENCES

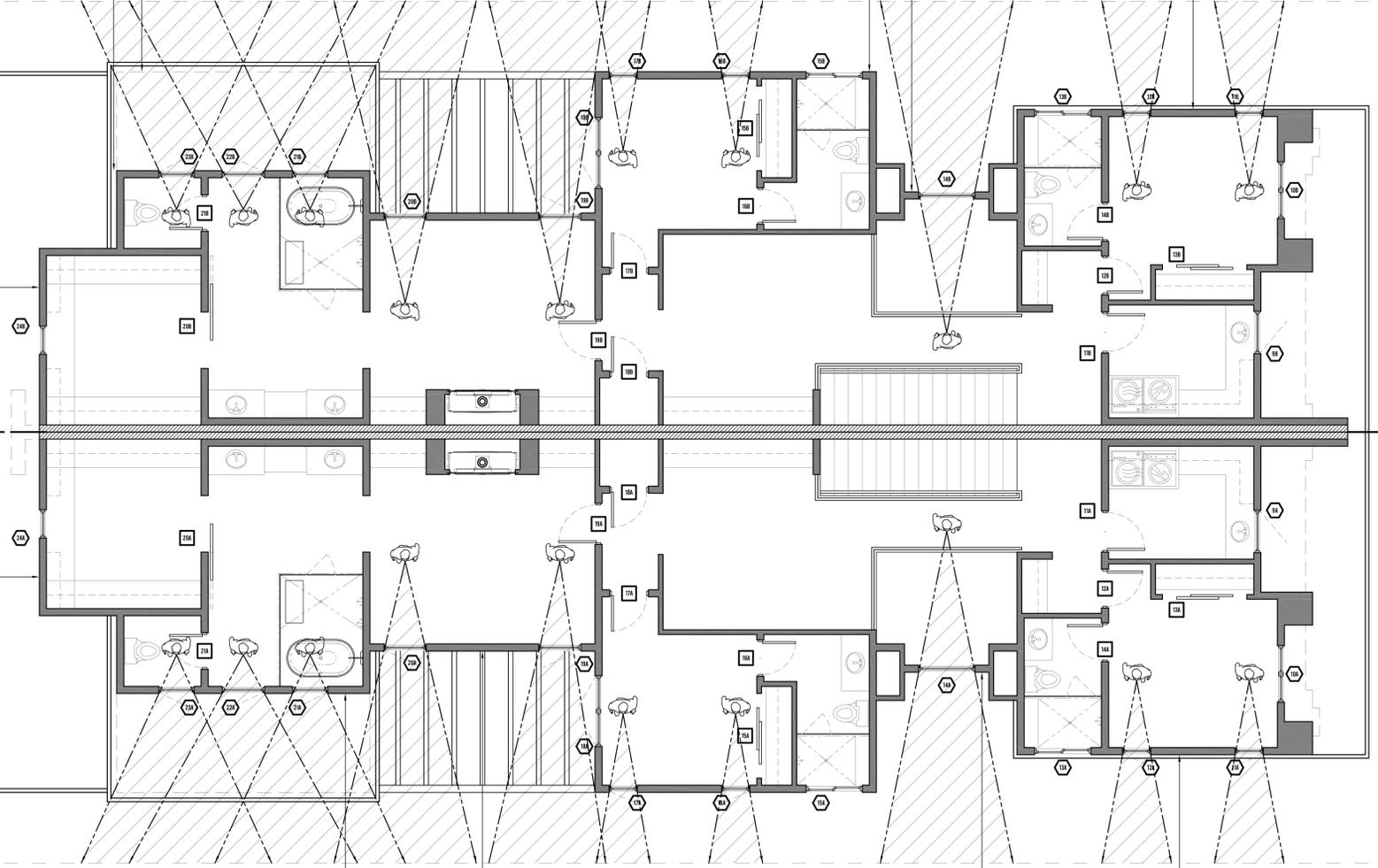
≈ (38'-6")
TO 2-STORY RESIDENCES

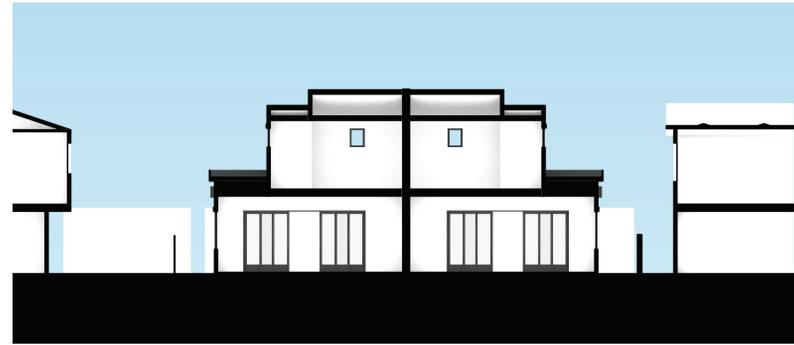
≈ (21'-8")
TO 2-STORY RESIDENCES

2-STORY
MULTI-FAMILY RESIDENCES

2-STORY
SINGLE FAMILY

119 CECIL PL
2-STORY RESIDENCE

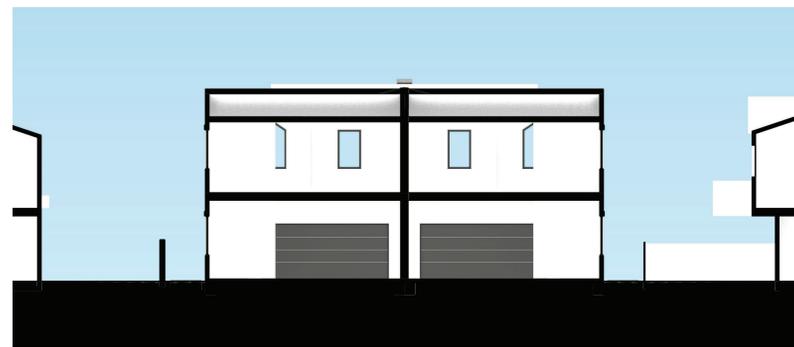




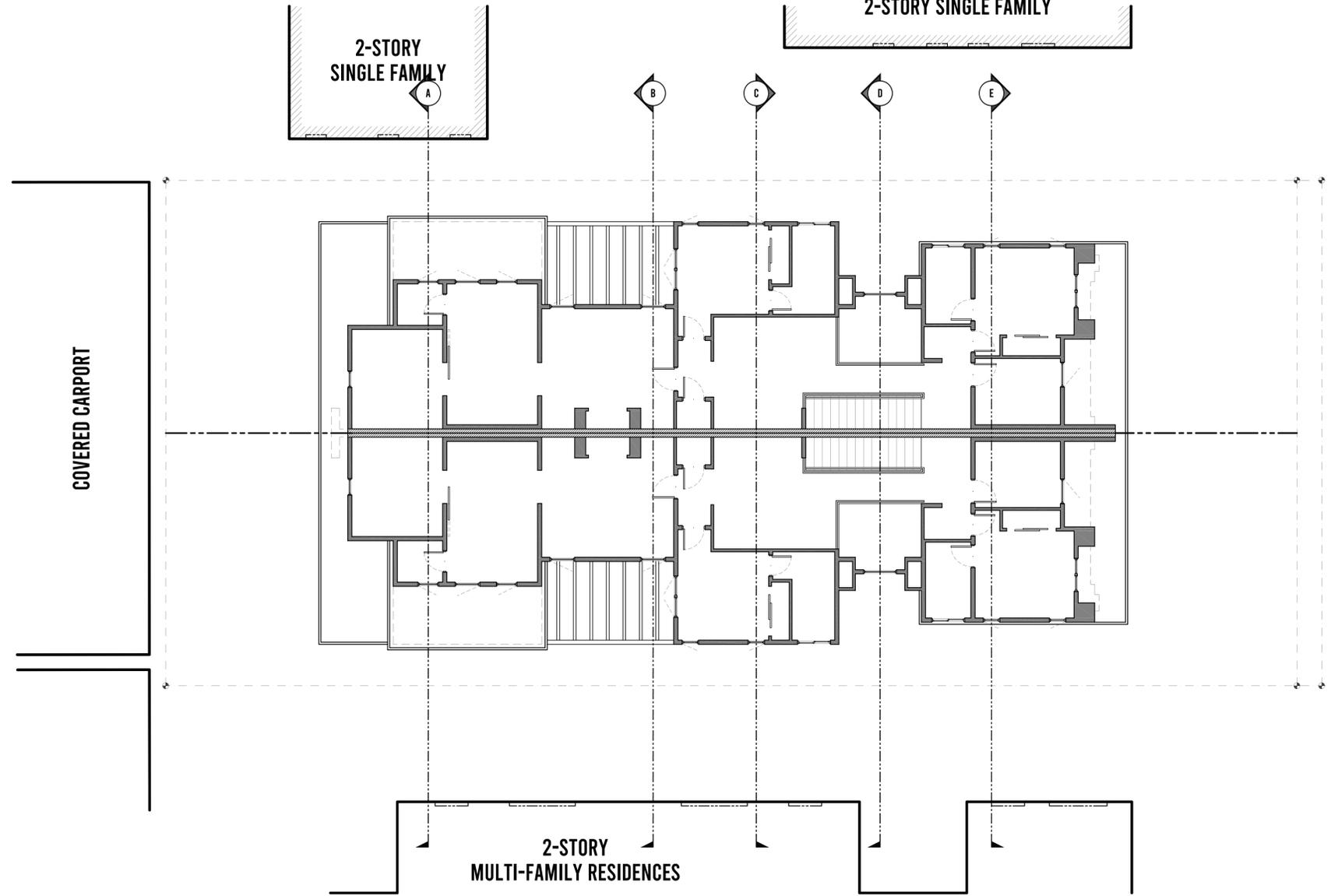
BUILDING PRIVACY STUDY
SECTION A



BUILDING PRIVACY STUDY
SECTION B



BUILDING PRIVACY STUDY
SECTION C



BUILDING PRIVACY EXHIBIT
SCALE: 1/8"=1'-0"



BUILDING PRIVACY STUDY
SECTION D



BUILDING PRIVACY STUDY
SECTION E

CECIL PL

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FOR CECIL VENTURE LLC
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REVISIONS

A-8

SHEET 12 OF 12

DATE: 12.22.25