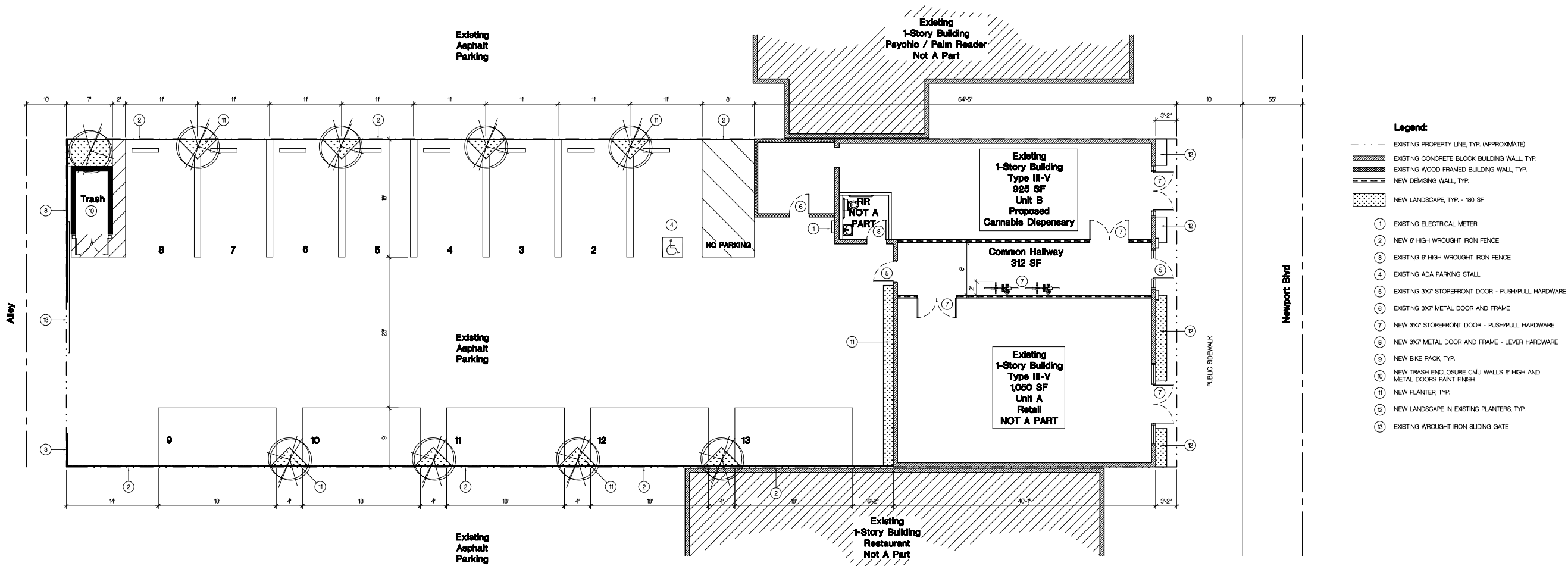


Cannable Dispensary
Tenant Improvements
1860 Newport Blvd
Costa Mesa, CA 92627

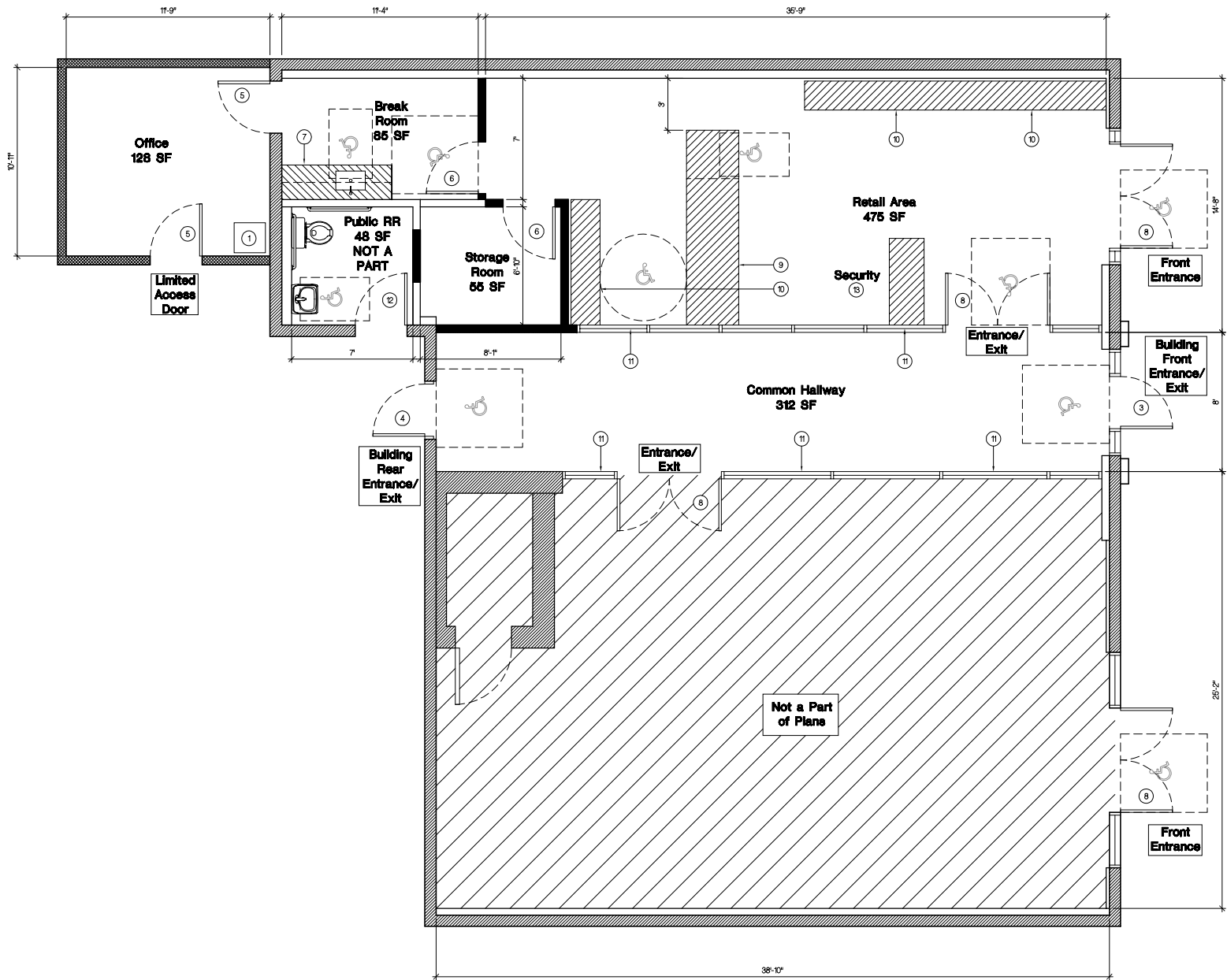


Issued For	Date
Client Review Set	07-07-2021

These drawings are the property of Frank Martinez. All design ideas and information on these drawings are the property of Frank Martinez and can not be copied or disclosed without written permission from Frank Martinez.

File No:	A-12
Job No:	2131A
Drawn By:	Staff
Date:	07-06-2021
Scale:	As Shown

PROPOSED
SITE PLAN



**Cannable Dispensary
Tenant Improvements
1860 Newport Blvd
Costa Mesa, CA 92627**

Issued For	Date
Client Review Set	07-07-2021

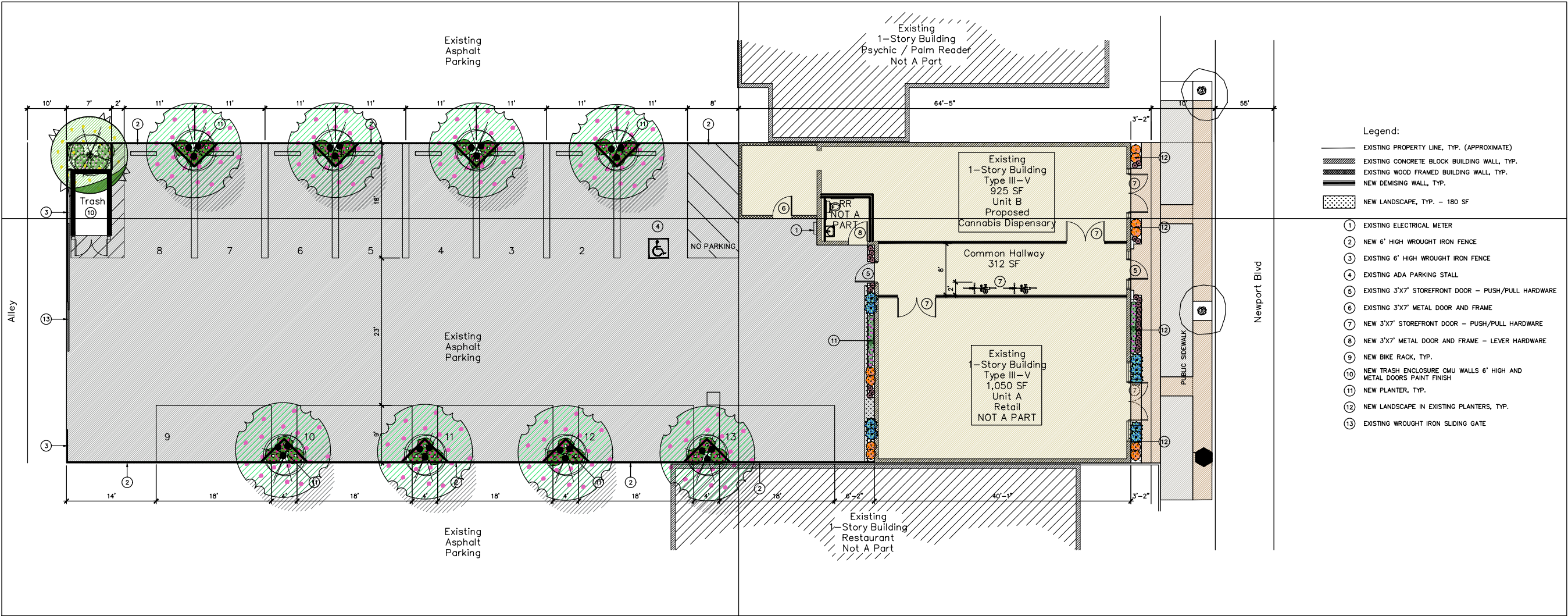
These drawings are the property of Frank Martinez.
All design ideas and information on these drawings are the
property of Frank Martinez and can not be copied or
disclosed without written permission from Frank Martinez.

File No:	A-2.2
Job No:	2131A
Drawn By:	Staff
Date:	07-06-2021
Scale:	As Shown

**PROPOSED
FLOOR PLAN**



A-2.2



Tenant Improvements
1860 Newport Blvd
Costa Mesa, CA. 92627

PLANT LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	PLANT FACTOR
Trees					
A M	Arbutus marina	No common name	24" box	8	L
H F	Hymenosporum flavum	Sweetshade	15 gal	1	M
Shrubs/Perennials/Ground Covers					
A A	Aeonium arboreum 'Zwartkop'	Zwartkop Aeonium	1 gallon	26	L
E K	Erigeron karvinskianus	Santa Barbara Daisy	1 gallon	4	M
E T	Euphorbia tirucalli 'Sticks on Fire'	Sticks of Fire	1 gallon	10	L
H P	Hesperaloe parviflora	Red Yucca	1 gallon	27	L
L A	Lavandula a. 'Hidcote'	Hidcote Lavender	1 gallon	9	L
Espalier					
G C	Grewia caffra	Lavender Star Flower espaliered	5 gallon	2	M

Note: Install a 3" thick layer of shredded bark mulch throughout all landscape areas.

Plant Factor describes plant species water use rating - L = Low, M = Moderate, H = High

PLANTING NOTES

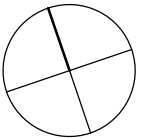
- Protect in place all existing Queen Palms and Pygmy Date Palms on the site.
- Hand water existing landscape to remain as necessary to keep planting in a healthy condition while irrigation system is turned off for construction.
- Contractor shall maintain a qualified supervisor on the site at all times during installation through completion of work.
- Contractor shall verify all plant material species and quantities prior to installation. Plant quantities are listed for the convenience of the Contractor; actual number of plant symbols shown on plan shall have priority over quantity listed.
- All container grown plants and ground covers and installation per the plans are to be provided and paid for by the Contractor. Contractor shall be responsible for the continuous protection of all plants upon delivery to the site and throughout construction.
- All plant materials shall be inspected and are subject to approval prior to installation by the Landscape Architect.
- Remove all debris, weeds, excess material, and rocks larger than 2" in diameter from landscape areas prior to soil preparation and again prior to planting.
- Contractor shall obtain samples of site soil from two different locations in landscape areas and have them analyzed by a reputable soil testing laboratory for fertility and agricultural suitability. Install soil amendments as recommended in the soil analysis report.
- Excavate plant pits for shrubs twice the diameter and 1-1/2 times the depth of the root ball. For bidding purposes, use the following soil amendment specifications: Place native soil without amending for backfill to the bottom of the root ball, and the following backfill mix, thoroughly mixed, around the root ball to the surface:
3 parts by volume on-site soil
1 part by volume nitrogen stabilized organic amendment (fir or cedar shavings)
Gro-Power Controlled Release fertilizer, quantity per manufacturer's specification
- Fine grade all planting areas to achieve surface drainage toward street, parking lot, or storm drains.
- Following completion of planting, spread a continuous 3" thick layer of shredded bark mulch in newly planted areas.
- Upon completion, remove all extraneous material and debris from the site, and rake the area clean.
- Contractor shall include in his bid maintenance of the landscape for 60 days, including weeding, pruning, cleanup, adjustment of irrigation system, and replacement of dead or damaged plants.
- Contractor shall guarantee all shrubs for a period of 90 days and all trees for a period of one year following completion of the 60 day maintenance period, and shall replace any dead plants at no additional cost unless vandalism, improper maintenance, or damage by other contractors or agency staff can be shown.

IRRIGATION NOTE:

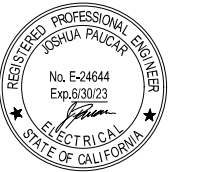
ALL PLANTED AREAS TO BE IRRIGATED WITH DRIP IRRIGATION. A 'SMART' IRRIGATION CONTROLLER SHALL BE INSTALLED WITH A WEATHER SENSOR TO MAXIMIZE IRRIGATION EFFICIENCY AND CONFORM TO MWEL REQUIREMENTS.

SITE LANDSCAPE SUMMARY

LANDSCAPE:	
Proposed Landscape:	274 SF
TREES:	
INVENTORY REQUIRED VS. PROPOSED REQUIRED:	
1-Tree per 6 parking spaces/15 = 3 trees	
Total new trees required =	3 trees
PROVIDED:	
Total new trees provided =	9 trees



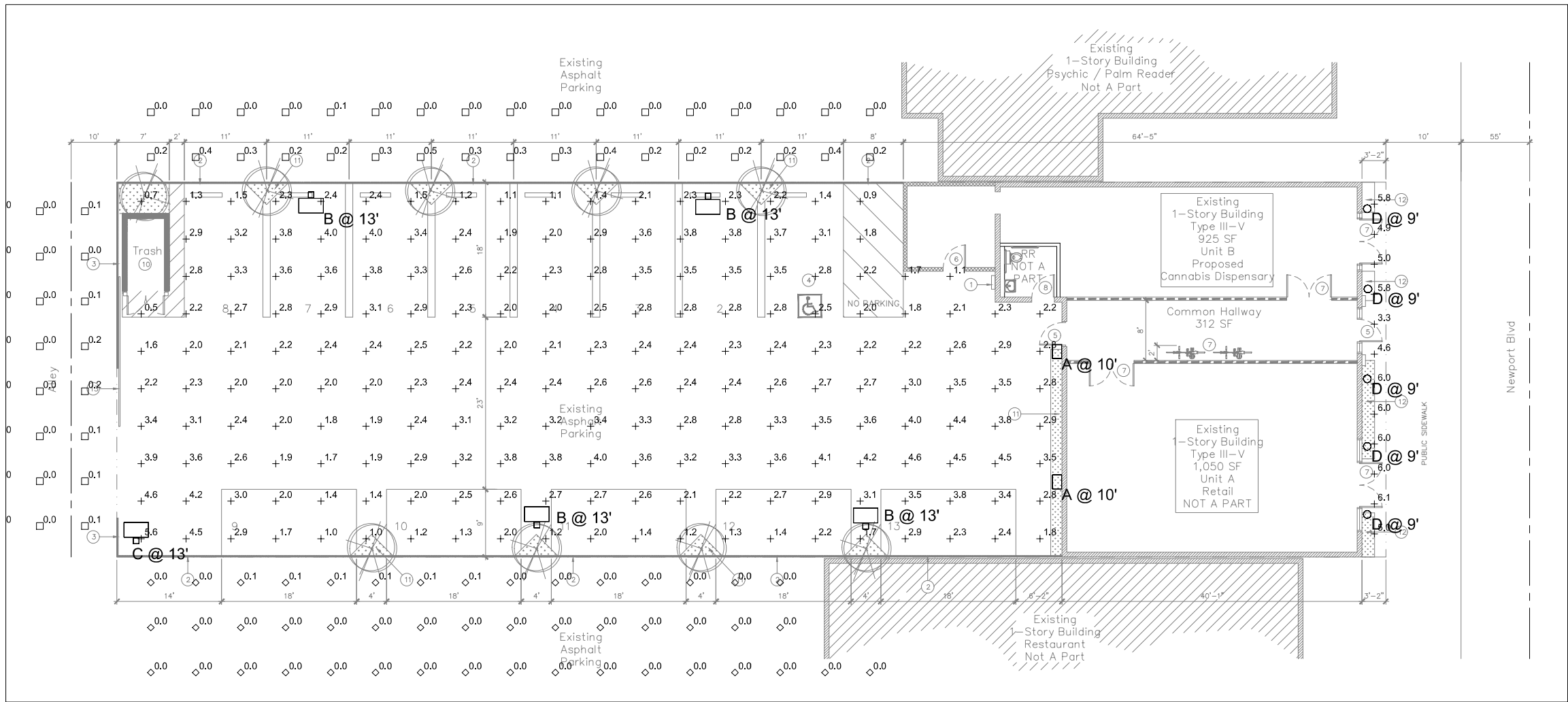
SCALE: 1/8"=1'-0"



Project #: 22133



Cannabis Dispensary
Tenant Improvements
1860 Newport Blvd
Costa Mesa, CA. 92627



1 SITE PHOTOMETRIC PLAN

SCALE: 1/8" = 1'-0"

Schedule								
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Wattage
	A	2	Lithonia Lighting	WDGE2 LED P1 30K 80CRI TFTM	WDGE2 LED WITH P1 - PERFORMANCE PACKAGE, 3000K, 80CRI, TYPE FORWARD THROW MEDIUM OPTIC	1	1186	0,9 11,1658
	B	4	Lithonia Lighting	DSX0 LED P1 30K BLC MVOLT	DSX0 LED P1 30K BLC MVOLT	1	3585	0,9 38
	C	1	Lithonia Lighting	DSX0 LED P1 30K LCCO MVOLT	DSX0 LED P1 30K LCCO MVOLT	1	2668	0,9 38
	D	5	Lithonia Lighting	LDN4 30005 L04AR LSS	4IN LDN, 3000K, 500LM, CLEAR, SEMI-SPECULAR REFLECTOR, 80CRI	1	517	0,9 5,74

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
ALLEY WAY @ 0' A.F.G.		0,0 fc	0,2 fc	0,0 fc	N/A	N/A
NORTH ADJACENT PROPERTY @ 0' A.F.G.		0,1 fc	0,5 fc	0,0 fc	N/A	N/A
PARKING AREA @ 0' A.F.G.		2,6 fc	5,6 fc	0,5 fc	11,2:1	5,2:1
SOUTH ADJACENT PROPERTY @ 0' A.F.G.		0,0 fc	0,1 fc	0,0 fc	N/A	N/A
STOREFRONT @ 0' A.F.G.		5,4 fc	6,1 fc	3,3 fc	1,8:1	1,6:1

Issued For	Date
Client Review Set	07-07-2021

These drawings are the property of Frank Martinez. All design ideas and information on these drawings are the property of Frank Martinez and can not be copied or disclosed without written permission from Frank Martinez.

File No.:	2131A
Job No.:	Staff
Drawn By:	07-06-2021
Date:	Scale:
	As Shown

SITE PHOTOMETRIC PLAN

SPH-1







