ATTACHMENT 9

Westend Restaurant

814 WEST 19TH STREET
COSTA MESA, CA. 92626

LANDLORD'S REQUIRED SUBCONTRACTOR LIST

NOTE: THE FOLLOWING SUBCONTRACTORS ARE REQUIRED BY THE LANDLORD TO BE USED BY THE TENANT G.C. VERIFY ALL REQUIRED LANDLORD SUB-CONTRACTORS WITH LANDLORD PRIOR TO BIDDING PROJECT.

CONCRETE SLAB
Rick Hamm Construction, Inc.
201 W. Carlton Avenue
Orange, CA 92867
Rick Hamm
rick@rickhamm.com
Ph: 714.532.0815
Toll Free: 800.742.4266
Cell: 714.931.8475

STOREFRONT (NO LONGER REQUIRED)
Huntington Glazing
5344 Alhambra Ave.
Los Angeles, CA 90032
Gabriel Velez
gvelez@huntingtonglazing.net
323.353.4431 cell

LOCKSMITH
Tony's Locksmith
429 Avenida de la Estrella
San Clemente, CA 92672
Type: 6 pin Schlage
Eric Smith
Eric.r.smith@cox.net
Ph: 949.492.5700
Cell: 949.436.0467

WASTE REMOVAL / DUMPSTER
CR&R
31641 Ortega Highway
San Juan Capistrano, CA 92693
Maria Lazaruk
Ph: 714.372.8288
Toll Free 877.728.0446

ROOFING
Diamond Roofing
34 Indian Pipe
Dove Canyon, CA 92679
Tom Berry
tom@diamondroofing.com
Dir: 949.298.3212
Fax: 949.298.3206
Cell: 949.683.2000

ROOFING
FIRE LIFE SAFETY & FIRE SPRINKLER:
Nutech Fire Alarm & Security
11223 Old River School Rd
Downey, CA 90241
Jesse Hernandez
jhernandez@gmsnutech.com
Dir: 562.946.3473
Fax: 562.946.3474
Cell: 562.307.1743

SPECIAL INSPECTION

DEFERRED SUBMITTALS

ACCESSIBILITY INSPECTED

I AM THE DESIGNER/OWNER IN RESPONSIBLE CHARGE OF THIS TENANT IMPROVEMENT PROJECT: I HAVE INSPECTED THE SITE/PREMISES AND DETERMINED THAT EXISTING CONDITIONS ARE IN FULL COMPLIANCE WITH CURRENT SITE ACCESSIBILITY REQUIREMENTS TO THE EXTENT REQUIRED BY LAW.

SIGNATURE:_____

PRINT NAME: _____

DATE: _____

IF THE BUILDING INSPECTOR DETERMINES NONCOMPLIANCE WITH ANY CURRENT ACCESSIBILITY PROVISIONS OF THE LAW, HE/SHE SHALL REQUIRE SUBMITTAL OF COMPLETE AND DETAILED PLANS TO THE BUILDING DEVELOPMENT REVIEW DIVISION OF THE DEVELOPMENT SERVICES DEPARTMENT FOR FURTHER REVIEW. PLANS MUST CLEARLY SHOW ALL EXISTING NON-COMPLYING CONDITION AFFECTED BY THE REMODEL (INCLUDING SIRE PLAN, FLOOR PLAN, DETAILS, ETC.) AND PROPOSED MODIFICATIONS OF DEFICIENCIES TO MEET CURRENT ACCESSIBILTY PROVISIONS. THE PLANS MUST BE STAMPED BY THE FIELD INSPECTOR PRIOR TO SUBMITTAL FOR PLAN REVIEW.

ABBREVIATIONS

A.B.	ANCHOR BOLT	MAX.	MAXIMUM
A.F.F.	ABOVE FINISH FLOOR	MFG.	MANUFACTURER
&	AND	MIN.	MINIMUM
ALUM.	ALUMINUM	MISC.	MISCELLANEOUS
ARCH	ARCHITECTURAL	M.O.	MASONARY OPENING
@	AT	MT'D.	MOUNTED
BLDG.	BUILDING	N.I.C.	NOT IN CONTRACT
B.O.	BOTTOM OF	NO.	NUMBER
BRG.	BEARING	NTS.	NOT TO SCALE
		O.C.	ON CENTER
℄	CENTER LINE	O.D.	OUTSIDE DIAMETER
CFM.	CUBIC FEET PER MINUTE	OPNG.	OPENING
C.J.	CONTROL JOINT	OPP.	OPPOSITE
CLR.	CLEAR	O.S.B.	ORIENTED STRAND BOARD
CMU.	CONCRETE MASONRY UNITS		
COL.	COLUMN	P.L.F.	POUNDS PER LINEAL FOOT
CONC.	CONCRETE	P.S.I.	POUNDS PER SQUARE INCH
CONT.	CONTINUOUS		
CYL.	CYLINDER	RE:	REFER TO, REFERENCE FROM
		REINF.	REINFORCING
DN.	DOWN	REQ'D	REQUIRED
Ø	DIAMETER	R.O.	ROUGH OPENING
EA.	EACH	SIM.	SIMILAR
ELEV.	ELEVATION	SPECS.	SPECIFICATIONS
E.I.F.S.	EXTERIOR INSULATING FINISH SYSTEM	STL.	STRUCTURAL
		SQ.	SQUARE
FDN.	FOUNDATION		
F.O.C.	FACE OF CURB / CONCRETE		
F.O.M.	FACE OF MASONRY	T&G	TONGUE & GROOVE
FIN.	FINISH	T.O.C.	TOP OF CURB/CONCRETE
FLR.	FLOOR	T.O.	TOP OF
FT.	FEET	T.D.	TOP OF DRAIN
FTG.	FOOTING	T.E.	TRASH ENCLOSURE
FR-S		TYP.	TYPICAL
		VERT.	VERTICAL
GA.	GAUGE		
GALV.	GALVANIZED	U.D.L.	UNIFORM DISTRIBUTED LOAD
G.I.	GALVANIZED IRON / STEEL	U.N.O.	UNLESS NOTED OTHERWISE
G.L.	GLUE LAMINATED STRUCTURE MEMBER		
GYP. BRD.	GYPSUM BOARD	W/	WITH
H.C.A.	HEADED CONCRETE ANCHOR	W.P.	WEATHERPROOF
H.M.	HOLLOW METAL	W.W.F.	WELDED WIRE FABRIC
HORIZ.	HORIZONTAL		
HR.	HOUR		
HT.	HEIGHT		
H.V. / A.C.	HEATING VENTILATION / AIR CONDITIONING		
I.D.	INSIDE DIMENSION		
IN.	INCH		
LBS.	POUNDS		
L.O.W.	LIMIT OF WORK		

GRAPHIC SYMBOLS

- 1 — DOOR NUMBER
- A — WINDOW TYPE
- 21 — KITCHEN EQUIPMENT NUMBER
- DINING 100 — ROOM/SPACE NUMBER
- 13 — FURNITURE NUMBER
- 9 — MISCELLANEOUS EQUIPMENT NUMBER
- 4 — WASHROOM & KITCHEN ACCESSORIES NUMBER
- W1 — REFERENCE WALL TYPE
- 1 A300 — SECTION/DETAIL
- 1 A300 — WALL SECTION
- A200 — ELEVATION REFERENCE
- 1 A300 — DETAIL REFERENCE
- TRUE NORTH / PLAN NORTH
- 1 A115 — FLOOR PLAN, SCALE: 1/4" = 1'-0", DRAWING TITLE W/ NORTH
- T.O. SLAB EL. = 100'-0" — ELEVATION NOTE
- 1 — REVISION NUMBER

CODE AUTHORITIES

BUILDING CODE	2022 CALIFORNIA BUILDING CODE
PLUMBING CODE	2022 CALIFORNIA PLUMBING CODE
MECHANICAL CODE	2022 CALIFORNIA MECHANICAL CODE
ELECTRICAL CODE	2022 CALIFORNIA ELECTRICAL CODE
FIRE CODE	2022 CALIFORNIA FIRE CODE
HEALTH CODE	2022 CALIFORNIA FOOD CODE
ENERGY CODE	2022 CALIFORNIA ENERGY CODE 2022 CAL GREEN ENERGY CODE REQUIREMENTS
ACCESSIBILITY CODE	2022 CALIFORNIA BUILDING CODE ADAAG

SCOPE OF WORK

THIS PROJECT CONSISTS OF A TENANT IMPROVEMENT OF AN EXISTING RESTAURANT. WE WILL BE REMOVING A BACK PATIO OF 250 S.F. AND REPLACING IT WITH A NEW COVERED BACK PATIO OF 651 S.F. WE WILL ALSO BE GETTING THE EXISTING 150 S.F. FRONT PATIO PERMITTED.

REGULATORY AGENCIES

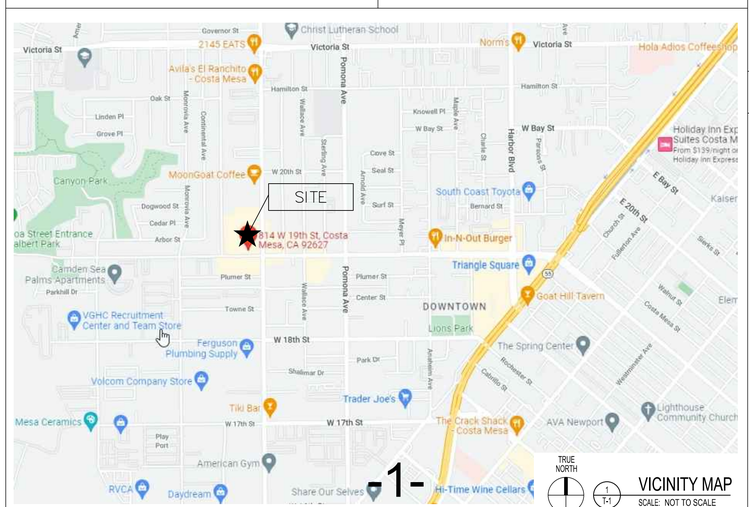
Planning & Zoning Dept.
City of Costa Mesa
Planning Division
77 Fair Drive
Costa Mesa, Ca. 92626
Contact: Counter Technician
Tel.: (714) 754-5245

Building Dept.
City of Costa Mesa
Building Division
77 Fair Drive
Costa Mesa, Ca. 92626
Contact: Counter Technician
Tel.: (714) 754-5273

Fire Dept.
City of Costa Mesa
Fire & Rescue
77 Fair Drive
Costa Mesa, Ca. 92626
Contact: Counter Technician
Tel.: (714) 754-5106

BUILDING CODE & ZONING DATA

1. OCCUPANCY GROUP: B / A-2
2. ZONE: COMMERCIAL
3. APN: 115-350-42
4. TRACT NO.
5. BUILDING TYPE: VN-B
6. WEST END RESTAURANT AREA :
   - FRONT PATIO AREA : 101
   - INTERIOR AREA : 1,034
   - REAR PATIO AREA : 720
   - TOTAL AREA : 1,677
7. MEANS OF EGRESS: TWO REQUIRED, TWO PROVIDED
8. FIRE SPRINKLERS: YES
9. SEE SHEET A-0.1 FOR ALL CODE COMPLIANT AND BUILDING INFORMATION



TRUE NORTH — 1 T-1 VICINITY MAP
SCALE: NOT TO SCALE

DRAWING INDEX AND REVISIONS

ARCHITECTURAL DRAWINGS

T-1	TITLE / PROJECT INFORMATION
SP-1.0	SITE PLAN
A-0.1	EXITING AND OCCUPANCY PLAN
A-1.0	AS-BUILT FLOOR PLAN
A-2.0	AS-BUILT ELEVATIONS
A-3.0	OVER ALL FLOOR PLAN & ENLARGED FLOOR PLANS
A-4.0	REFLECTED CEILING PLAN & ROOF PLAN
A-5.0	ELEVATIONS
A-6.0	SECTIONS AND DETAILS

PROJECT DIRECTORY

LANDLORD: Monica Chang
7042 Kearny Dr.
Huntington Beach, Ca 92658
Contact: Monica Chang
Email:
Tel.: (714) 357-1858
Fax:

STRUCTURAL: Shucri Yaghi Structural Engineering
112 E. Chapman Ave. Suite D
Orange, Ca 92866
Contact: Chuck Yaghi
Email: yaghi-engineers@live.com
Tel.: (714) 997-9120
Fax: (714) 744-3676

TENANT: Westend
814 West 19th street
Costa Mesa, Ca 92626
Contact: Roland Barrera
Email: barrera.roland@icloud.com
Tel.: (714) 290-0375

MECHANICAL / ELECTRICAL / PLUMBING: RPM Engineers, Inc.
102 Discovery
Irvine, Ca 92618
Contact: Raymond Phua
Email: rayp@rpmpe.com
Tel.: (949) 450-1229 ext. 200

ARCHITECT: J.C. Marvick & Associates, INC.
1827 Capital Street, suite 102
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Contact: Chuck Marvick
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Tel.: (951) 808-0520
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J.C. MARVICK & ASSOC., INC.
ARCHITECTURE / PLANNING
1827 Capital Street, suite 101
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REGISTERED ARCHITECT — JOHN CHARLES MARVICK — C-22067 — 3/23 — RENEWAL DATE — STATE OF CALIFORNIA

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Westend Restaurant
SITE IMPROVEMENT
814 WEST 19TH STREET
COSTA MESA, CA 92627

ISSUE RECORD:

6-1-23	C.U.P. SUBMITTAL

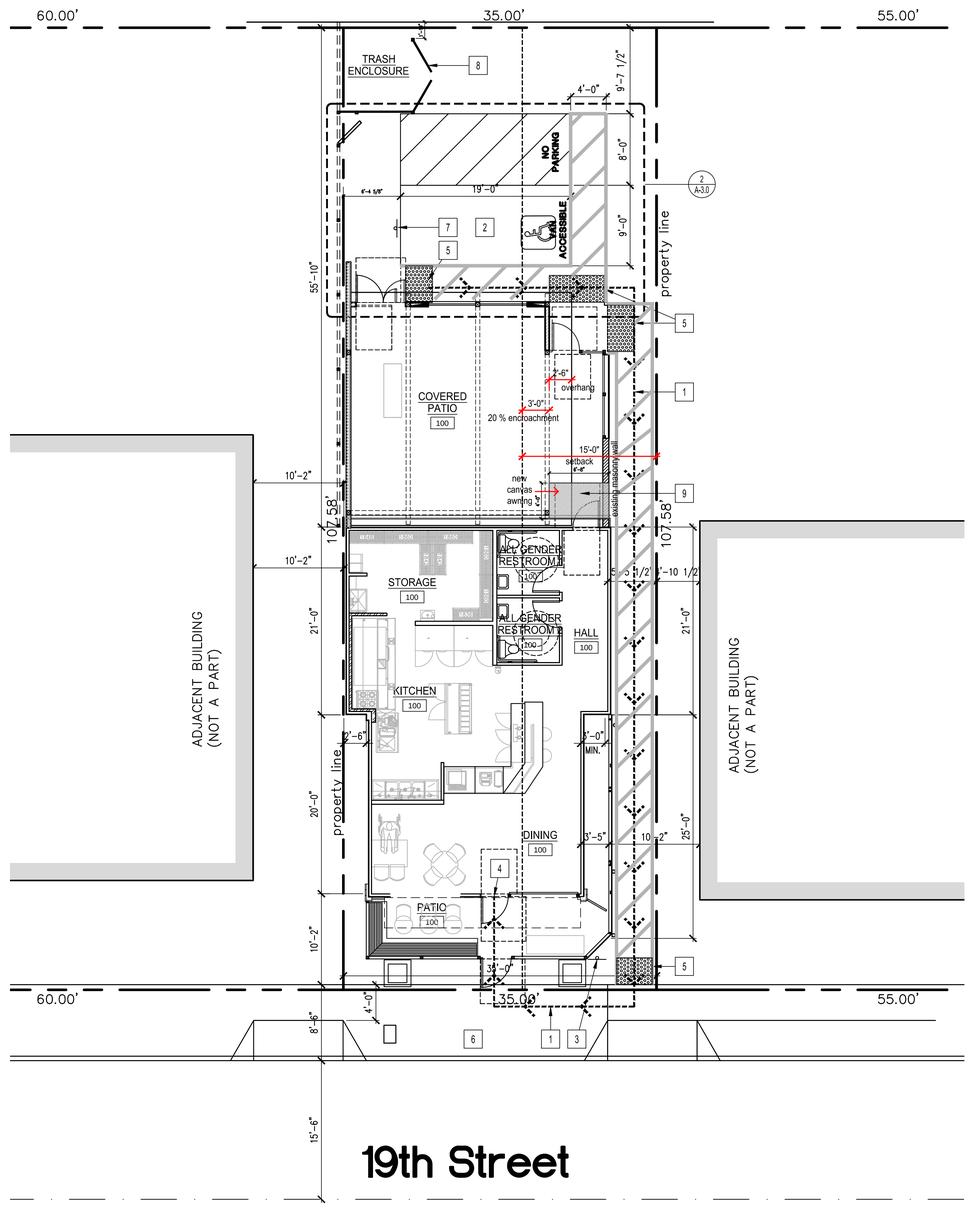
DRAWN: C.M.
CHECKED: C.M.

PROJECT NUMBER: 22-13 WEST END RESTAURANT

SHEET TITLE: TITLE / PROJECT INFORMATION

SHEET NUMBER: T-1

DATE OF LAST PRINT: 5-16-23



TRUE NORTH

1 SP-1.0 SITE PLAN

SCALE: 1/8" = 1'-0"

KEY NOTES

1. (N) PATH OF TRAVEL
2. (N) ACCESSIBLE PARKING VAN STALL PER DETAIL 7/SP-1.1
3. (N) ACCESSIBLE SITE SIGN PER DETAIL 8/SP-1.1
4. (E) MAIN ENTRY - 1/2" MAX THRESHOLD, 2% MAX SLOPE IN ALL DIRECTIONS AT BOTH SIDES OF THE DOOR LANDING
5. (N) ADA COMPLIANT TRUNCATED DOMES - SEE DETAIL 6/SP-1.1
6. (E) CONCRETE SIDEWALK
7. (N) ACCESSIBLE PARKING SIGN PER DETAIL 2,3,AND 4 /SP-1.1
8. (E) TRASH ENCLOSURE AND GATE
9. (N) CANVAS AWNING AT REAR EXIT DOOR
10.

INDICATES ACCESSIBLE PATH OF TRAVEL

SITE PARKING

NOTE NO PROPOSED CHANGE OF USE.

GENERAL NOTES

1. ALL SIDEWALKS SHALL HAVE A SLOPE LESS THAN 1:20 OR 5%
2. WALKS ALONG AN ACCESSIBLE ROUTE OF TRAVEL SHALL BE 48" MIN. IN WIDTH AND SHALL HAVE A SLIP RESISTANT SURFACE, PER 2016 CBC 11B-301 AND 401
3. THE MAXIMUM PERMITTED CROSS SLOPE SHALL BE 1:48 PER SECTION 11B-405.3
4. ANY ABRUPT LEVEL CHANGES WILL BE $\frac{1}{4}$" OR LESS ALONG ANY ACCESSIBLE ROUTE OF TRAVEL. WHEN CHANGES DO OCCUR, THEY SHALL BE BELEVED WITH A SLOPE OF 1:2 OR LESS. LEVEL CHANGES OF $\frac{1}{4}$" OR LESS MAY BE VERTICAL.
5. A 60"x60" LEVEL AREA (OR NOT TO EXCEED 2% SLOPE FOR DRAINAGE) IS PROVIDED AT AREAS WHERE A DOOR (OR GATE) SWINGS TOWARD THE WALK IN THE ACCESSIBLE ROUTE OF TRAVEL, PER SECTION 11B-404
6. 80" HEADROOM MIN. IS TO BE PROVIDED FROM ALL WALKWAYS SURFACES TO OBSTRUCTIONS, PER SECTION 11B-307.2
7. NO ABRUPT CHANGES IN ELEVATION ALONG PATH OF TRAVEL SHOWN. THE SLOPE AND CROSS SLOPE ALONG THE PATH OF TRAVEL SHALL NOT EXCEED 5% AND 2% RESPECTIVELY. (INSPECTOR TO VERIFY)
8. IF A WALK CROSSES OR ADJOINS A VEHICULAR WAY AND THE WALKING SURFACES ARE NOT SEPARATED BY CURBS, RAILINGS OR OTHER ELEMENTS BETWEEN THE PEDESTRIAN AREAS AND VEHICULAR AREAS, THE BOUNDARY BETWEEN THE AREAS SHALL BE DEFINED BY A CONTINUOUS DETECTABLE WARNING WHICH IS 36" WIDE, COMPLYING WITH 2016 CBC SECTION 11B-406

GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF FRAMING, OR CENTERLINE OF STRUCTURE UNLESS NOTED OTHERWISE.
2. DASHED CIRCLE IN RESTROOMS INDICATES 5'-0" TURNING DIAMETER REQUIRED BY ADA.
3. REFER TO FLOOR PLAN ON A-3.0 FOR ALL DIMENSIONS
4. STUD SIZES AS INDICATED PER FLOOR PLAN LEGEND.
5. INTERIOR DOORS ARE 4" OFF OF PERPENDICULAR WALL UNLESS NOTED OTHERWISE.
6. NEW SIGN INDICATION NUMBER OF ROOM OCCUPANTS PERMITTED.THE SIGN SHALL BE DURABLE AND HAVE CONTRASTING COLOR FROM THE BACKGROUND. SIGN SHALL READ: "MAXIMUM OCCUPANT LOAD:_____ PERSONS".
7. TACTILE EXIT SIGNAGE (TYP.) AT EACH EXIT DOOR. SEE SHEET A-0.1 EXITING PLAN
8. ALL DIMENSIONS ARE TO BE HELD PER DRAWING UNLESS NOTED OTHERWISE. CONTACT ARCHITECT IF DISCREPANCY IS REQUIRED DUE TO AS-BUILT CONDITIONS.
9. PROVIDE FULL HEIGHT BLOCKING IN WALL FOR ALL SHELVING. TYP.

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Corona, Calif. 92878 951-808-0520

REGISTERED ARCHITECT
JOHN CHARLES MARVICK
C-22617
3/25
RENEWAL DATE
STATE OF CALIFORNIA

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Westend Restaurant

SITE IMPROVEMENT
814 WEST 19TH STREET
COSTA MESA, CA 92627

ISSUE RECORD:

6-1-23	C.U.P. SUBMITTAL
7-6-23	C.U.P. UPDATE

DRAWN: C.M.
CHECKED: C.M.

PROJECT NUMBER: 22-13 WEST END RESTAURANT

SHEET TITLE: SITE PLAN

SHEET NUMBER: SP-1.0

DATE OF LAST PRINT: 5-16-23

OCCUPANT LOAD (AFTER DINING)

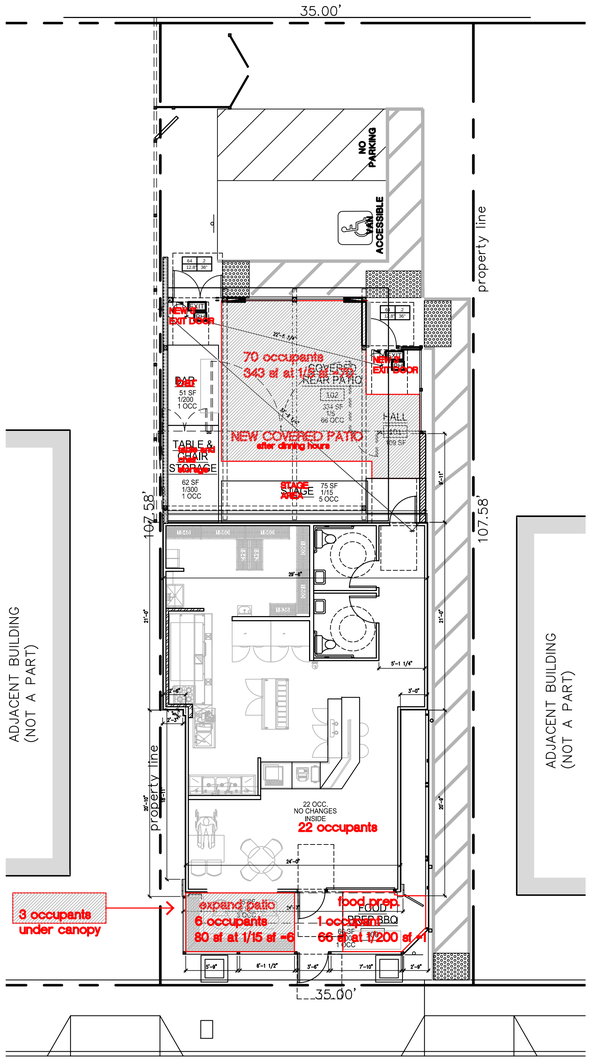
WEST END Room Type	Area	Occupancy	S.F. / Person	Persons
COVERED REAR PATIO	334 s.f.	ASSEMBLY	5	66
BAR	51 s.f.	KITCHEN COMMERCIAL	200	1
STAGE	75 s.f.	KITCHEN COMMERCIAL	15	5
ENTRY PATIO - COVERED	35 s.f.	ASSEMBLY	15	3
FOOD PREP BBQ	66 s.f.	KITCHEN, COMMERCIAL	200	3
TOTAL AT WEST END	1,677 s.f.		TOTAL	78

Occupancy CBC Table 1004.1.1

Occupancy S.F. Type	S.F. Per Person	S.F. Unit
BAR AREA	200	Gross
STAGE AREA	15	Gross
PUBLIC ASSEMBLE AREA	15	Gross
PUBLIC ASSEMBLE STANDING	5	Gross
STORAGE / STOCK	300	Gross

OCCUPANT LOAD (DINING HOURS)

WEST END Room Type	Area	Occupancy	S.F. / Person	Persons
COVERED REAR PATIO	542 s.f.	ASSEMBLY	15	36
HALL	-	-	-	-
ENTRY PATIO - COVERED	35 s.f.	ASSEMBLY	15	3
FOOD PREP BBQ	66 s.f.	KITCHEN, COMMERCIAL	200	3
INTERIOR SPACE - NO CHANGES	1,034 s.f.	-	-	22
TOTAL AT WEST END	1,677 s.f.		TOTAL	64



19th Street

EXIT AND OCCUPANCY PLAN (AFTER DINING)

SCALE: 1/8" = 1'-0"

EGRESS PLAN LEGEND

OCCUPANT LOAD ATTRIBUTED TO EXIT — 0.2x55=16 — 81 | 0.2 — WIDTH PER OCCUPANT LOAD FACTOR (1005.1) OR .15 IF EQUIPPED W/ AUTOMATIC SPRINKER SYSTEM

REQUIRED OPENING WIDTH — 16" — 36" — PROVIDED OPENING WIDTH

FE — SURFACE MOUNTED FIRE EXTINGUISHER

MAX. COMMON PATH OF TRAVEL FROM SPACE TO EXIT

EXIT — PROVIDE TACTILE EXIT SIGN PER DETAIL 2. SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR

EXA — PROVIDE UNIVERSAL ACCESSIBILTY SYMBOL

PH — PROVIDE PANIC HARDWARE PER DOOR HARDWARE SCHEDULE

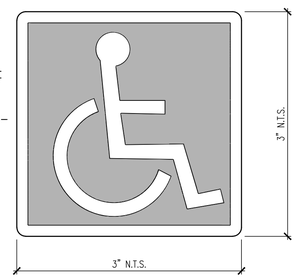
DR-UL — PROVIDE SIGN ABOVE DOOR IN CONTRASTING LETTERS: "DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS"

OCC — MAX. OCCUPANT LOAD SIGNAGE WITH MIN. 1" LETTERS AND NUMBERS CONTRASTING WITH THE BACKGROUND, SHALL BE POSTED ON A CONSPICUOUS LOCATION NEAR THE MAIN EXITS. PER CBC 1004.3, TITLE 19 3.30 TO READ "MAXIMUM OCCUPANCY 222 PERSONS"

LED WALL MOUNTED DUAL BUG EYE EMERGENCY LIGHT FIXTURE W/ 90 MIN. BATTERY PACK

THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE THE STANDARD USED TO IDENTIFY FACILITIES THAT ARE ACCESSIBLE TO AND USABLE BY PHYSICALLY HANDICAPPED PERSONS. THE SYMBOL SHALL CONSIST OF A WHITE FIGURE ON A BLUE BACK-GROUND. THE BLUE SHALL BE EQUAL TO COLOR #15090 IN FEDERAL STANDARD 595A.

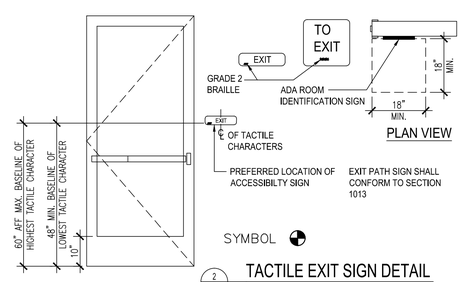
ATTACH DECAL OF SYMBOL TO STOREFRONT IN LOCATIONS AS SHOWN ON PLAN. MOUNT 60" A.F.F.



3 INTERNATIONAL ACCESSIBILITY SIGN

SCALE: NTS

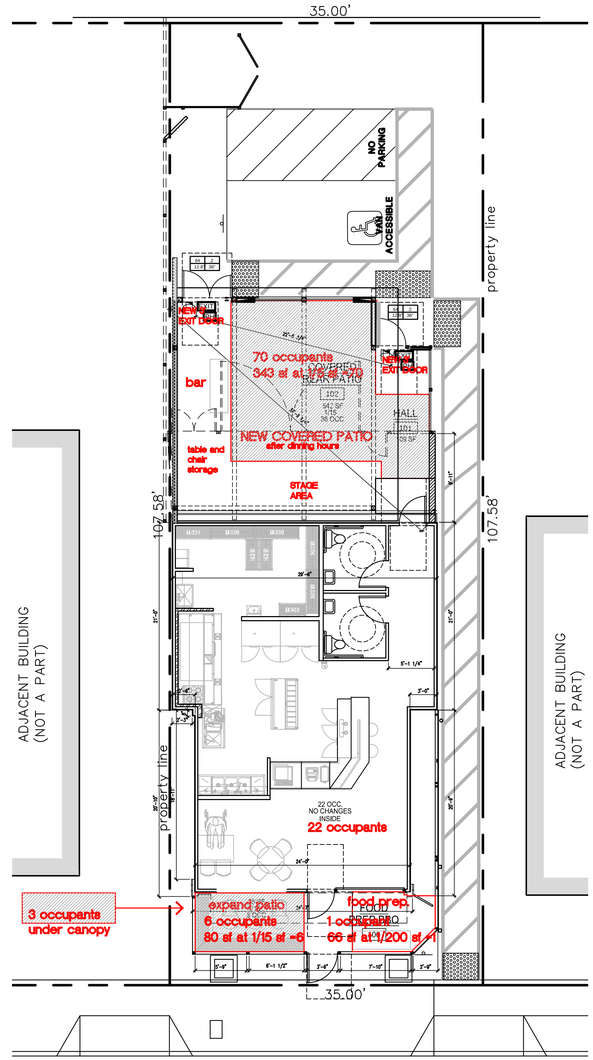
SYMBOL EXA



SYMBOL

2 TACTILE EXIT SIGN DETAIL

SCALE: N.T.S.



19th Street

EXIT AND OCCUPANCY PLAN (DINING HOURS)

SCALE: 1/8" = 1'-0"

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ARCHITECTURE / PLANNING
1827 Capital Street, suite 101
Corona, Calif. 92878 951-808-0520

REGISTERED ARCHITECT JOHN CHARLES MARVICK C-22267 3/23 RENEWAL DATE STATE OF CALIFORNIA

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COSTA MESA, CA 92627

ISSUE RECORD:

6-1-23	C.U.P. SUBMITTAL

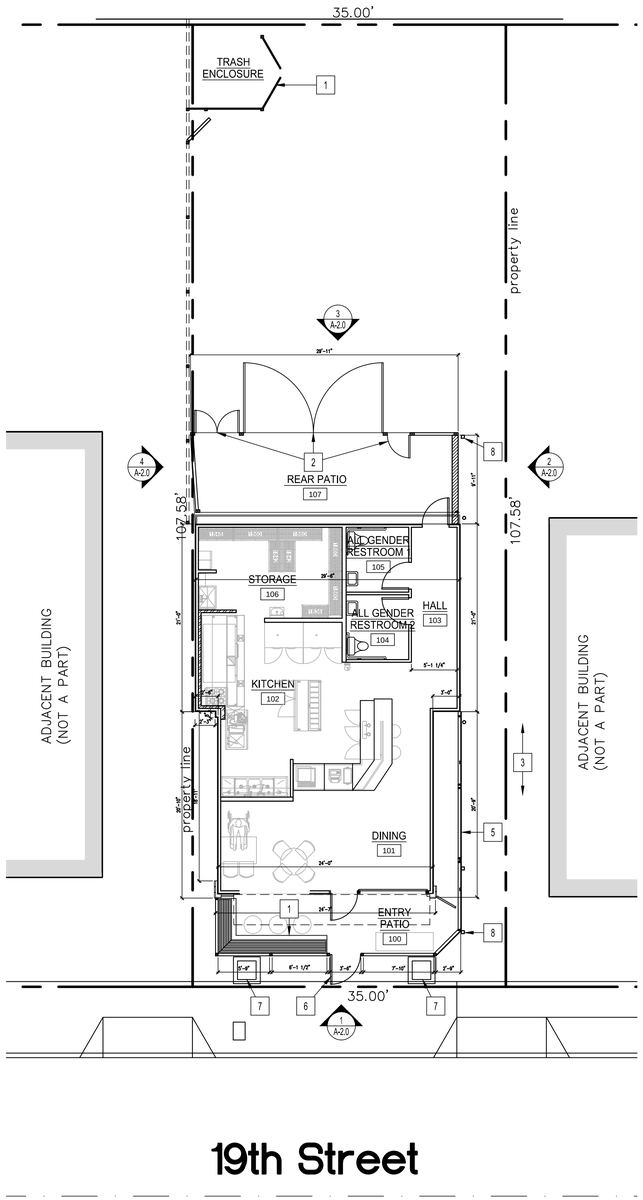
DRAWN: C.M. CHECKED: C.M.

PROJECT NUMBER: 22-13 WEST END RESTAURANT

SHEET TITLE: EXIT AND OCCUPANCY PLAN

SHEET NUMBER: A-0.1

DATE OF LAST PRINT: 5-16-23



19th Street

TRUE NORTH

1 SP-1.0

AS-BUILT FLOOR PLAN

SCALE: 1/8" = 1'-0"

KEY NOTES

1. (E) OUTDOOR WOOD BENCH SEATING
2. (E) PATIO GATES
3. (E) DRIVE ISLE TO REAR
4. (E) PATIO STORAGE
5. (E) 6' HIGH WOOD FENCE
6. (E) 6' HIGH PATIO GATE
7. (E) 3' HIGH PLANTER
8. (E) BOLLARDS TO REMAIN

WALL LEGEND

(E) INTERIOR: 2x4 WOOD STUDS @ 16" O.C. W/ 5/8" TYPE 'X' GYP BOARD

(E) INTERIOR: 2x6 WOOD STUDS @ 16" O.C. W/ 5/8" TYPE 'X' GYP BOARD

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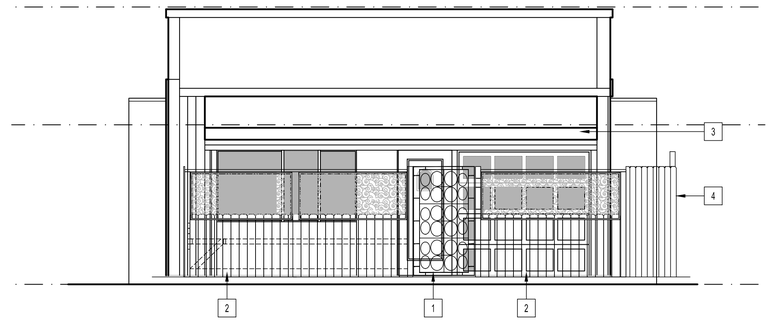
SHEET TITLE:
AS-BUILT FLOOR PLAN

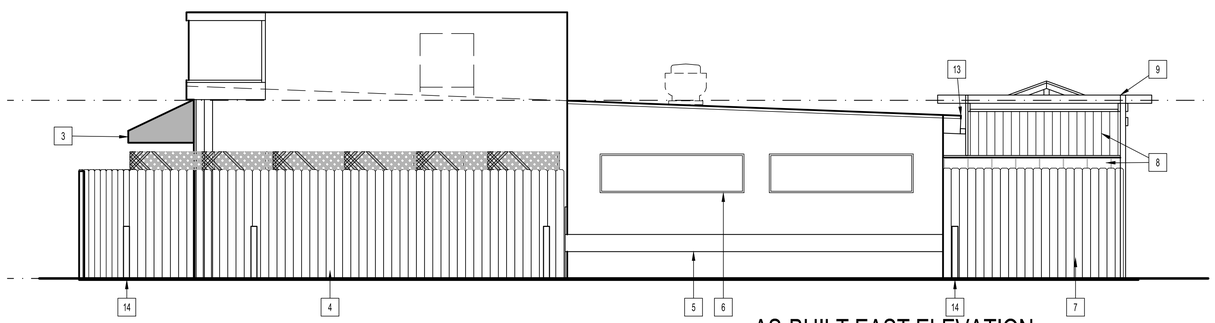
SHEET NUMBER:
A-1.0

DATE OF LAST PRINT:
5-16-23



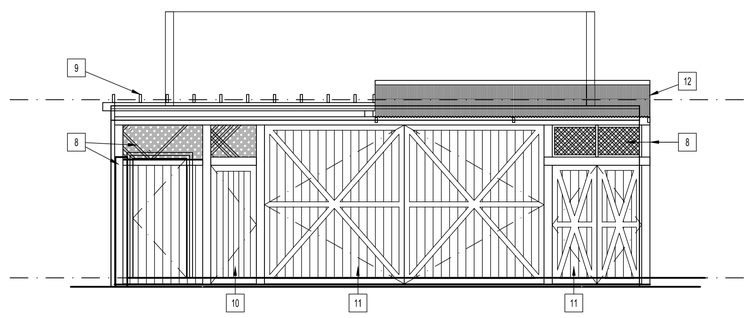
1 A-2.0 AS- BUILT SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



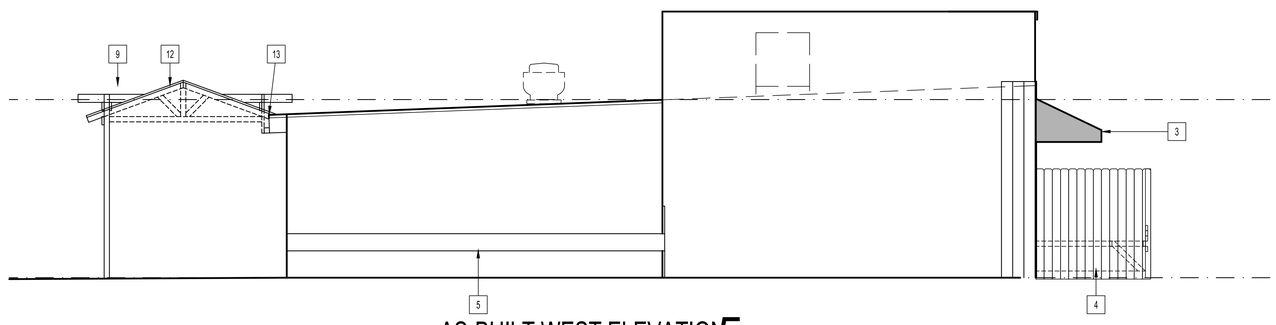
2 A-2.0 AS-BUILT EAST ELEVATION

SCALE: 1/4" = 1'-0"



3 A-2.0 AS-BUILT NORTH ELEVATION

SCALE: 1/4" = 1'-0"



4 A-2.0 AS-BUILT WEST ELEVATION

SCALE: 1/4" = 1'-0"

KEY NOTES

1. (E) WROUGHT IRON ENTRY GATE
2. (E) 42" HIGH WOOD FENCE W/ WROUGHT IRON ABOVE
3. (E) FABRIC AWNING
4. (E) 6' HIGH WOOD FENCE
5. (E) 2x12 WOOD TRIM
6. (E) WINDOWS
7. (E) WOOD FENCING APPLIED TO AN (E) 7' HIGH CMU WALL
8. (E) WOOD FENCE WITH LATTICE ABOVE
9. (E) 2x WOOD TRELLIS
10. (E) REAR WOOD DOOR
11. (E) REAR WOOD GATES
12. (E) WOOD FRAMED PATIO COVER WITH METAL ROOFING
13. (E) REAR FASCIA AND RAIN GUTTER
14. (E) BOLLARDS TO REMAIN - TYP.

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COSTA MESA, CA 92627

ISSUE RECORD:

6-1-23	C.U.P. SUBMITTAL

DRAWN: C.M.
CHECKED: C.M.

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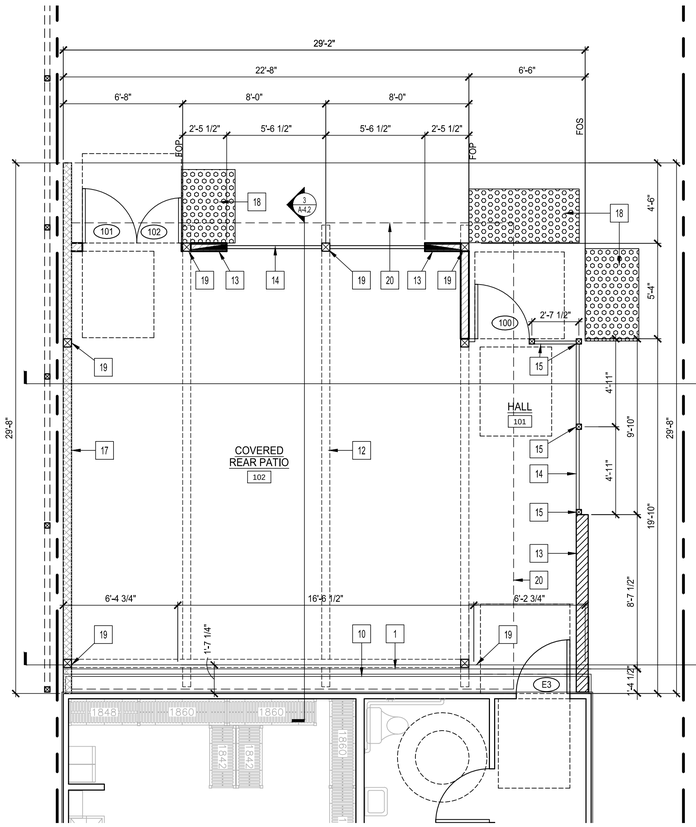
SHEET TITLE:
AS-BUILT ELEVATIONS

SHEET NUMBER:
A-2.0

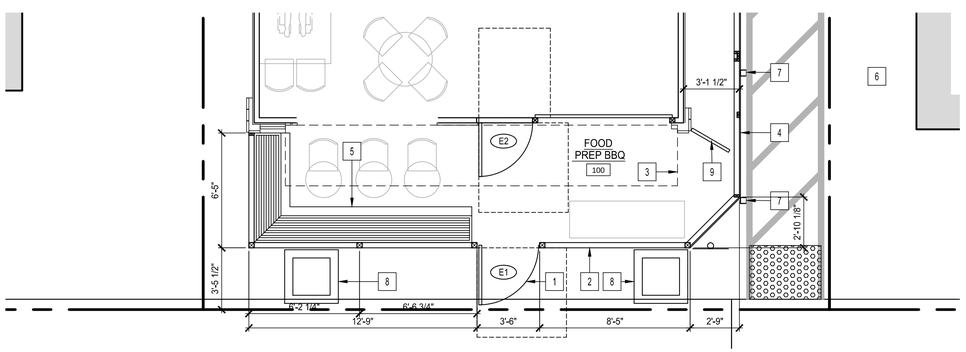
DATE OF LAST PRINT:
5-16-23



TRUE NORTH

2 A-3.0 ENLARGED COVERED REAR PATIO PLAN

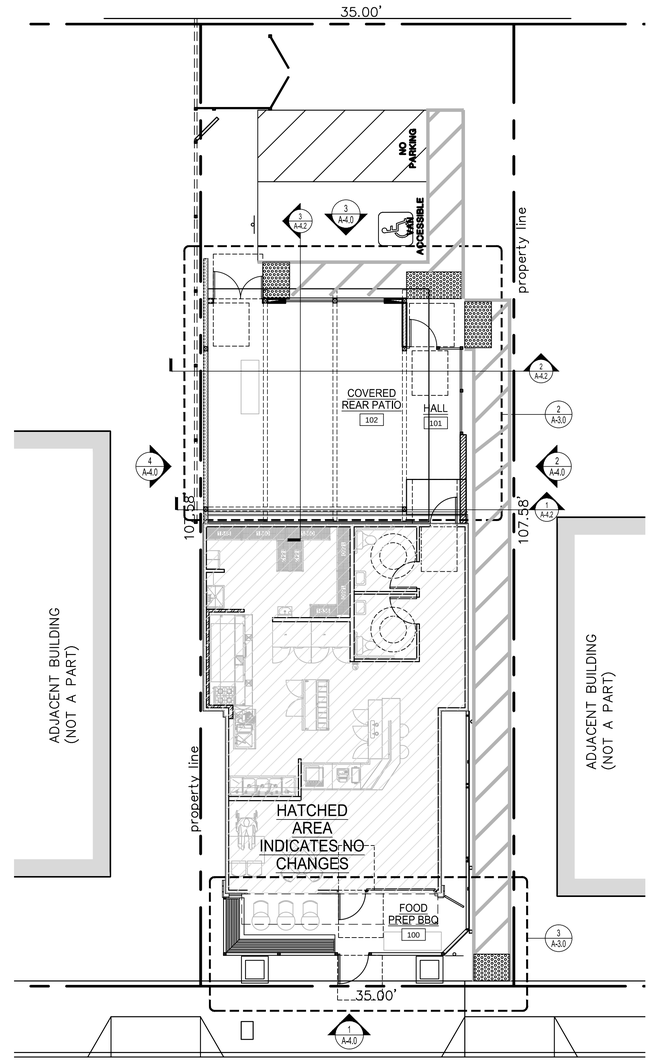
SCALE: 1/4" = 1'-0" (720 SQ.FT.)



TRUE NORTH

3 A-3.0 ENLARGED ENTRY PATIO PLAN

SCALE: 1/4" = 1'-0"



19th Street

TRUE NORTH

1 SP-1.0 OVER ALL FLOOR PLAN

SCALE: 1/8" = 1'-0"

KEY NOTES

1. (E) WROUGHT IRON ENTRY GATE
2. (E) 42" HIGH WOOD FENCE W/ WROUGHT IRON ABOVE
3. (E) FABRIC AWNING
4. (E) 6' HIGH WOOD FENCE
5. (E) OUTDOOR WOOD BENCH SEATING
6. (E) DRIVE ISLE TO REAR
7. (E) BOLLARDS TO REMAIN
8. (E) 3' HIGH PLANTER
9. (E) PATIO STORAGE GATE TO REMAIN
10. (E) REAR FASCIA AND RAIN GUTTER
11. (N) BOLLARDS - TYP.
12. (N) WOOD FRAMED PATIO COVER WITH METAL ROOFING
13. (N) STUCCO WALL PER PLAN
14. (N) METAL MESH PANEL
15. (N) 4x4 POST PER PLAN
16. (N) REAR DOOR PER SCHEDULE
17. (N) CMU WALL PER PLAN
18. (N) TRUNCATED DOMES PER PLAN
19. (N) 6x6 POST PER PLAN
19. LINE OF NEW OVERHANG

GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF FRAMING, OR CENTERLINE OF STRUCTURE UNLESS NOTED OTHERWISE.
2. DASHED CIRCLE IN RESTROOMS INDICATES 5'-0" TURNING DIAMETER REQUIRED BY ADA.
3. REFER TO FLOOR PLAN ON A-3.0 FOR ALL DIMENSIONS
4. STUD SIZES AS INDICATED PER FLOOR PLAN LEGEND.
5. INTERIOR DOORS ARE 4" OFF OF PERPENDICULAR WALL UNLESS NOTED OTHERWISE.
6. NEW SIGN INDICATION NUMBER OF ROOM OCCUPANTS PERMITTED,THE SIGN SHALL BE DURABLE AND HAVE CONTRASTING COLOR FROM THE BACKGROUND. SIGN SHALL READ: "MAXIMUM OCCUPANT LOAD:_____ PERSONS".
7. TACTILE EXIT SIGNAGE (TYP.) AT EACH EXIT DOOR. SEE SHEET A-0.1 EXITING PLAN
8. ALL DIMENSIONS ARE TO BE HELD PER DRAWING UNLESS NOTED OTHERWISE. CONTACT ARCHITECT IF DISCREPANCY IS REQUIRED DUE TO AS-BUILT CONDITIONS.
9. PROVIDE FULL HEIGHT BLOCKING IN WALL FOR ALL SHELVING. TYP.

WALL LEGEND

(E) INTERIOR: 2x4 WOOD STUDS @ 16" O.C. W/ 5/8" TYPE 'X' GYP BOARD

(E) INTERIOR: 2x6 WOOD STUDS @ 16" O.C. W/ 5/8" TYPE 'X' GYP BOARD

(N) EXTERIOR: 2x6 WOOD STUDS @ 16" O.C. W/ 5/8" SHEATHING, 2-LAYERS OF BUILDING PAPER, WIRE, SCRATCH & BROWN COATS, TOP COAT

(N) EXTERIOR: 2x6 WOOD STUDS @ 16" O.C. W/ 1x6 VERTICAL SIDING ON EXTERIOR AND T1-11 ON PATIO INSIDE

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COSTA MESA, CA 92627

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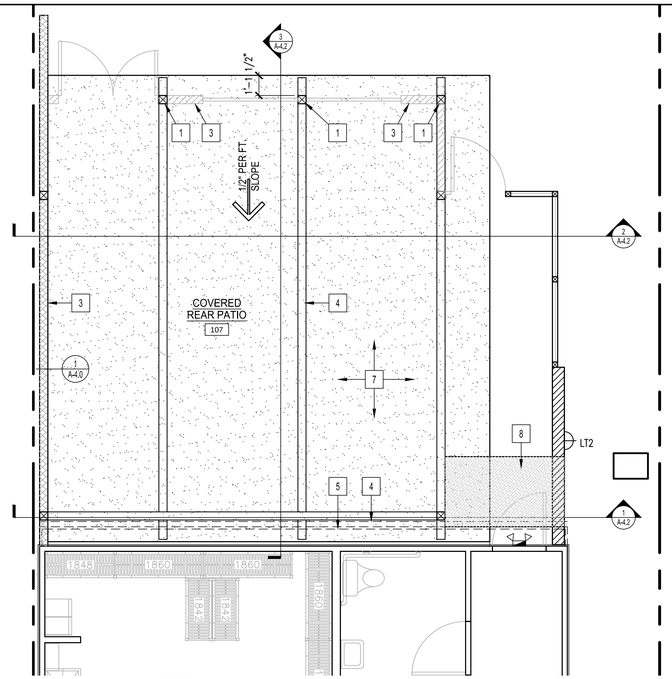
SHEET TITLE: FLOOR PLAN

SHEET NUMBER: A-3.0

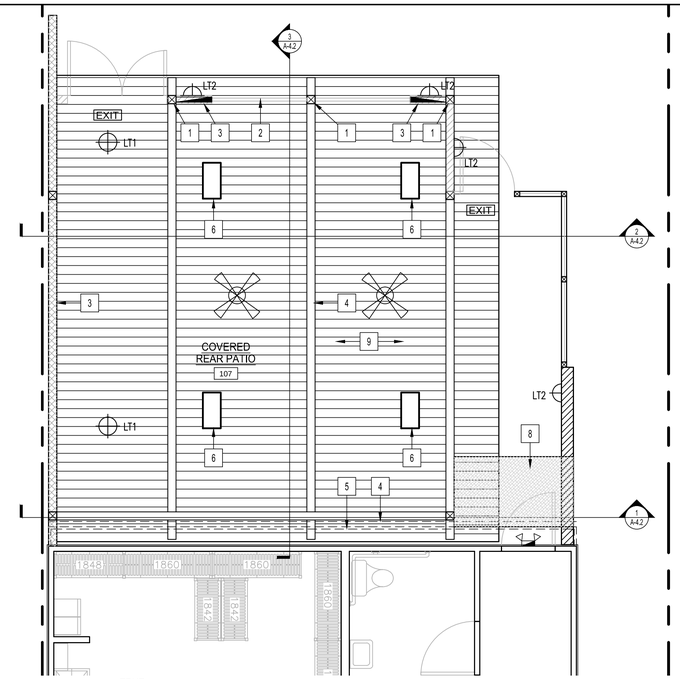
DATE OF LAST PRINT: 5-16-23



TRUE NORTH

2 A-3.0 COVERED REAR PATIO ROOF PLAN

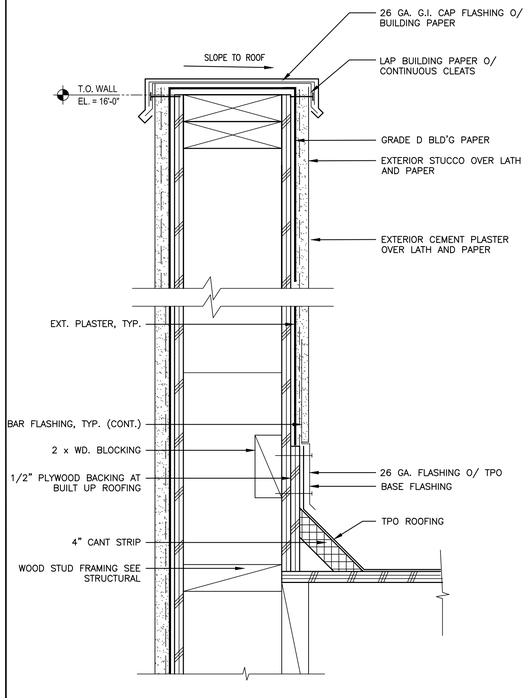
SCALE: 1/4" = 1'-0"



TRUE NORTH

2 A-3.0 COVERED REAR PATIO RCP PLAN

SCALE: 1/4" = 1'-0"



CANT & FLASHING DETAIL @ PARAPET 1

SCALE: 3" = 1'-0"

KEY NOTES

1. (N) 6x POST PER PLAN
2. (N) METAL MESH PANEL
3. (N) STUCCO WALL PER PLAN
4. (N) WOOD BEAM PER PLAN
5. (E) REAR FASCIA AND RAIN GUTTER
6. (N) CEILING MOUNTED HEATER
7. (N) SINGLE PLY TPO ROOFING MEMBRANE O/ PLYWOOD SHEATHING. ER1306-01 ICC ES AC10, GLASS A
8. (N) CANVAS AWNING AT REAR DOOR
9. (N) 5/8" T1-11 PLYWOOD W/ GROVES @ 8" O.C. AND ACOUSTIC PANELS MOUNTED BELOW

CEILING SCHEDULE

LT1	NEW SURFACE MOUNTED LIGHT FIXTURE
LT2	NEW SURFACE MOUNTED WALL SCONCE
EXIT	ILLUMINATED EXIT SIGN W/ 90 MIN. BATTERY BACK UP.
	(E) SURFACE MOUNTED LIGHT FIXTURE TO REMAIN
	(N) SURFACE MOUNTED INFRARED AREA HEATER
	(N) SURFACE MOUNTED FANS

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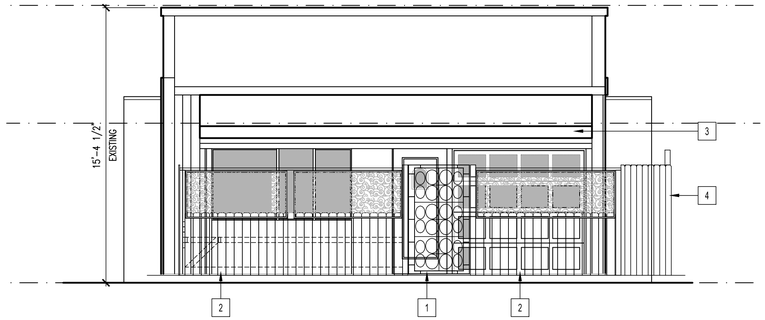
SHEET TITLE: REFLECTED CEILING PLAN & ROOF PLAN

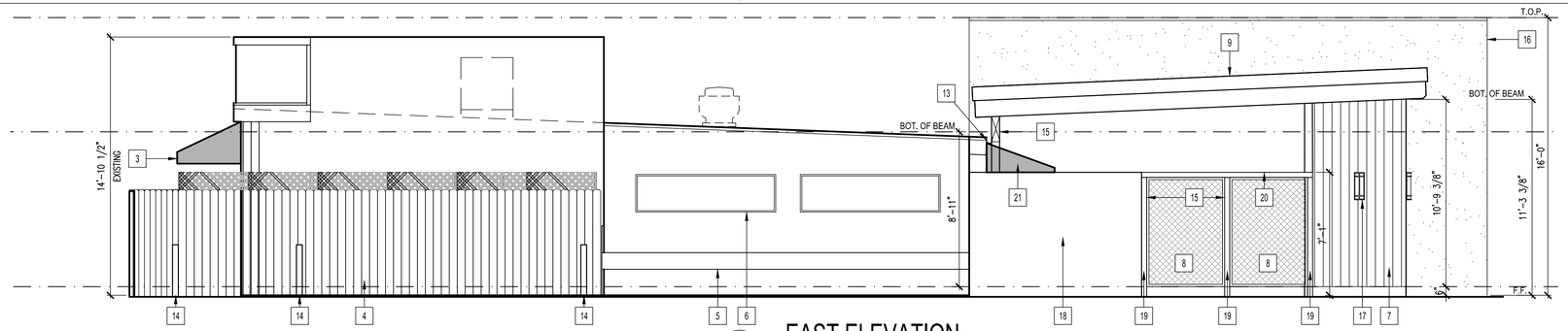
SHEET NUMBER: A-4.0

DATE OF LAST PRINT: 5-16-23



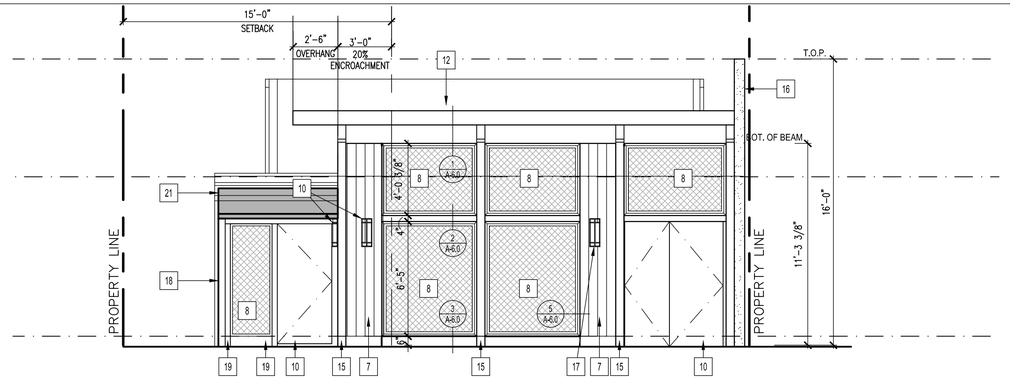
1 A-4.0 SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



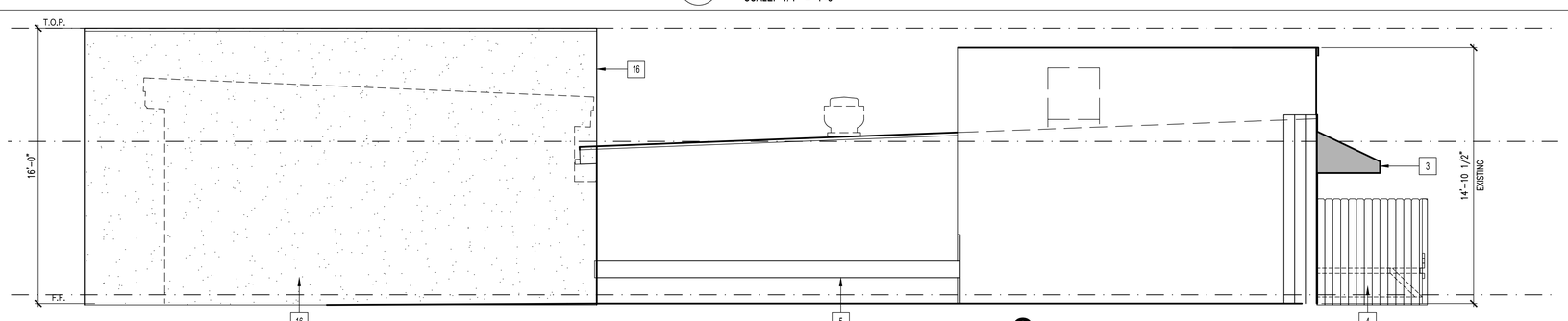
2 A-4.0 EAST ELEVATION

SCALE: 1/4" = 1'-0"



3 A-4.0 NORTH ELEVATION

SCALE: 1/4" = 1'-0"



4 A-4.0 WEST ELEVATION

SCALE: 1/4" = 1'-0"

KEY NOTES

1. (E) WROUGHT IRON ENTRY GATE
2. (E) 42" HIGH WOOD FENCE W/ WROUGHT IRON ABOVE
3. (E) FABRIC AWNING
4. (E) 6' HIGH WOOD FENCE
5. (E) 2x12 WOOD TRIM
6. (E) WINDOWS
7. (N) 1x6 WOOD SIDING PER PLAN
8. (N) METAL MESH PANEL
9. (N) TPO ROOFING
10. (N) REAR DOOR PER DOOR SCHEDULE
11. (E) REAR WOOD GATES
12. (N) WOOD FRAMED PATIO COVER - SEE FRAMING PLAN
13. (E) REAR FASCIA AND RAIN GUTTER
14. (E) BOLLARDS TO REMAIN - TYP.
15. (N) 2x POST PER PLAN
16. (N) STUCCO WALL PER PLAN
17. (N) WALL SCONCE MOUNT AT 5'-6" A.F.F. TO BOTTOM OF FIXTURE - SEE ELECTRICAL DRWAINGS
18. (E) CMU WALL TO REMAIN
19. (N) 4x4 POST PER PLAN
20. (N) 4x4 HEADER PER PLAN
21. (N) CANVAS AWNING AT REAR DOOR

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22-13 WEST END RESTAURANT

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ELEVATIONS

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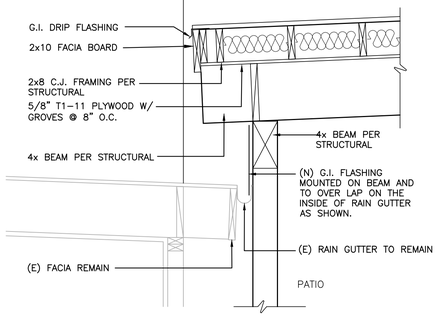
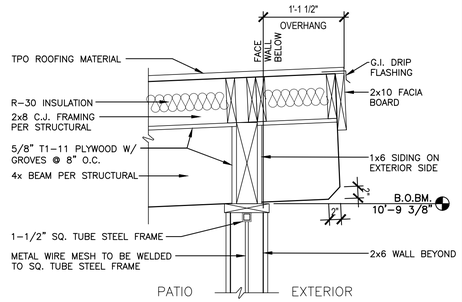


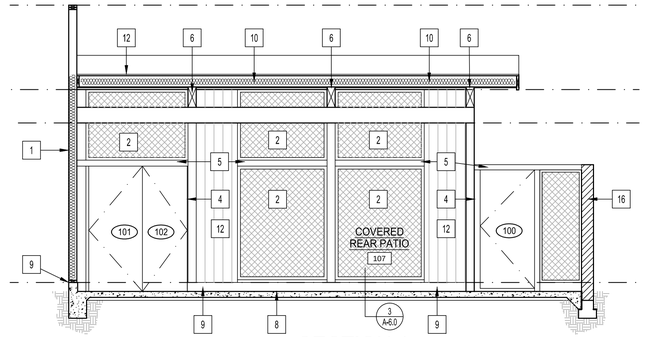
FACIA AT FRONT (4)

SCALE: 3/4" = 1'-0"



FACIA AT REAR (1)

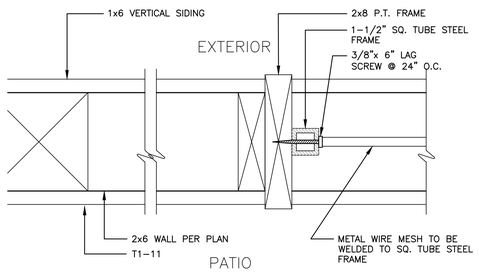
SCALE: 1" = 1'-0"



SECTION 1

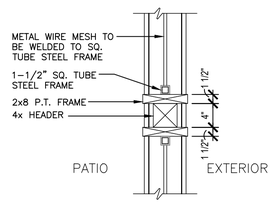
1 A-6.0

SCALE: 1/4" = 1'-0"



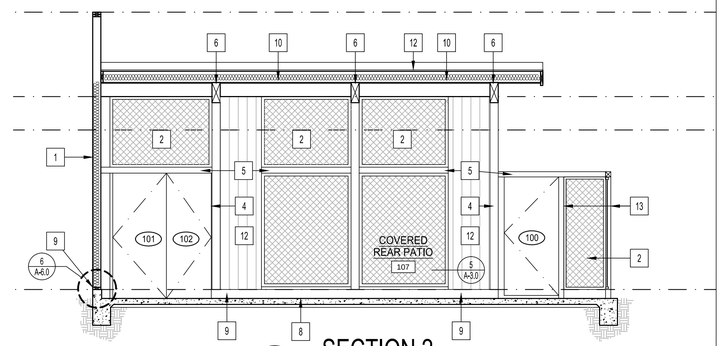
MESH PANEL TO WALL (5)

SCALE: 1" = 1'-0"



HEADER AT MESH PANEL (2)

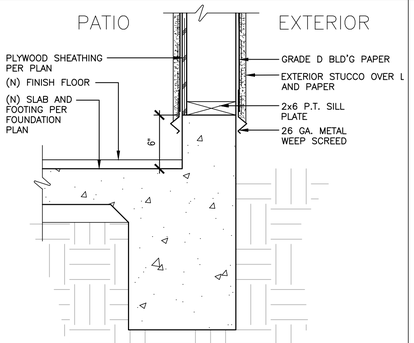
SCALE: 1" = 1'-0"



SECTION 2

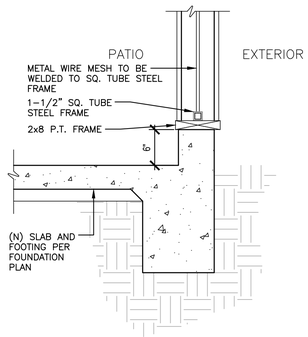
2 A-4.0

SCALE: 1/4" = 1'-0"



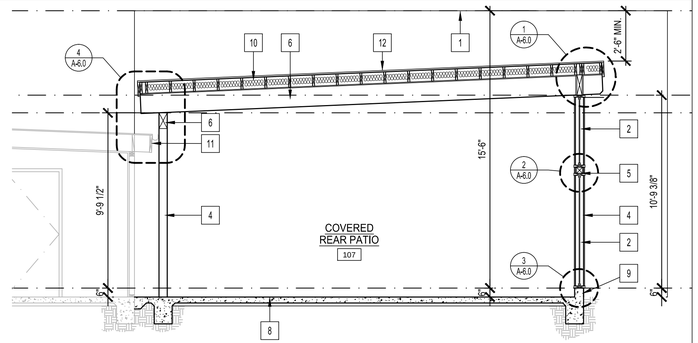
SCREED @ STUCCO WALL (6)

SCALE: 1" = 1'-0"



MESH PANEL AT CURB (3)

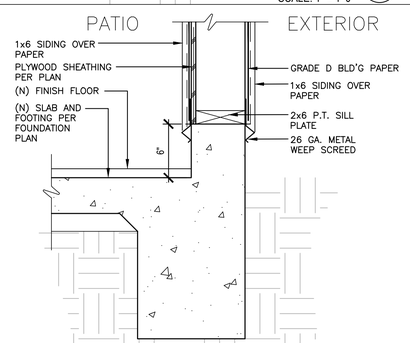
SCALE: 1" = 1'-0"



SECTION 3

3 A-4.0

SCALE: 1/4" = 1'-0"



SCREED @ 1x6 SIDING (7)

SCALE: 1" = 1'-0"

KEY NOTES

1. (N) 2x6 WOOD STUD @ 16" O.C. STUCCO WALL PER PLAN
2. (N) METAL MESH PANEL
3. (N) REAR DOOR PER SCHEDULE
4. (N) 6x POST PER FRAMING PLAN
5. (N) 4x HEADER PER FRAMING PLAN
6. (N) 6x BEAM PER FRAMING PLAN
7. (N) TPO ROOFING PER PLAN
8. (N) SLAB ON GRADE AND FOOTINGS PER FOUNDATION PLAN
9. (N) 6" CURB PER FOUNDATION PLAN
10. (N) 2x8 PER FRAMING PLAN
11. (E) REAR FASCIA AND RAIN GUTTER
12. (N) 1x6 SIDING
13. (N) 4x POST
14. (N) METAL MESH PANEL RAILING
15. (N) 2x4 CAP
16. (E) 8" CMU WALL

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COSTA MESA, CA 92627

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SHEET NUMBER: A-6.0

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