CONSTRUCTION NOTES A VERIFICATION:

- THE CONTRACTOR SHALL VISIT AND INSPECT THE SITE AND FAMILIARIZE THEMSELVES w/ THE SITE CONDITIONS, AND STUDY THESE DOCUMENTS FULLY BEFORE AGREEING TO WORK ON THE PROJECT. THEIR AGREEMENT TO WORK ON THE PROJECT CONSTITUTES VERIFICATION THAT THEY HAVE SO STUDIED THE SITE AND THE DOCUMENTS. UPON INSPECTION OF THE SITE AND STUDYING OF THE DOCUMENTS, THE CONTRACTORS SHALL SUBMIT TO THE OWNERS, FOR THE BUILDING DESIGNER'S REVIEW, ANY SPECIAL CONDITIONS OR UNCLEAR AREAS WHICH MIGHT ALTER HIS BID DURING CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PLANS AND AT THE SITE AND SHALL NOTIFY THE BUILDING DESIGNER OF ANY DISCREPANCIES FOUND.
- NO ALTERNATE METHODS OF CONSTRUCTION SHALL BE ALLOWED WITH-OUT APPROVAL OF THE BUILDING DESIGNER.

B DISCREPANCIES:

- THE DRAWINGS TAKE PRECEDENCE OVER SPECIFICATIONS, DETAILED DRAWINGS AND SPECIFICATIONS TAKE PRECEDENCE OVER THE GENERAL DRAWINGS AND SPECIFICATIONS, DIMENSION TAKE PRECEDENCE OVER SCALED MEASUREMENTS.
- THE GENERAL CONTRACTOR SHALL CO-ORDINATE AND VERIFY WITH THE PLUMBING, MECHANICAL, AND ELECTRICAL CONTRACTORS THE SIZE AND LOCATION OF ALL PIPING, DUCTWORK, TRENCHES, SLEEVES, SPECIAL BOLTING FOR EQUIPMENT CONDUITS, ETC., THROUGH AND UNDER THE CONCRETE SLABS PRIOR TO POURING OF FOOTINGS AND FLOOR SLABS
- THE DESIGN, ADEQUACY, AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC., IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR, AND HAS NOT BEEN CONSIDERED BY THE STRUCTURAL ENGINEER.

C DOCUMENTS

- THE DRAWINGS ARE NECESSARILY SCHEMATIC AND DO NOT PURPORT. TO SHOW COMPLETE SITUATIONS, THE DRAWINGS, SPECIFICATIONS, AND ADDENDA ARE COMPLIMENTARY, SO WHAT IS CALLED FOR BY ONE IS CALLED FOR BY ALL. THEREFORE THE DRAWINGS, SPECIFICATIONS, AND ADDENDA MUST ALSO BE CONSIDERED TOGETHER.
- DO NOT SCALE THE DRAWINGS.

D CURRENT CODE VERSIONS:

- 2022 CALIFORNIA BUILDING CODE BASED ON THE 2021 INTERNATIONAL BUILDING CODE - TITLE 24, PART 2
- 2022 CALIFORNIA RESIDENTIAL CODE BASED ON THE 2021 INTERNATIONAL BUILDING CODE - TITLE 24, PART 2.5
- 2022 CALIFORNIA ELECTRICAL CODE BASED ON THE 2020 NATIONAL ELECTRICAL CODE - TITLE 24, PART 3
- 2022 CALIFORNIA MECHANICAL CODE BASED ON THE 2021 UNIFORM MECHANICAL CODE - TITLE 24, PART 4
- 2022 CALIFORNIA PLUMBING CODE BASED ON THE 2021 UNIFORM PLUMBING CODE - TITLE 24. PART 5
- 2022 CALIFORNIA ENERGY CODE TITLE 24, PART 6
- 8. 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE TITLE 24, PART 11 9. 2022 TRIENNIAL EDITION OF THE CALIFORNIA BUILDING STANDARDS CODE,
- 2022 CALIFORNIA FIRE CODE, TITLE 24, PART 9 ADOPTS WITH AMENDMENTS THE INTERNATIONAL FIRE CODE 2021 (IFC 2021)

E ENERGY INSULATION:

- ALL EXTERIOR WALLS SHALL BE INSULATED WITH BLANKET-TYPE MINERAL FIBER OR GLASS FIBER INSULATION CONFORMING TO FEDERAL SPEC. HH-1-521 E WITH A THERMAL RESISTANCE (R) OF NOT LESS THAN 13.
- ALL CEILINGS OF ROOF CEILING ASSEMBLIES SHALL BE INSULATED WITH BLANKET-TYPE MINERAL OR GLASS FIBER INSULATION CONFORMING TO FEDERAL SPEC. HH-1-521 E WITH A THERMAL RESISTANCE (R) OF NOT LESS THAN 30.
- SWINGING DOORS OR WINDOWS TO THE EXTERIOR OR TO UNCONDITION-ED SPACES SUCH AS GARAGES SHALL BE FULLY WEATHER-STRIPED TO LIMIT AIR INFILTRATION.
- LABELED TO SHOW CONFORMANCE WITH AIR INFILTRATION STANDARDS OF AMERICAN NATIONAL STANDARDS INSTITUTE.

ALL SLIDING GLASS DOORS OR WINDOWS SHALL BE CERTIFIED AND

- ALL HEATING OR COOLING DUCTS LOCATED OUTSIDE THE BUILDING ENERGY ENVELOPE SHALL HAVE ALL JOINTS AND SEAMS SEALED AND SHALL NE INSULATED w/ A MINIMUM 1" (.6 lb/cu. ft.) FIBROUS INSULATION.
- INSULATE INTERIOR WALLS AROUND BATHROOMS AND SERVICE ROOMS ADJACENT TO HABITABLE AREAS AND FLOOR / CEILING ASSEMBLIES ABOVE HABITABLE AREAS WITH FIBERGLASS OR MINERAL WOOL BATTS 3-1/2" THICK.

E FINISHES:

- PAPER BACKED PLASTER LATH TO BE "STUCCO-RITE" GALVANIZED WIRE MESH WITH PAPER BACKING OR EQUAL.
- THE APPLICATION SHALL BE A THREE COAT APPLICATION CONSISTING OF SCRATCH COAT, BROWN COAT AND FINISH COAT. PROPORTIONS TO MEET MANUFACTURER'S RECOMMENDATIONS AND SHALL BE IN ACCORDANCE W. THE RECOMMENDATIONS OF THE CALIFORNIA LATHING AND PLASTERING CONTRACTOR'S ASSOCIATION AND THE AMERICAN NATIONAL STANDARDS INSTITUTE, STANDARDS A422 AND AS423.
- THE PAINTING MATERIALS SHALL BE OF GENERAL QUALITY AS SHERWIN-WILLIAMS, SINCLAIR, DUNN-EDWARDS, OR DEVOE PRODUCTS. ALL PRIMER AND FINISH COATS INCLUDING COLOR PIGMENTS, SHALL BE LEAD FREE. COLORS AS DIRECTED BY THE OWNER / INTERIOR DESIGNER.

F GYPSUM WALLBOARD:

INSTALLATION INSTRUCTIONS.

- GYPSUM BOARD, ASTM C36, REGULAR 1/2" TYPICAL, 5/8" TYPE "X" FIRE CODE FOR WALLS AND CEILINGS WHERE INDICATED COMPLETE WITH MANUFACTURERS' STANDARD METAL TRIM ACCESSORIES AT CONNEC-TIONS WITH OTHER MATERIALS.
- PAINTING MATERIALS SHALL BE OF GENERAL QUALITY AS DUNN-EDWARDS OR FRAZEE PRODUCTS. ALL PRIMER AND FINISH COATS INCLUDING COLOR PIGMENTS, SHALL BE LEAD FREE. PAINTING SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE "PAINTING AND DECORATING CONTRACTORS' OF AMERICA" ARCHITECTURAL SPECIFICATIONS MANUAL AND MANUFACTURERS'

CONSTRUCTION NOTES

G WEATHER PROOFING:

- ALL WOOD SIDING AND EXTERIOR LATH AND PLASTER SHALL BE PLACED TWO LAYERS OF GRADE "D" PAPER OVER ALL WOOD BASE SHEATHING.
- 2. EVERY OPENING IN ANY EXTERIOR WALL SHALL BE FLASHED WITH A MINIMUM 26 GA. SHEET METAL OR 15 POUND BUILDING PAPER.
- A WEEP SCREED SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE FOR ALL EXTERIOR STUD WALLS FINISHED ON THE EXTERIOR WITH STUCCO. THE SCREED SHALL BE PLACED A MINIMUM OF 4" ABOVE THE GRADE AND 2" ABOVE HARDSCAPE OR STEPS.
- ALL WEATHER PROOFING AROUND WINDOWS AND DOORS SHALL BE PREFORMED IN ACCORDANCE WITH MANUFACTURERS REQUIREMENTS. ANY SPECIAL CONDITIONS WHERE INSTALLATION HAS TO BE ALTERED SHALL BE PRESENTED TO THE BUILDING DESIGNER IN WRITING FOR APPROVAL.

	ABBREVIATIONS
A.F.F.	ABOVE FINISH FLOOR
ALUM.	ALUMINUM
AMP.	AMPERE
@	AT
BD.	BOARD
BLD'G	BUILDING
BLK'G	BLOCKING
BOT.	BOTTOM
CAB.	CABINET
CLG.	CEILING
CL.	CENTERLINE
CLR.	CLEAR
COL.	COLUMN
CONC.	CONCRETE
CONT.	CONTINUOUS
CONTR	CONTRACTOR
DED	DEDICATED
DET.	DETAIL
DIA.	DIAMETER
DIAG.	DIAGONAL
DIM.	DIMENSION
DN.	DOWN
DWG.	DRAWING
DWR.	DRAWER
EA.	EACH
ELECT.	ELECTRICAL
ELEV.	ELEVATION
EQ.	EQUAL
EXT.	EXTERIOR
EXIST.	EXISTING
F.D.	FLOOR DRAIN
FIN.	FINISH
FIXT. F.O.C.	FIXTURE FACE OF COLUMN
F.O.S.	FACE OF STUD
F.O.W.	FACE OF WALL
FURR.	FURRING
FURN.	FURNITURE
GA.	GAUGE
GD.	GLASS
GYP BD.	GYPSUM BOARD
H	HIGH
H.C.	HOLLOW CORE
HDWR.	HARDWARE
H.M.	HOLLOW METAL
HOR.	HORIZONTAL
HR.	HOUR
HT.	HEIGHT
H.V.A.C. INSUL	HEATING, VENTILATION, AIR CONDITIONING INSULATION
INT. J-BOX	INTERIOR JUNCTION BOX
L.H.	LEFT HAND
LAV.	LAVATORY
LT.	LIGHT
MAT.	MATERIAL
MAX.	MAXIMUM
MECH	MECHANICAL
MET	METAL
MFR.	MANUFACTURER
MIN.	MINIMUM
MISC.	MISCELLANEOUS
MTD.	MOUNTED
MUL.	MULLION
NO.	NUMBER
N.I.C.	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
O/	OVER
O.C.	ON CENTER
OFF.	OFFICE
PL.	PLATE
PLUMB.	PLUMBING
PLYWD.	PLYWOOD
PR.	PAIR
PTN.	PARTITION
RAD.	RADIUS
REF.	REFERENCE
REFR.	REFRIGERATOR
REQ'D	REQUIRED
R.H.	RIGHT HAND
RM.	ROOM
R.O.	ROUGH OPENING
SCHED	SCHEDULE
S.C.	SOLID CORE
SECT	SECTION
S.F	SQUARE FEET
SHT.	SHEET
SIM.	SIMILAR
SPEC.	SPECIFICATION
S.S.	STAINLESS STEEL
STL	STEEL
STOR	STORAGE
STRUCT	STRUCTURAL
SUSP	SUSPENDED
SYM.	SYMMETRICAL
TEMP.	TEMPERED
THK. T.O.W.	THICK TOP OF WALL
TYP.	TYPICAL
U.L. U.N.O.	UNDERWRITERS LABORATORY UNLESS NOTED OTHERWISE
V.	VOLT
VERT	VERTICAL
V.I.F.	VERIFY IN FIELD
w/	WITH
WC	WALL COVERING
W.C.	WATER CLOSET
W.H.	WATER HEATER
W.P.	WATER PROOF

W.R.

WATER RESISTANT

SHT. NO: PD.1 C01 C02 C03 C04 C05 SP 1 A1.0 A2.0 A4.0 A5.0 A5.1 A5.2 A5.3 A5.4

TOTAL NUMBER OF SHEETS IN THE PROJECT

SHEET INDEX
DESCRIPTION
PROJECT DATA
TITLE SHEET
EROSION CONTROL & DEMO PLAN
GRADING PLAN
UTILITY PLAN
TOPOGRAPHIC SURVEY
CONCEPTUAL LANDSCAPE PLAN
SITE PLAN
FIRST FLOOR PLANS - UNITS 'A' & 'B'
SECOND FLOOR PLANS - UNITS 'A' & 'B'
ROOF PLANS - UNITS 'A' & 'B'
FRONT & REAR EXTERIOR ELEVATIONS - UNIT 'A'
LEFT & RIGHT EXTERIOR ELEVATIONS - UNIT 'A'
FRONT & REAR EXTERIOR ELEVATIONS - UNIT 'B'
LEFT & RIGHT EXTERIOR ELEVATIONS - UNIT 'B'
COLORED EXTERIOR ELEVATIONS

PROPOSED PARCEL(s): UNIT 'A'

OWNER: (310) 503-1506 - Hal Moorefield **ZONING:** OCCUPANCY:

PROJECT DESCRIPTION ATTACHMENT 6

 $\mathbf{\Omega}$

S DOCUMENT HAS BEEN PREPARED ESCRIBE PROPOSED NEW WORK ANI

SCOPE OF WORK:

A PROPOSED "RESIDENTIAL SMALL LOT SUBDIVISION" CONSISTING OF TWO (TWO-STORY SINGLE FAMILY DWELLINGS WITH THREE (3) BEDROOMS EACH AND AN ATTACHED TWO-CAR GARAGE w/ DRIVEWAYS FOR TWO (2) ADDITIONA PARKING SPACES - EIGHT (8) TOTAL PARKING SPACES ARE PROVIDED.

LEGAL DESCRIPTION

HAL & NANCY MOOREFIELD FAMILY TRUST 600 N. TUSTIN AVE. SUITE #210 SANTA ANA, CALIFORNIA 92705

LEGAL:

THE NORTHWESTERLY 80 FEET OF THE NORTHEASTERLY 170 FEET OF THAT PORTION OF LOT 108 OF TRACT NO. 300, IN THE CITY OF COSTA MESA. COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER BOOK 14, PAGES 11 & 12 MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID

BEGINNING AT THE POINT OF INTERSECTION OF THE EXTENDED NORTH-WESTERLY LINE OF SAID LOT 108 WITH THE CENTER LINE OF SANTA ISABEL AVENUE, AS SHOWN ON SAID MAP OF TRACT NO. 300 AND RUNNING THENCE SOUTH 50° 11' 45" EAST ALONG SAID CENTER LINE 330 FEET; THENCE SOUTH 39° 48' 45" WEST 330 FEET; THENCE NORTH 50° 11' 45" WEST 330 FEET TO A POINT IN THE NORTHWESTERLY LINE OF SAID LOT 108; THENCE NORTH 39° 48' 45" EAST 330 FEET TO THE POINT OF BEGINNING.

ASSESSOR PARCEL NUMBER:

119-092-34

R2-MD MULTIPLE-FAMILY RESIDENTIAL - MEDIUM DENSITY

TYPE OF CONSTRUCTION:

TYPE V-B (FIRE SPRINKLERS per NFPA 13D)

NUMBER OF UNITS:

LOT AREA CALCULATIONS:

EXISTING PARCEL:

GROSS AREA: 13,600 SQUARE FEET

NET AREA: 7,580 SQUARE FEET (MINUS 6,020 SQ. FOOT STREET EASEMENT

PARCEL 1: 3,752 SQUARE FEET

PARCEL 2: 3,200 SQUARE FEET

NET AREA: 6,952 SQUARE FEET (7,580 SQ. FT. - 628 SQ. FT. DEDICATION)

CITY MINIMUM OPEN SPACE: 6,952 x 35% = 2,433 SQUARE FEET

BUILDING AREA: 2,846 / 6,952 = 41.00%

DRIVEWAY AREA: 699 / 6,952 = 10.00%

699 sq. ft.

OPEN SPACE / LANDSCAPE AREA: 3,407 / 6,952 = 49.00%

PROJECT STATISTICS SQUARE FOOTAGE CALCULATIONS 1st. FLOOR 2nd. FLOOR SUB-TOTAL 1,033 sq. ft. 1,258 sq. ft. 2,708 sq. ft. 417 sq. ft.

UNIT 'B'	489 sq. ft.	907 sq. ft.	1,279 sq. ft.	2,675 sq. ft.
Sub-Total	906 sq. ft.	1,940 sq. ft.	2537 sq. ft.	5,383 sq. ft.
TOTAL:				5,383 sq. ft.
OU.	TDOOR SPACE	SQUARE FOOT	TAGE CALCULA	TIONS
	DRIVEWAY	PORCH	PATIO	BALCONY
UNIT 'A'	357 sq. ft.	56 sq. ft.		
UNIT 'B'	342 sq. ft.	42 sq. ft.		

98 sq. ft.

PROJECT CONSULTANTS VICINITY MAP

ANAHEIM, CALIFORNIA 92805 (714) 385-1835 (Troy Tryfonopoulos)

troy@peica.com

TOTAL:

	BUILDING DESIGNER:	STRUCTURAL ENGINEER:
Control Costa Mesa Regard Re	R.A. JEHEBER RESIDENTIAL DESIGN, INC. 410 32nd STREET, SUITE 202 NEWPORT BEACH, CA. 92663 (949) 723-4393 (Rod A. Jeheber)	
8 Market MONTE Vr. Market Suzanna Thoe	LAND SURVEYOR:	ENERGY CONSULTANT:
SITE Suranna Thee Delivary Miniti Brentwood Bank SITE	PLUMP ENGINEERING INC. 914 E. KATELLA AVENUE ANAHEIM, CALIFORNIA 92805 (714) 385-1835 (Rich Frei) rfrei@peica.com	
LOCATION	GEO TECHNICAL ENGINEER:	LANDSCAPE ARCHITECT:
SAWTA I SABE, SAWTA	EGA CONSULTANTS 375-C MONTE VISTA AVENUE COSTA MESA, CA 92627 (949) 642-9309 (David Worthington)	CONCEPTUAL DESIGN + PLANN'O 1675 SCENIC DRIVE, SUITE 200 COSTA MESA, CA 92626 (949) 399-0870 (Jennifer L. Frederi

SY CONSULTANT: CAPE ARCHITECT: PTUAL DESIGN + PLANN'G CO ENIC DRIVE, SUITE 200 MESA, CA 92626 9-0870 (Jennifer L. Frederick) jfrederick@cdpcinc.com worth10@aol.com

CIVIL ENGINEER: **GENERAL CONTRACTOR:** PLUMP ENGINEERING INC. 914 E. KATELLA AVENUE

11/25/2025 8:00 PM RAJ Project # 2016-29 REVISIONS

GRADING NOTES:

- I. ALL WORK SHALL BE IN ACCORDANCE WITH THE GRADING-CODE OF THE COUNTY OF ORANGE AND ANY AMENDMENTS BY THE CITY OF COSTA MESA OR SPECIAL REQUIREMENTS OF THE PERMIT. A COPY OF THE GRADING CODE AND MANUAL SHALL BE RETAINED ON THE JOB SITE WHILE WORK IS IN PROGRESS.
- GRADING SHALL NOT BE STARTED WITHOUT FIRST NOTIFYING THE CITY INSPECTOR. A PRE-GRADING MEETING ON THE SITE IS REQUIRED BEFORE START OF GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOIL ENGINEER, ENGINEERING GEOLOGIST, DISTRICT GRADING INSPECTOR AND WHEN REQUIRED THE ARCHAEOLOGIST AND PALEONTOLOGIST. THE REQUIRED INSPECTIONS FOR GRADING WILL BE EXPLAINED AT THIS MEETING.
- ISSUANCE OF A GRADING PERMIT DOES NOT ELIMINATE THE NEED FOR PERMITS FROM OTHER AGENCIES WITH REGULATORY RESPONSIBILITIES FOR CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE WORK AUTHORIZED ON THIS PLAN.
- 4. THE GRADING PERMIT AND AN APPROVED COPY OF THE GRADING PLAN SHALL BE ON THE PERMITTED SITE WHILE WORK IS IN PROGRESS.
- PRELIMINARY SOIL AND GEOLOGY REPORTS AND ALL SUBSEQUENT REPORTS AS APPROVED BY THE BUILDING DIVISION ARE CONSIDERED A PART OF THE APPROVED GRADING PLAN.
- . THE SOIL ENGINEER AND ENGINEERING GEOLOGIST SHALL PERFORM SUFFICIENT INSPECTIONS AND BE AVAILABLE DURING GRADING AND CONSTRUCTION TO VERIFY COMPLIANCE WITH THE PLANS, SPECIFICATIONS AND THE CODE WITHIN THEIR PURVIEW.
- . THE CIVIL ENGINEER SHALL BE AVAILABLE DURING GRADING TO VERIFY COMPLIANCE WITH THE PLANS, SPECIFICATIONS, CODE AND ANY SPECIAL CONDITIONS OF THE PERMIT WITHIN THEIR PURVIEW.
- 3. THE SOIL ENGINEER AND ENGINEERING GEOLOGIST SHALL, AFTER CLEARING AND PRIOR TO THE PLACEMENT OF FILL IN CANYONS, INSPECT EACH, CANYON FOR AREAS
- . SUB DRAIN OUTLETS SHALL BE COMPLETED AT THE BEGINNING OF THE SUB DRAIN CONSTRUCTION. THE EXACT LOCATION OF THE SUB DRAINS SHALL BE SURVEYED IN THE FIELD FOR LINE/GRADE AND SHOWN ON AS-GRADED PLANS.

OF ADVERSE STABILITY AND TO DETERMINE THE PRESENCE OR ABSENCE OF SUBSURFACE WATER OR SPRING FLOW. IF NEEDED, SUB DRAINS WILL BE DESIGNED AND

- II. AREAS TO RECEIVE FILL SHALL BE PROPERLY PREPARED AND APPROVED IN WRITING BY THE SOIL ENGINEER AND THE BUILDING OFFICIAL PRIOR TO PLACING FILL.
- 12. FILLS SHALL BE BENCHED INTO COMPETENT MATERIAL PER PFRD STANDARD PLAN NO. 1322.

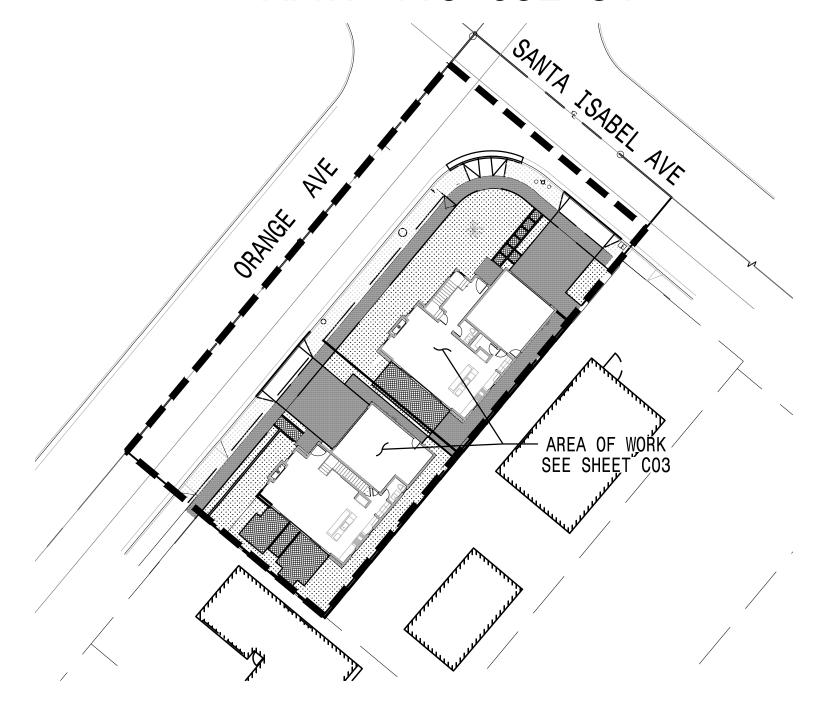
CONSTRUCTED PRIOR TO THE PLACEMENT OF FILL IN EACH RESPECTIVE CANYON.

- 13. ALL EXISTING FILLS SHALL BE APPROVED BY THE BUILDING OFFICIAL OR REMOVED PRIOR TO PLACING ADDITIONAL FILLS.
- 14. FILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 90% RELATIVE COMPACTION. AGGREGATE BASE FOR ASPHALTIC AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% RELATIVE COMPACTION.
- 15. CUT AND FILL SLOPES SHALL BE NO STEEPER THAN 2- FOOT HORIZONTAL TO 1-FOOT VERTICAL (2:1) EXCEPT WHERE SPECIFICALLY APPROVED OTHERWISE.
- 16. ALL CUT SLOPES SHALL BE INVESTIGATED BOTH DURING AND AFTER GRADING BY THE ENGINEERING GEOLOGIST TO DETERMINE IF ANY SLOPE STABILITY PROBLEM EXISTS. SHOULD EXCAVATION DISCLOSE ANY GEOLOGICAL HAZARDS OR POTENTIAL GEOLOGICAL HAZARDS, THE ENGINEERING GEOLOGIST SHALL SUBMIT RECOMMENDED TREATMENT TO THE BUILDING OFFICIAL FOR APPROVAL.
- . WHERE SUPPORT OR BUTTRESSING OF CUT AND NATURAL SLOPES IS DETERMINED TO BE NECESSARY BY THE ENGINEERING GEOLOGIST AND SOIL ENGINEER, THE SOIL ENGINEER SHALL SUBMIT DESIGN, LOCATIONS AND CALCULATIONS TO THE BUILDING OFFICIAL PRIOR TO CONSTRUCTION. THE ENGINEERING GEOLOGIST AND SOIL ENGINEER SHALL INSPECT AND CONTROL THE CONSTRUCTION OF THE BUTTRESSING AND CERTIFY TO THE STABILITY OF THE SLOPE AND ADJACENT STRUCTURES UPON COMPLETION
- 8. WHEN CUT PADS ARE BROUGHT TO NEAR GRADE, THE ENGINEERING GEOLOGIST SHALL DETERMINE IF THE BEDROCK IS EXTENSIVELY FRACTURED OR FAULTED AND WILL READILY TRANSMIT WATER. IF CONSIDERED NECESSARY BY THE ENGINEERING GEOLOGIST AND SOIL ENGINEER, A COMPACTED FILL BLANKET WILL BE PLACED.
- 19. ALL TRENCH BACKFILL SHALL BE TESTED AND APPROVED BY THE SOIL ENGINEER.
- 20. ANY EXISTING IRRIGATION LINES AND CISTERNS SHALL BE REMOVED OR CRUSHED IN PLACE AND APPROVED BY THE BUILDING OFFICIAL AND SOIL ENGINEER.
- 21. ANY EXISTING WATER WELLS SHALL BE ABANDONED IN COMPLIANCE WITH THE SPECIFICATIONS APPROVED BY ORANGE COUNTY, HEALTH CARE AGENCY, AND DIVISION OF ENVIRONMENTAL HEALTH.
- 22. ANY EXISTING CESSPOOLS AND SEPTIC TANKS SHALL BE ABANDONED IN COMPLIANCE WITH THE CALIFORNIA PLUMBING CODE.
- 23. STOCKPILING OF EXCESS MATERIAL SHALL BE APPROVED BY THE BUILDING OFFICIAL PRIOR TO EXCAVATION
- 24. EXPORT SOIL MUST BE TRANSPORTED TO A LEGAL DUMP OR TO A PERMITTED SITE APPROVED BY THE BUILDING DIVISION.
- 25. THE PERMITTEE IS RESPONSIBLE FOR DUST CONTROL MEASURES.
- 7. THE PERMITTEE SHALL GIVE REASONABLE NOTICE TO THE OWNER OF ADJOINING LANDS AND BUILDINGS PRIOR TO BEGINNING EXCAVATIONS WHICH MAY AFFECT THE LATERAL AND SUBJACENT SUPPORT OF THE ADJOINING PROPERTY. THE NOTICE SHALL STATE THE INTENDED DEPTH OF EXCAVATION AND WHEN THE EXCAVATION WILL COMMENCE. THE ADJOINING OWNER SHALL BE ALLOWED AT LEAST 30 DAYS AND REASONABLE ACCESS. ON THE PERMITTED PROPERTY TO PROTECT HIS STRUCTURE, IF HE SO DESIRES, UNLESS OTHERWISE PROTECTED BY LAW.
- 28. ALL CONCRETE STRUCTURES THAT COME IN CONTACT WITH THE ON-SITE SOILS SHALL BE CONSTRUCTED WITH TYPE V CEMENT, UNLESS DEEMED UNNECESSARY BY SOLUBLE SULFATE-CONTENT TESTS CONDUCTED BY THE SOIL ENGINEER.
- 29. SLOPES EXCEEDING 5 FEET IN HEIGHT SHALL BE PLANTED WITH AN APPROVED PLANT MATERIAL. IN ADDITION, SLOPES EXCEEDING 15 FEET IN HEIGHT SHALL BE PROVIDED WITH, AN APPROVED IRRIGATION SYSTEM, UNLESS OTHERWISE APPROVED BY THE BUILDING OFFICIAL.
- 30. ALL EXISTING DRAINAGE COURSES THROUGH THIS-SITE SHALL REMAIN OPEN UNTIL FACILITIES TO HANDLE STORM WATER ARE APPROVED AND FUNCTIONAL: HOWEVER. IN. ANY CASE, THE PERMITTEE SHALL BE HELD LIABLE FOR ANY DAMAGE DUE TO OBSTRUCTING NATURAL DRAINAGE PATTERNS.
- 31. SANITARY FACILITIES SHALL MAINTAIN ON THE SITE.
- 32. THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE PERMITTEE.
- 33. APPROVED PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS SHALL BE USED TO PROTECT ADJOINING PROPERTIES DURING GRADING.
- 34. GRADING OPERATIONS INCLUDING MAINTENANCE OF EQUIPMENT HUMAN OCCUPANCY SHALL BE CONDUCTED BETWEEN THE HOURS OF 7:00 A.M. AND 7 P.M. MONDAY THRU FRIDAY. SATURDAYS 9:00 A.M. THRU 6:00 P.M. PROHIBITED ALL HOURS SUNDAYS AND THE FOLLOWING FEDERAL HOLIDAYS: CHRISTMAS DAY, NEW YEARS DAY, MEMORIAL DAY ,INDEPENDENCE DAY, LABOR DAY AND THANKSGIVING DAY. CMMC SEC 13-279 (A) ALL CONSTRUCTION VEHICLES OR EQUIPMENT, FIXED OR MOBILE, OPERATED WITHIN 1,000' OF A DWELLING SHALL BE EQUIPPED WITH PROPERLY OPERATING AND
 - (C) STOCKPILING AND/OR VEHICLE STAGING AREAS SHALL BE LOCATED AS FAR A PRACTICABLE FROM DWELLINGS AND WITHIN THE LIMITS OF GRADING PERMIT.
- 35. GRADING AND EXCAVATION SHALL BE HALTED DURING PERIODS OF HIGH WINDS. ACCORDING TO AQMD MEASURE F-4, HIGH WINDS ARE DEFINED AS 30 MPH OR GREATER. THIS LEVEL OCCURS ONLY UNDER UNUSUALLY EXTREME CONDITIONS, SUCH AS SANTA ANA WIND CONDITIONS.
- 36. ASPHALT SECTIONS MUST BE: PARKING STALLS = 3" A/C OVER 6" A/B, DRIVES 3" A/C OVER 10" (COMM.) 12" (INDUSTRIAL). OR: PRIOR TO ROUGH GRADE RELEASE FOR BUILDING PERMITS BY THE CITY INSPECTOR, THE SOIL ENGINEER SHALL SUBMIT FOR APPROVAL, PAVEMENT SECTION RECOMMENDATIONS BASED ON 'R' VALUE ANALYSIS OF THE SUB-GRADE SOILS, AND EXPECTED TRAFFIC INDICES.
- 37. ROOF GUTTERS SHALL BE INSTALLED TO PREVENT ROOF DRAINAGE FROM FALLING ON MANUFACTURED SLOPES.
- 38. THE CIVIL ENGINEER, AS A CONDITION OF ROUGH GRADE APPROVAL, SHALL PROVIDE A BLUE TOP WITH ACCOMPANYING WITNESS STAKE, SET AT THE CENTER OF EACH PAD REFLECTING THE PAD ELEVATION FOR PRECISE PERMITS AND A BLUE TOP WITH WITNESS STAKE SET AT THE DRAINAGE SWALE HIGH-POINT REFLECTING THE HIGH POINT ELEVATION FOR PRELIMINARY PERMITS.
- 39. PRIOR TO FINAL APPROVAL, THE CIVIL ENGINEER SHALL CERTIFY TO, THE BUILDING OFFICIAL THE AMOUNT OF EARTH MOVED DURING THE GRADING OPERATION
- 40. THE ENGINEERING GEOLOGIST SHALL PERFORM PERIODIC INSPECTIONS AND SUBMIT A COMPLETE REPORT AND MAP UPON COMPLETION OF THE ROUGH GRADING.
- 41. THE GRADING CONTRACTOR SHALL SUBMIT A STATEMENT OF COMPLIANCE TO THE APPROVED GRADING PLAN PRIOR TO FINAL APPROVAL.
- 42. THE COMPACTION REPORT AND APPROVAL FROM THE SOIL ENGINEER SHALL INDICATE THE TYPE OF FIELD TESTING PERFORMED. THE METHOD OF OBTAINING THE IN-PLACE DENSITY SHALL BE IDENTIFIED WHETHER SAND CONE, DRIVE RING, OR NUCLEAR, AND SHALL BE NOTED FOR EACH TEST. SUFFICIENT MAXIMUM DENSITY DETERMINATIONS SHALL BE PERFORMED TO VERIFY THE ACCURACY OF THE MAXIMUM DENSITY CURVES USED BY THE FIELD TECHNICIAN.
- 43. IN THE EVENT THAT SOIL CONTAMINATION IS DISCOVERED DURING EXCAVATION AND REMOVAL OF AN EXISTING TANK, WORK SHALL BE STOPPED UNTIL A SITE ASSESSMENT AND MITIGATION PLAN HAS BEEN PREPARED, SUBMITTED AND APPROVED BY HCA/ENVIRONMENTAL HEALTH AND PDSD/GRADING.

CIVIL IMPROVEMENTS PLAN

FOR 2396 ORANGE AVE., COSTA MESA, CA 92627

APN: 119-092-34



EROSION CONTROL:

- 44. IN THE CASE OF EMERGENCY, CALL HAL MOOREFIELD AT WORK PHONE (714)972-0700.
- 45. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
- 46. EROSION CONTROL DEVICES SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL.
- 47. ALL REMOVABLE EROSION PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE 5-DAY RAIN PROBABILITY FORECAST EXCEEDS
- 48. AFTER A RAINSTORM, ALL SILT AND DEBRIS SHALL BE REMOVED FROM STREETS, CHECK BERMS AND BASINS.
- 49. GRADED AREAS ON THE PERMITTED AREA PERIMETER MUST DRAIN AWAY FROM THE FACE OF SLOPES AT THE CONCLUSION OF EACH WORKING DAY. DRAINAGE IS TO BE DIRECTED TOWARD DESILTING FACILITIES.
- 50. THE PERMITTEE AND CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATES A, HAZARDOUS CONDITION.
- 51. THE PERMITTEE AND CONTRACTOR SHALL INSPECT THE EROSION CONTROL WORK AND INSURE THAT THE WORK IS IN ACCORDANCE WITH THE APPROVED PLANS.
- 52. THE PERMITTEE SHALL NOTIFY ALL GENERAL CONTRACTORS, SUBCONTRACTORS, MATERIAL SUPPLIERS, LESSEES, AND PROPERTY OWNERS: THAT DUMPING OF CHEMICALS INTO THE STORM DRAIN SYSTEM OR THE WATER SHED IS PROHIBITED.
- 53. PERMITTEE SHALL MAINTAIN CONSTRUCTION SITE IN SUCH A CONDITION THAT AN ANTICIPATED STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS: WASTES FROM PAINTS, STAINS, SEALANTS, GLUES, LIMES, PESTICIDES, HERBICIDES, WOOD PRESERVATIVES AND SOLVENTS; ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC. RADIATOR OR BATTERY FLUIDS: FERTILIZERS. VEHICLE /EQUIPMENT WASH WATER AND CONCRETE WASH WATER: CONCRETE. DETERGENT OR FLOATABLE WASTES; WASTES FROM ANY ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING AND SUPER CHLORINATED POTABLE WATER LINE FLUSHING. DURING CONSTRUCTION, PERMITTEE SHALL DISPOSE OF SUCH MATERIALS IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE, PHYSICALLY SEPARATED FROM POTENTIAL STORM WATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
- 54. PERMITTEE MAY DISCHARGE MATERIAL OTHER THAN STORM WATER ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND WHERE THEY DO NOT: CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD; CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR NUISANCE; OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATIONS 40 CFR PARTS 117 AND 302.
- 55. DEWATERING OF CONTAMINATED GROUNDWATER, OR DISCHARGING CONTAMINATED SOILS VIA SURFACE EROSION IS PROHIBITED. DEWATERING OF NON-CONTAMINATED GROUNDWATER REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL
- 56. **SPECIAL NOTE:**

SURVEY MONUMENTS SHALL BE PRESERVED AND REFERENCED BEFORE CONSTRUCTION AND REPLACED AFTER CONSTRUCTION PURSUANT TO SECTION 8771 OF THE BUSINESS AND PROFESSIONS CODE."

GRADING COMPLIANCE NOTE:

ALL GRADING TO COMPLY WITH SOILS REPORT PREPARED BY EGA CONSULTANTS, INC. DATED NOVEMBER 7, 2024. PROJECT NO. RJ513.1.



CO1 - TITLE SHEET CO2 - EROSION & DEMOLITION CONTROL PLAN

CO3 - GRADING PLAN CO4 - UTILITY PLAN

CO5 - TOPOGRAPHIC SURVEY

FEMA FLOOD DATA: FLOOD ZONE: ZONE X

MAP NO.: 06059C0269K

BASIS OF BEARINGS:

THE BASIS OF BEARINGS FOR THIS SURVEY THE CENTERLINE OF ORANGE STREET (FORMERLY NEWPORT), AS SHOWN ON THE TRACT MAP RECORDED IN BOOK 14, PAGES 11-12, OF MAPS, BEING NORTH 39°49'00" EAST.

BENCHMARK:

DESIGNATION: CM-25-77 ELEVATION: DATUM: NAVD 88

DESCRIPTION:

DESCRIBED BY OCS 2001 - FOUND 3 3\4" OCS ALUMINUM BENCHMARK DISK STAMPED "CM-25-77", SET IN THE WESTERLY CORNER OF A 4 FT. BY 6 FT. CONCRETE CATCH BASIN. MONUMENT IS LOCATED IN THE NORTHERLY CORNER OF THE INTERSECTION OF ELDEN AVENUE AND MONTE VISTA AVENUE, 21 FT. NORTHERLY OF THE CENTERLINE OF MONTE VISTA AND 55.5 WESTERLY OF THE CENTERLINE OF ELDEN AVENUE. MONUMENT IS SET LEVEL WITH THE TOP OF THE CURB.

CONTACT INFORMATION:

HAL & NANCY MOOREFIELD FAMILY TRUST 108 VIA ESCORIAL SAN CLEMENTE, CA 92672

CIVIL ENGINEER:

(310) 503-1506

PLUMP ENGINEERING, INC. 914 E. KATELLA AVE. ANAHEIM, CA 92805 (714)385-1835

SURVEYOR:

PLUMP ENGINEERING, INC 914 E. KATELLA AVE. ANAHEIM, CA 92805 SURVEY DEPARTMENT (714)385-1835

ARCHITECT:

RA. JEHEBER RESIDENTIAL DESIGN, INC 410 32ND STREET, SUITE 202. NEWPORT BEACH, CA 92663 (949)322-3188

EGA CONSULTANTS, INC. 375-C MONTE VISTA AVE COSTA MESA, CA 92627



PROJECT INFORMATION: PROJECT ADDRESS: 2396 ORANGE AVE.

COSTA MESA, CA 92627 7,577 SF PROPERTY AREA: TOTAL IMPERVIOUS AREA: 4,844 SF 119-092-34 TOPOGRAPHY SOURCE: PLUMP ENGINEERING INC. (SURVEY TEAM)

05-20-2022

UTILITIES CONTACT INFORMATION:

SOUTHERN CALIFORNIA EDISON SANTA ANA CA 92707

SOUTHERN CALIFORNIA GAS

SANTA ANA, CA 92704 (800)427-2200

738 S HARBOR BLVD.

TOPOGRAPHY DATE:

(714)895-0244

1965 PLACENTIA AVE.

MESA CONSOLIDATED WATER DISTRICT

COSTA MESA, CA 92627 (949)631-1200

COSTA MESA SANITARY DISTRICT 290 PAULARINO AVE.

COSTA MESA, CA 92626 (949)645-8400

298 E 17TH ST UNIT C

COSTA MESA, CA 92627 (949)764-0021

- IRRIGATION CONTROL VALVE - LIGHT POLE - LANDSCAPING MANHOLE OVERHANG PULLBOX - PROPERTY LINE - PARKING STALL - ROOF DRAIN - RETAINING WALL - SEWER CLEANOUT - SEWER MANHOLE - SIGN

- STREET LIGHT - SIDEWALK - TOP OF CURB - TRASH ENCLOSURE WOOD FENCE

- ASPHALT PAVEMENT

- BUILDING CORNER

- CONCRETE BOLLARD

- ELECTRIC PULL BOX

- FINISHED SURFACE

- BLOCK WALL

- CATCH BASIN

- CENTERLINE

- DECORATIVE

- DROP INLET

- ELECTRIC

- FIRE HYDRANT

GUY ANCHOR

- HANDICAP

- DRAIN

- EXIST

- FENCE

- CONCRETE

- BACK FLOW PREVENT VALVE

- DOUBLE DETECTOR CHECK VALVE

- WATER VALVE - PROPOSED ELEVATION - EXISTING ELEVATION - EXISTING PROPERTY LINE - FENCE

- WATER METER

XXX.XX

(XXX.XX)

SCALE: 1'' = 30'



TITLE SHEET

2396 ORANGE AVE., COSTA MESA, CA 92627

Call before you dig.

BENCH MARK: ELEVATION: DATUM:

ESCRIPTION: ESCRIBED BY OCS 2001 - FOUND 3 3\4" OCS ALUMINUM BENCHMARK DISK STAMPED CM-25-77". SET IN THE WESTERLY CORNER OF A 4 FT. BY 6 FT. CONCRETE CATCH BASI MONUMENT IS LOCATED IN THE NORTHERLY CORNER OF THE INTERSECTION OF ELDEN AVENU AND MONTE VISTA AVENUE, 21 FT. NORTHERLY OF THE CENTERLINE OF MONTE VISTA AND 55.5 WESTERLY OF THE CENTERLINE OF ELDEN AVENUE. MONUMENT IS SET LEVEL

BASIS OF BEARINGS: THE BASIS OF BEARINGS FOR THIS SURVEY THE CENTERLINE OF RESERVOIR STREET.

RECORDS OF SURVEY, BEING NORTH 01*29'30" WEST.

AS SHOWN ON THE RECORD OF SURVEY RECORDED IN BOOK 68, PAGE 47, OF

DESIGN BY: TT DRAWN BY: TT/PE CHECKED BY: TT DATE: **9/2/2025**

REVISIONS

PLUMP ENGINEERING INC. CONSULTING ENGINEERS IN STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL,

TRYFON TRYFONOPOULOS

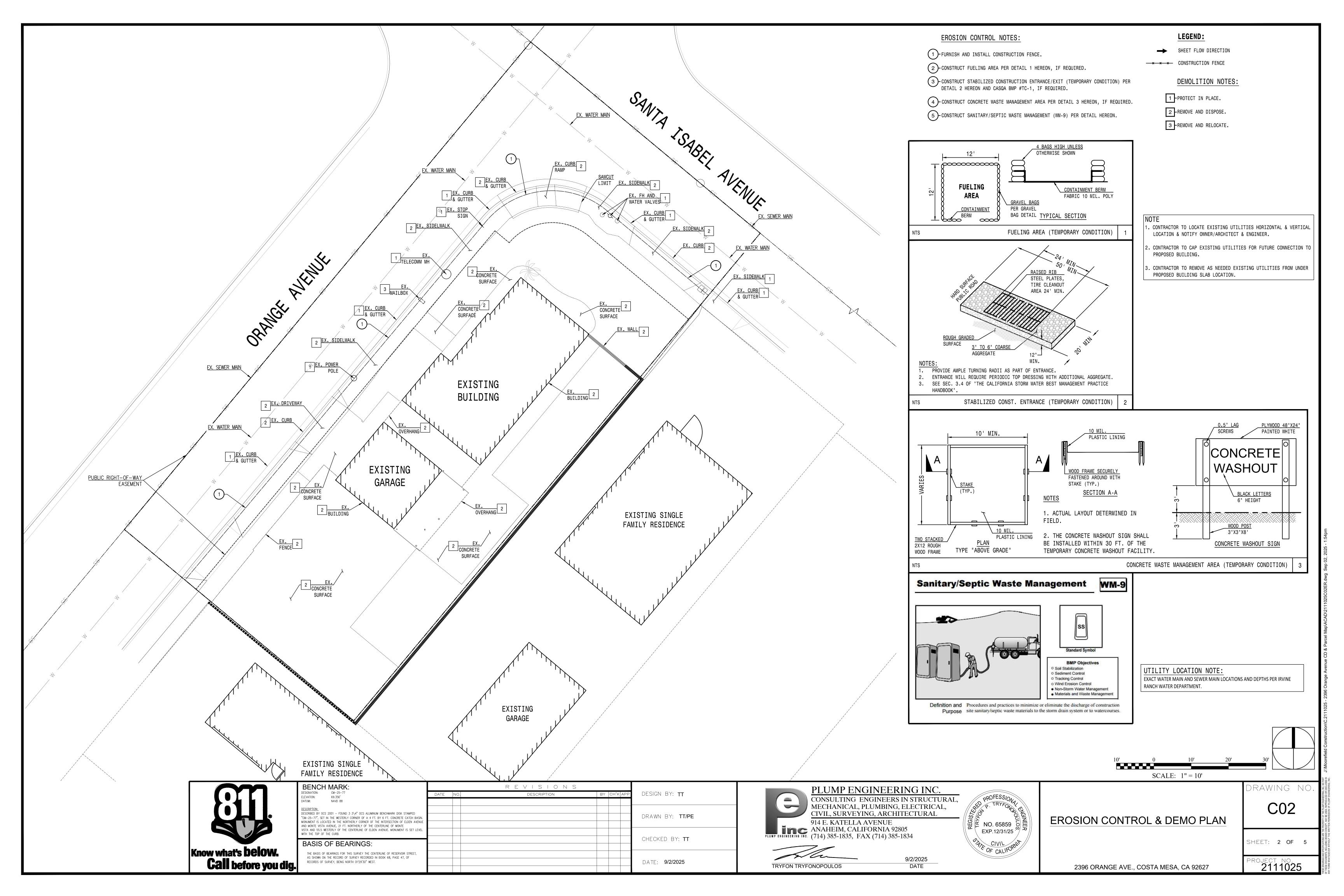
CIVIL, SURVEYING, ARCHITECTURAL 914 E. KATELLA AVENUE ANAHEIM, CALIFORNIA 92805 (714) 385-1835, FAX (714) 385-1834

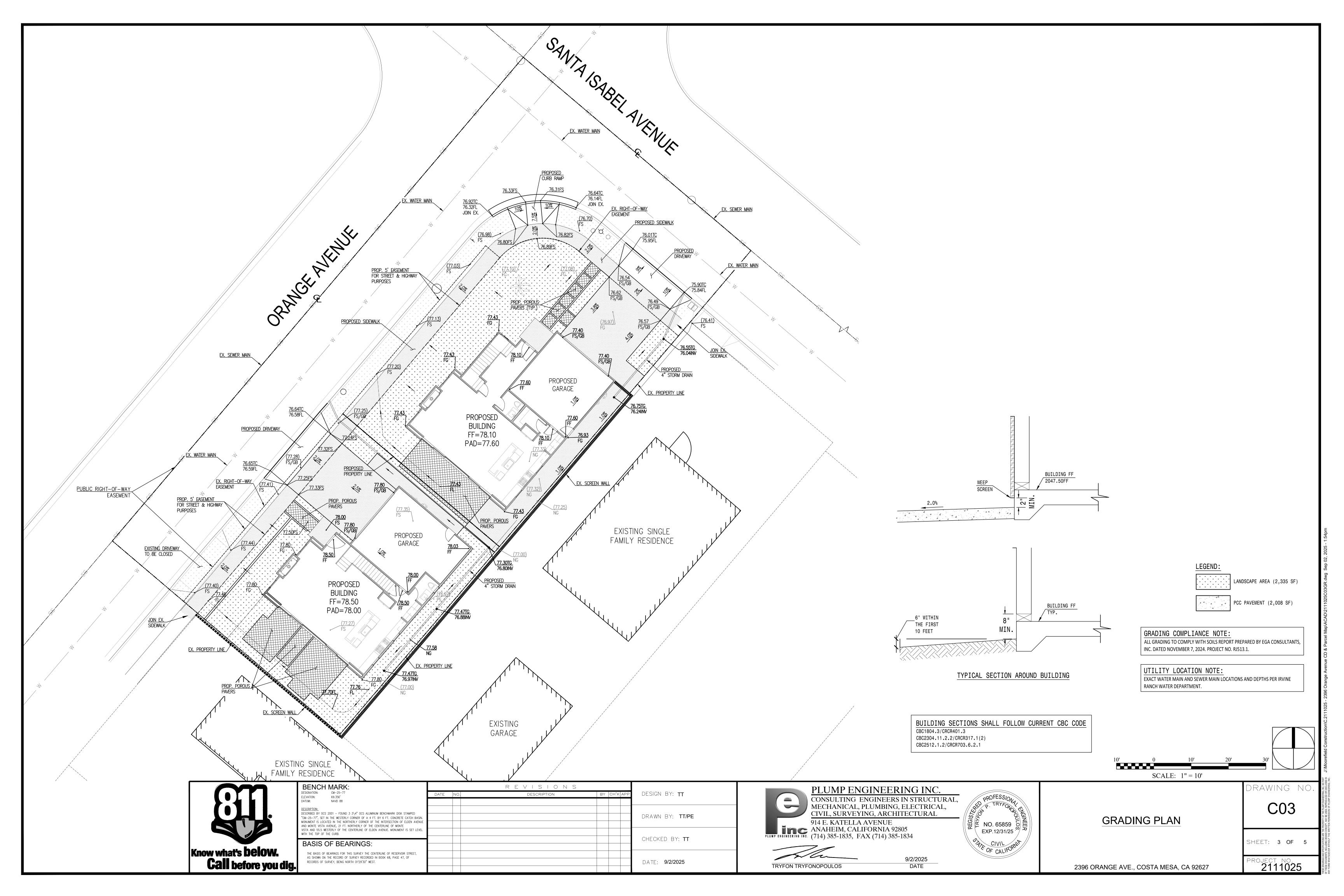
> 9/2/2025 DATE

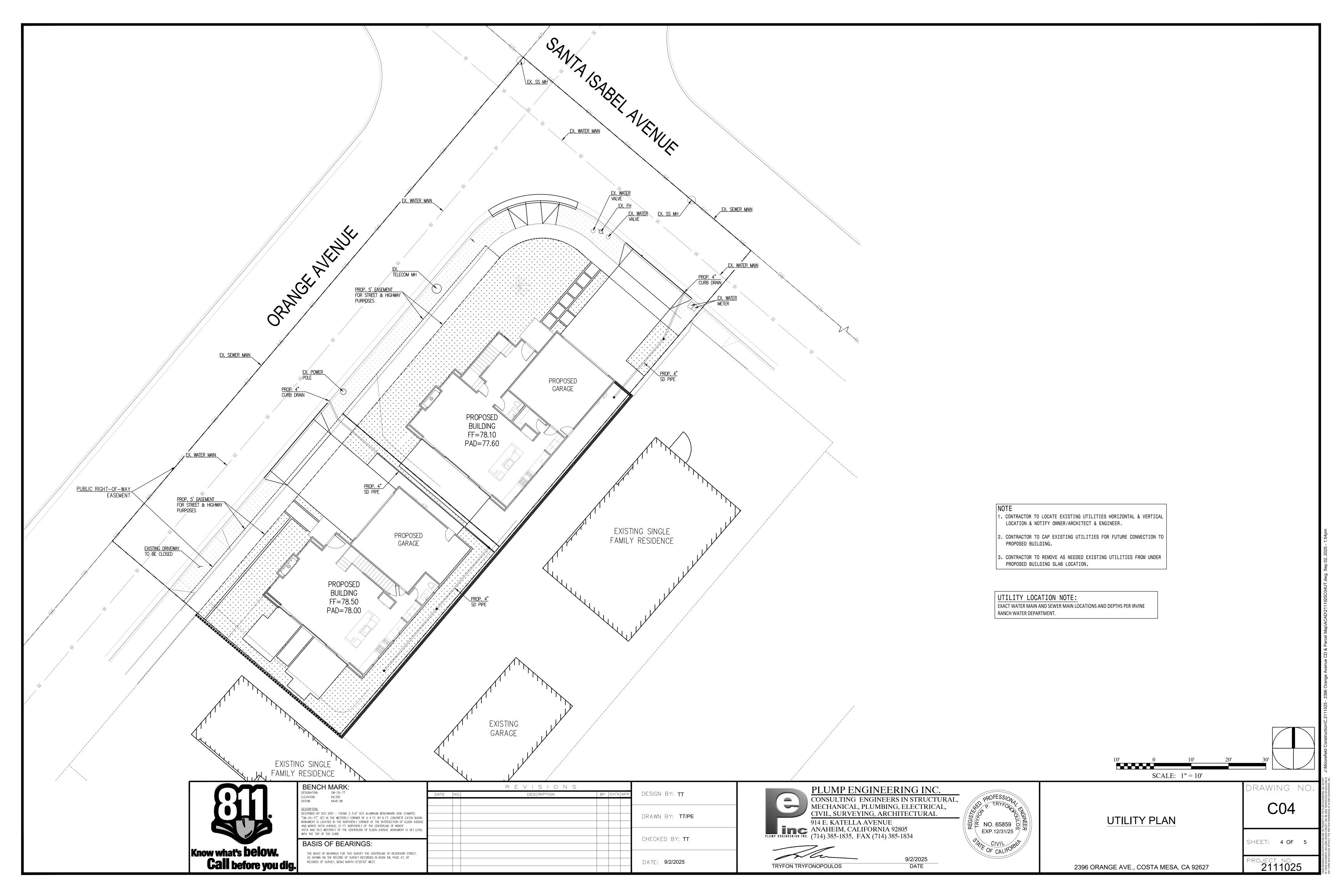
O. TRYFON'TY NO. 65859 EXP.12/31/25

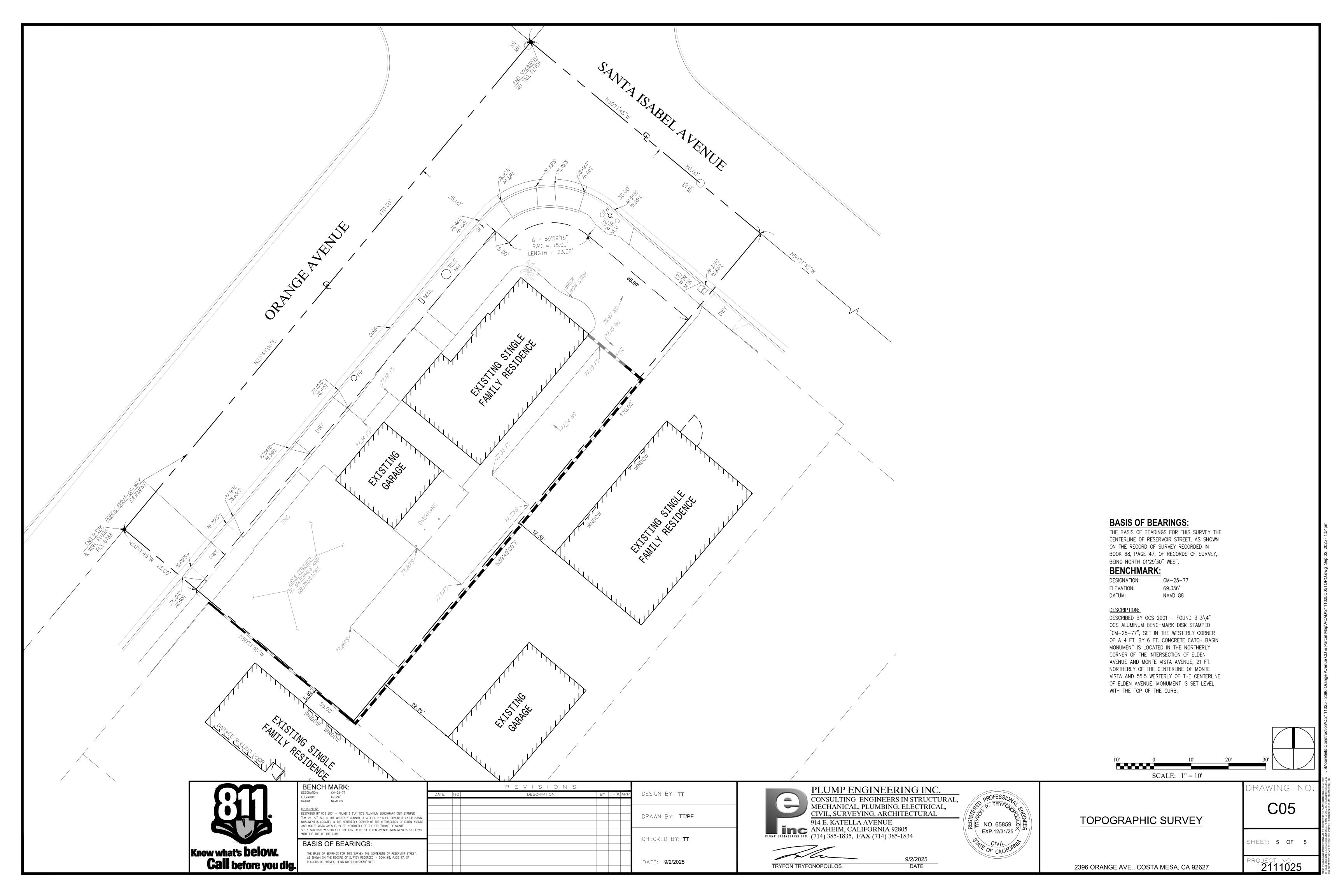
PROFESS/ONA

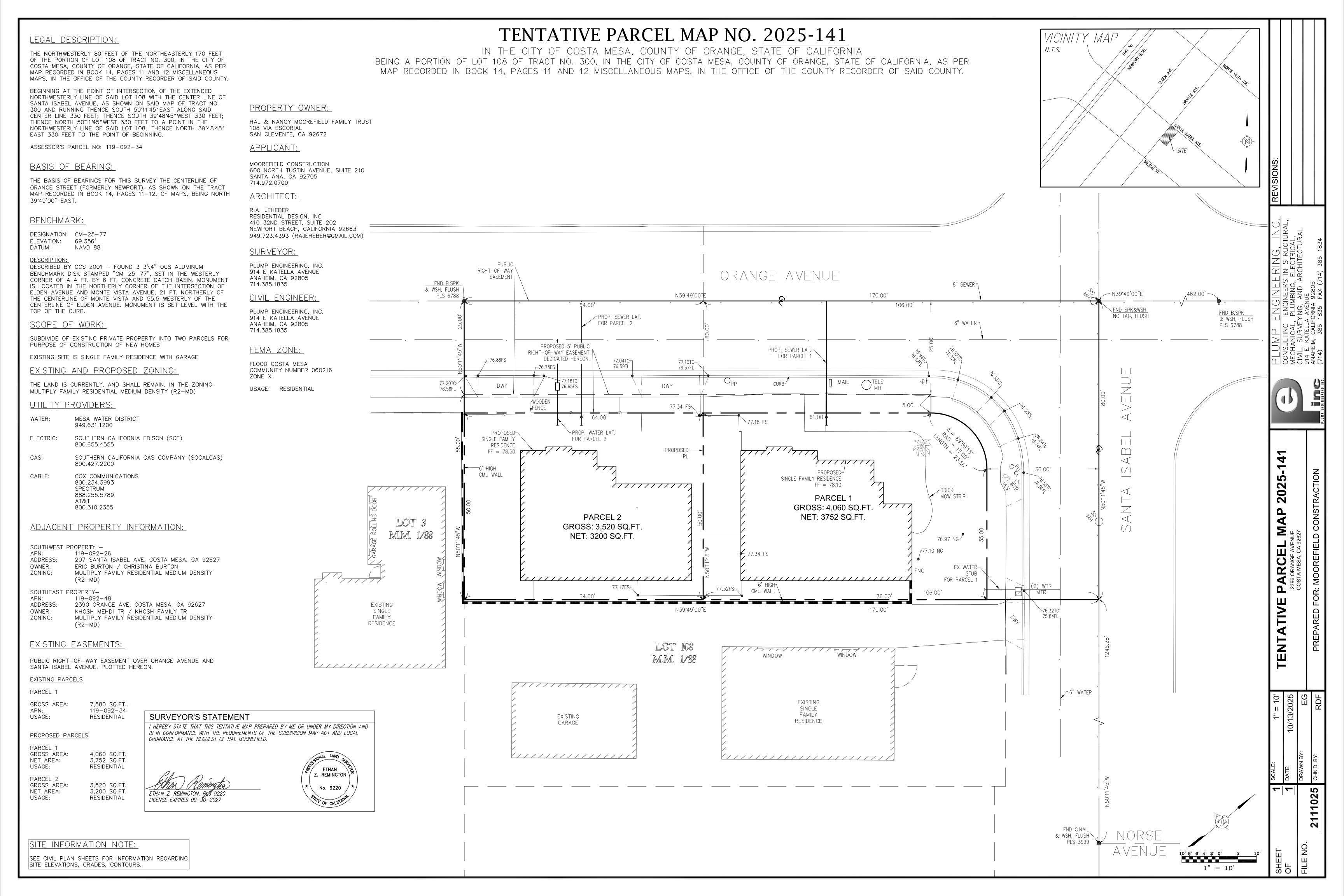
SHEET: 1 OF 5 2111025

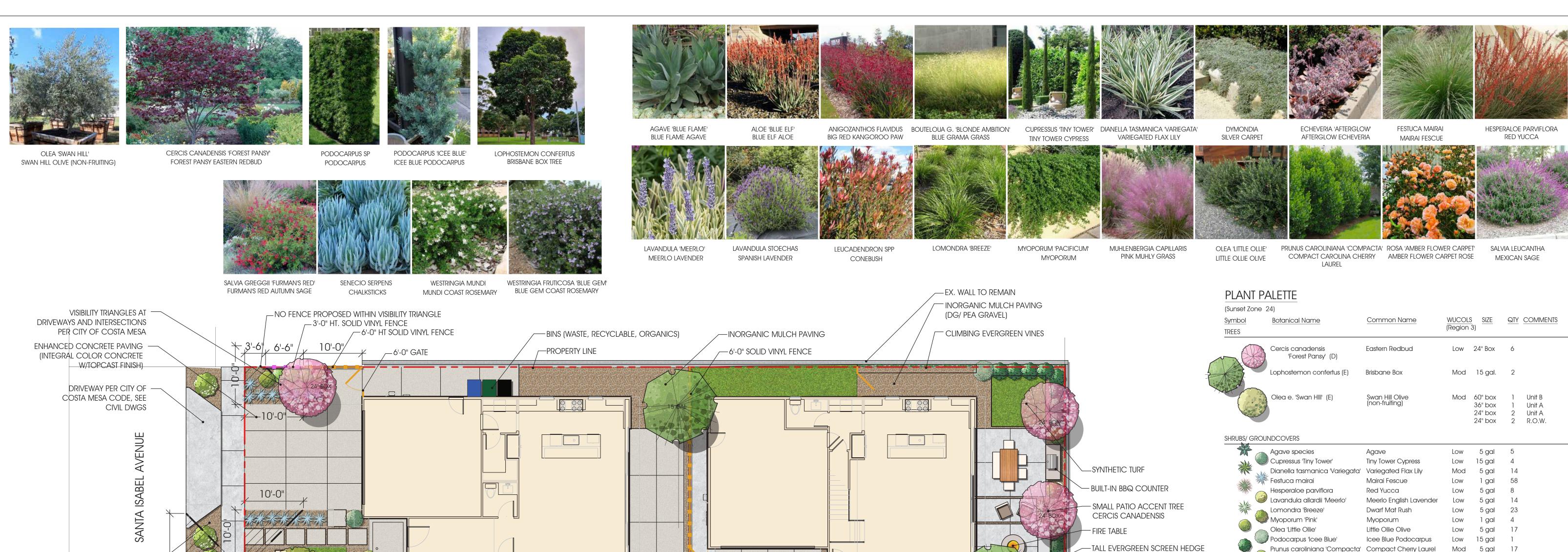












6'-0" VINYL PRIVACY FENCE

PARKWAY LANDSCAPING DECORATIVE ENTRY PILASTER W/STONE VENEER TO MATCH ARCH. MULTI TRUNK ACCENT TREE OLEA 'SWAN HILL' SYNTHETIC TURF 10'-0" VISIBILITY TRIANGLES AT DRIVEWAYS AND INTERSECTIONS PER CITY OF COSTA MESA

WOOD SLAT FENCE ON LOW CONCRETE WALL - MAX HT 30"

ORANGE AVENUE

6'-0" SOLID VINYL FENCE

VISIBILITY TRIANGLES AT

PER CITY OF COSTA MESA

DRIVEWAYS AND INTERSECTIONS

- MULTI-TRUNK EVERGREEN TREE OLEA E. 'SWAN HILL'

(REDWOOD HEADER OR STEEL)

Decorative Rock/ Cobble 30" DECORATIVE FENCE 3'-0" SOLID VINYL FENCE - 30" HT DECORATIVE FENCE (12" CONCRETE WALL W/ 18" 6'-0" SOLID VINYL FENCE HORIZONTAL SLAT FENCE)

NOTES:

Rosa 'Flower Carpet'

Westringia f. 'Mundi'

Senecio serpens

Synthetic Turf

Salvia leucantha

PLANT MATERIAL NOT LISTED MAY BE USED, SUBJECT TO APPROVAL BY THE CITY.

VICINITY MAP

Groundcover Rose

Mexican Bush Sage

Chalksticks

Mundi Coast Rosemary Low 5 gal 19

5 gal 5

Low 4" pot @ 24" O.C

ALL LANDSCAPE PLANS AND INSTALLATIONS SHALL ADHERE TO CITY DESIGN GUIDELINES, CODES AND REGULATIONS.

ALL LANDSCAPE AREAS SHALL RECEIVE AUTOMATIC IRRIGATION SYSTEM.

ALL LANDSCAPE INSTALLATION SHALL BE PERMANENTLY MAINTAINED.

LANDSCAPE AREA TABULATION			LANDSCAPE AREA TABULATI		_
GROSS SITE AREA	3,752	S.F	GROSS SITE AREA	3200	S.F
TOTAL LANDSCAPE AREA	1414	S.F	TOTAL LANDSCAPE AREA	927	S.F
PLANTING AREA	837	S.F	PLANTING AREA	604	S.F
Turf Area	374	S.F	TURF AREA	241	S.F
MULCH PAVING	203	S.F	MULCH PAVING	83	S.F
TOTAL SHRUBS REQUIRED			TOTAL SHRUBS REQUIRED		
2,305 S.F / 25 S.F	93		1,817 S.F / 25 S.F	73	
5 GAL MIN (60%)	56		5 GAL MIN (60%)	44	
TOTAL SHRUBS PROVIDED	150		TOTAL SHRUBS PROVIDED	91	
5 GAL OR GREATER	72		5 GAL OR GREATER	83	
TOTAL TREES REQUIRED			TOTAL TREES REQUIRED		
1414 S.F / 200 S.F	7		921 S.F / 200 S.F	5	
TOTAL TREES PROVIDED	7		TOTAL TREES PROVIDED	5	
EVERGREEN	4		EVERGREEN	2	
DECIDUOUS	3		DECIDUOUS	3	

CONCEPTUAL LANDSCAPE PLAN

CREEPING GROUNDCOVER OR CRUSHED ROCK BETWEEN PAVING

35'-0"

ENHANCED CONCRETE PAVING

(INTEGRAL COLOR CONCRETE W/TOPCAST FINISH)

STREETSCAPE PLANTING WITHIN THE -RIGHT-OF-WAY SHALL COMPLY WITH

DEVELOPMENT STANDARD SECTION 3.0

STREETSCAPE AND MEDIAN

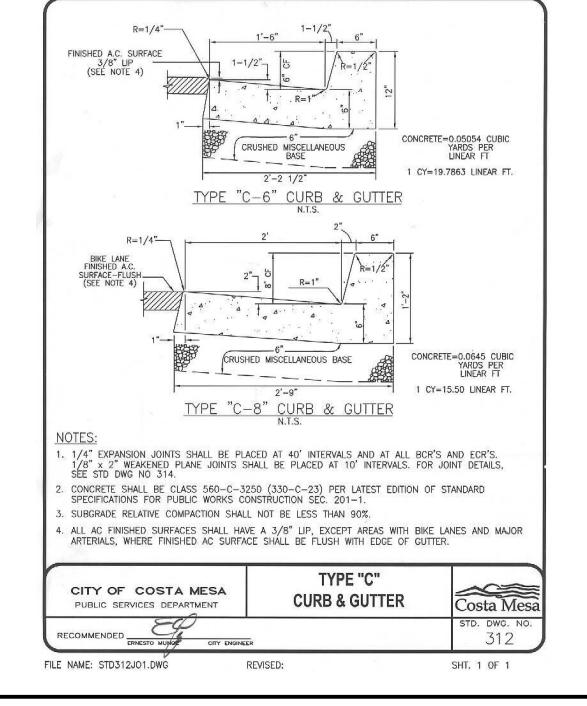
2396 ORANGE AVENUE COSTA MESA, CA 92627



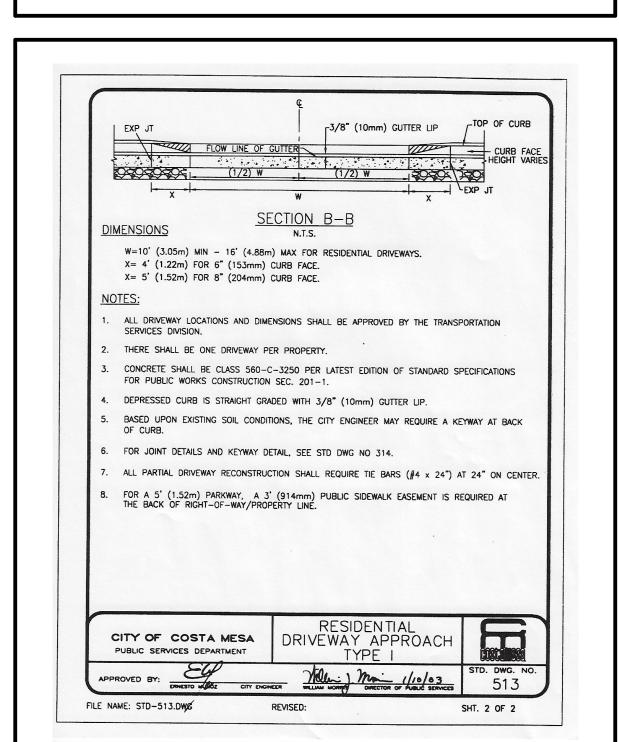
PROVIDED 12 (50% EVERGREEN PROVIDED)

conceptual design + planning company 1675 Scenic Drive, Suite 200 Costa Mesa, CA 92626 T: 949.399.0870 www.cdpcinc.com

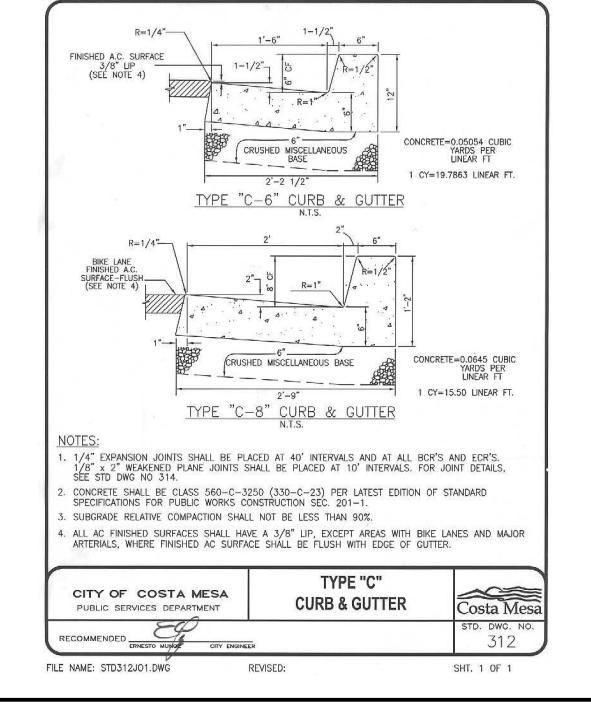


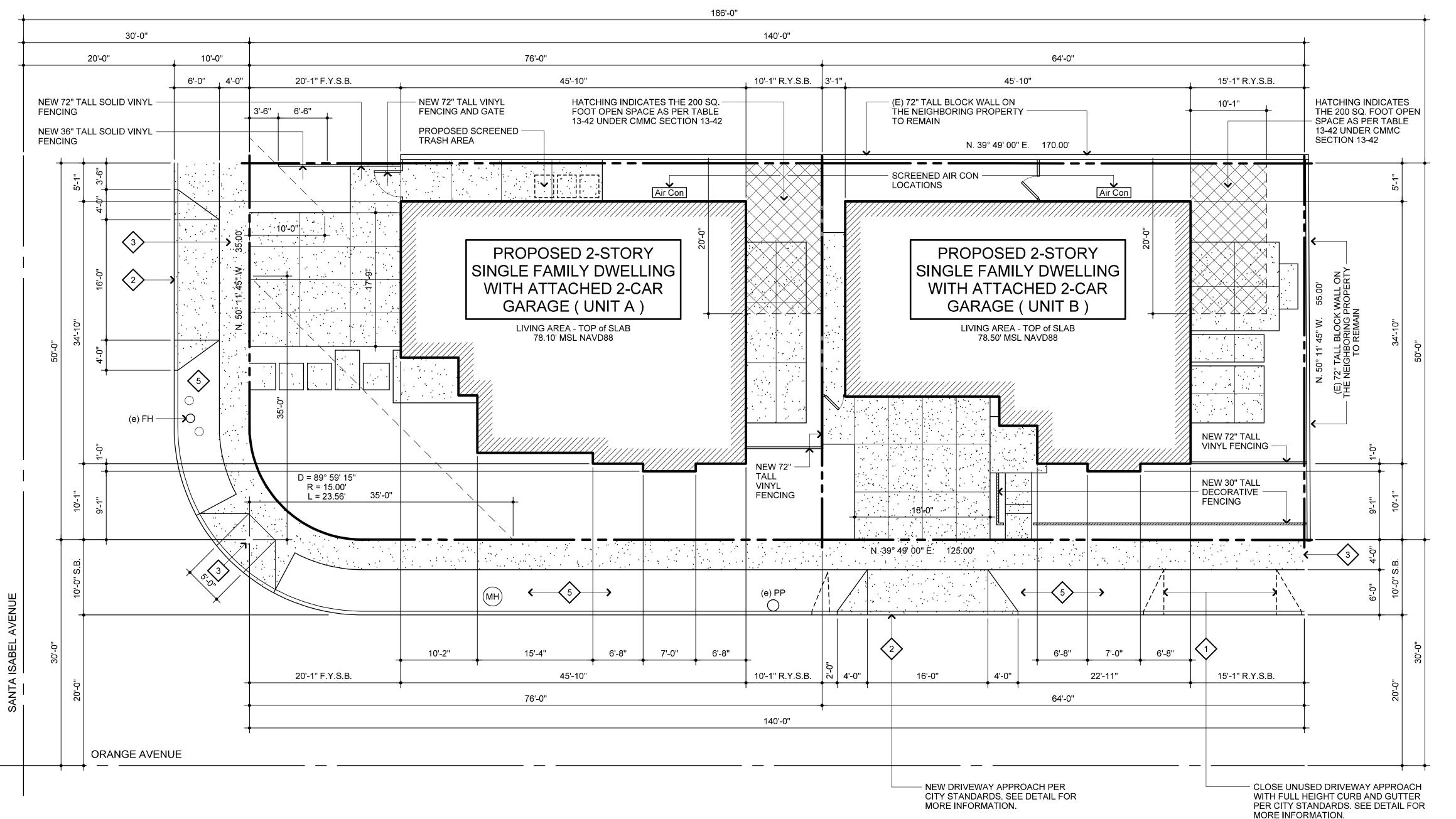


CONST JT MINIMUM CRUSHED MISCELLANEOUS BASE (C.M.B.) (1/2) W (1.22m)WEAKENED_ PLANE_JT_ GRADE | BREAKS — EXP JT - FLOW LINE OF GUTTER EXP JT 2' (610mm) MIN TO CITY OF COSTA MESA PUBLIC SERVICES DEPARTMENT 513



FILE NAME: STD-513.DWG/





PUBLIC RIGHTS-OF-WAY & PARKWAYS - GENERAL CRITERIA

THE CONSERVATION OF PARKWAY TREES. IN THE PUBLIC RIGHTS-OF-WAY, IS A JOINT EFFORT BETWEEN THE CITY AND THE ADJACENT PROPERTY OWNER / TENANT. PROPERTY OWNERS / TENANTS ARE REQUESTED TO PROPERLY PROPERLY IRRIGATE THEIR PARKWAY, INCLUDING TREES, AND REPORT ANY DAMAGED OR SUSPECTED DISEASED TREES TO THE PUBLIC SERVICES DEPT THE PUBLIC SERVICES DEPARTMENT IS RESPONSIBLE FOR TREE PLANTING, INSECT AND DISEASE CONTROL, PERIODIC TREE PRUNING, AND REMOVAL, IF WARRANTED.

IN RESIDENTIAL AREAS, A PARKWAY SUITABLE FOR LANDSCAPING TYPICALLY EXISTS BETWEEN THE STREET CURB AND SIDEWALK. THIS AREA IS NORMALLY PART OF THE PUBLIC RIGHTS-OF-WAY, AND REQUIRES A PERMIT FROM THE CITY TO INSTALL ANY IMPROVEMENTS OTHER THAN GROUND COVER, TURF, OR LOW SHRUBS, IN ORDER TO SOFTEN THE APPEARANCE OF THE PUBLIC RIGHTS-OF-WAY. WHICH CONSISTS MOSTLY OF PAVEMENT AND CONCRETE. THE CITY REQUIRES THAT IS AREA BE LANDSCAPED AND CONTINUOUSLY MAINTAINED AND IRRIGATED BY THE ADJACENT HOMEOWNER.

THE PREFERRED LANDSCAPE MATERIALS FOR THE PARKWAY AREA INCLUDE TURF, GROUND COVER, AND SHRUBBERIES MAY EXCEED 18" IN HEIGHT WITHIN THE MEDIANS AND PARKWAYS WHERE THERE IS NO LINE OF SIGHT VEHICLE SAFETY ISSUE, IF CONTACTED BY THE ADJACENT PROPERTY OWNER, THE CITY WILL PLANT A TREE IN THE PARKWAY AT NO COST TO THE PROPERTY OWNER. AS NOTED IN THE PREVIOUS PARAGRAPH, PARKWAY TREES ARE TO BE PROPERLY IRRIGATED BY THE PROPERTY OWNER.

UNACCEPTABLE MATERIALS IN THE PARKWAY AREA INCLUDE ASPHALT. CONCRETE (OTHER THAN A FOUR-FOOT WIDE WALKWAY FROM THE CURB TO THE SIDEWALK), BRICK PAVERS, RAISED PLANTERS, FENCING, STRUCTURES (OTHER THAN MAILBOXES), HAZARDOUS PLANT MATERIAL (SUCH AS CACTUS, ROSES AND OTHER THORN-BEARING OR HIGHLY POISONOUS PLANTS), AND TREES OTHER THAN AS DESIGNATED IN THESE STANDARDS.

OVERLAY MORATORIUM RESURFACING REQUIREMENTS

THESE CONDITIONS APPLY TO STREETS THAT HAVE BEEN RESURFACED WITH CONVENTIONAL ASPHALT WITHIN THE LAST FIVE (5) YEARS. IF THE AC IS CUT OR DAMAGED, CONTRACTOR SHALL RESURFACE STREET PER THE FOLLOWING MILL AND OVERLAY RESURFACING REQUIREMENTS.

- THE CONTRACTOR SHALL RESTORE THE ROADWAY SURFACE WITHIN THE WORK LIMITS BY MILLING AND OVERLAYING, MINIMUM OF 2 INCHES, THE
 - ENTIRE LANE(S) WHERE THE TRENCH IS LOCATED. A. FOR TRENCHES PERPENDICULAR TO TRAFFIC LANES: MILL AND OVERLAY SHALL EXTEND 50 FEET ON BOTH SIDES OF THE TRENCH AND WILL
 - INCLUDE THE ENTIRE TRAVEL LANES. B. FOR TRENCHES PARALLEL TO TRAFFIC LANES AND FOR SMALL

7 🗖

R. 410 New 949.

THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HERE-IN, AS AN INSTRUMENT OF PROFESSIONAL SERWICE, ARE THE PROPERTY OF RA. JEHEBER RESIDENTIAL DESIGN, INC, AND ARE NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF "RAJ". THIS DOCUMENT IS NOT TO BE REPRODUCED AND / OR MODIFIED IN ANY WAY, NOR SHALL ANY REPRODUCTION OF THIS DOCUMENT BE MODIFIED WITHOUT THE PRIOR WRITTEN CONSENT OF R.A. JEHEBER RESIDENTIAL DESIGN, INC. THIS DOCUMENT HAS BEEN PREPARED TO DESCRIBE PROPOSED NEW WORK AND DOES NOT NECESSARILY REPRESENT AS-BUILT OR EXISTING CONDITIONS. THE DESIGNER DOES NOT WARRANT, IN ANY WAY, THE ACCURACY OF THIS INFORMATIC AND SHALL NOT BE RESPONSIBLE FOR ANY DISCREPANCY BETWEEN THIS DOCUMENT AND EXISTING CONDITIONS.

- EXCAVATIONS: MILL AND OVERLAY THE ENTIRE WIDTH OF THE TRAFFIC LANE FOR THE FULL LENGTH OF THE TRENCH, BUT NOT LESS THAN 100'.
- RESTORATION OF THE ROADWAY SHALL BE CONTINUOUS AND NO JOINTS WILL BE ALLOWED. ALL ROADWAYS WITHIN THE WORK LIMITS WILL BE RESTORED IN ONE OPERATION. NO PIECE-MEAL MILLING AND OVERLAYING WORK WILL BE PERMITTED. THE CONTRACTOR SHALL NOT PROCEED WITH THE MILLING AND OVERLAYING OPERATIONS UNTIL DIRECTION IS GIVEN BY
- ANY EXISTING IMPROVEMENTS DAMAGED BY THE CONTRACTOR SHALL BE REPLACED AS DIRECTED BY THE CITY ENGINEER
- ASPHALT CONCRETE SHALL CONFORM TO SECTION 302-5 OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- ALL WORK SHALL BE COMPLETED WITHIN 90 CALENDAR DAYS FROM ISSUANCE

STREET IMPROVEMENT NOTES

- > REMOVE EXISTING AND CONSTRUCT TYPE (C-6) CURB AND GUTTER PER CITY OF COSTA MESA STANDARD DRAWING No. 312 OVER 6" CMB. CONTRACTOR SHALL RECONSTRUCT A MINIMUM OF 3' OF AC ADJACENT TO NEW GUTTER. THE NEW SLOT PAVE STRUCTURAL SECTION SHALL BE 6" AC OVER 6" CMB. EXTEND CURB AND GUTTER REMOVAL TO NEXT JOINT IF LESS
- 2 > REMOVE EXISTING AND CONSTRUCT TYPE 1 DRIVEWAY APPROACH PER CITY \checkmark OF COSTA MESA STANDARD DRAWING No. 513 OVER 6" CMB. W = 16', X = 4'.
- 3 CONSTRUCT NEW RESIDENTIAL SIDEWALK PER CITY OF COSTA MESA STANDARD DRAWING No. 411 OVER 4" CMB.
- 4 CONSTRUCTION NEW TYPICAL ONE-RAMP CORNER INSTALLATION 'CASE B' PER THE STATE OF CALIFORNIA 2023 STANDARD PLAN A88A.
- 5 COMPLY WITH SECTION 3.0 OF THE STREET-SCAPE & MEDIAN DEVELOPMENT "PUBLIC RIGHTS-OF-WAY AND PARKWAYS - GENERAL CRITERIA NOTES SHOWN ABOVE ON THIS PAGE.

CMSD STANDARD SEWER NOTES

- THE SEWER SYSTEM SHALL CONFORM TO THE STANDARDS OF THE COSTA MESA SANITARY DISTRICT.
- CONTRACTOR SHALL REQUEST INSPECTION FROM THE OFFICE OF THE DISTRICT ENGINEER 48 HOURS PRIOR TO COMMENCEMENT OF WORK. TELEPHONE: 949-631-1731
- ANY WORK PREFORMED WITHOUT INSPECTION FROM THE DISTRICT SHALL BE CONSIDERED UNACCEPTABLE.
- THE GENERAL CONTRACTOR SHALL OBTAIN CMSD SEWER PERMIT PRIOR TO OF WORK FROM THE COSTA MESA SANITARY DISTRICT: 290 PAULARINO AVE COSTA MESA, CA 92626 949-645-8400 EXT. 229
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS THAT MAY BE REQUIRED BY THE LOCAL GOVERNING AGENCY.
- CONTRACTOR TO HAVE A COPY OF APPROVED SEWER PLAN AND CMSD STANDARD PLANS AND SPECIFICATIONS ON JOB SITE AT ALL TIMES.
- CLAY PIPE JOINTS SHALL BE TYPE "G" MECHANICAL COMPRESSION JOINTS
- FOR MAIN LINE SEWER. TYPE "D" JOINTS, BAND-SEAL OR APPROVED EQUAL, ARE APPROVED FOR LATERALS AND REPAIR WORK ONLY.
- 6. 6" LATERALS SHALL BE CONSTRUCTED FROM THE SEWER MAIN TO EVERY
- 9. ALL LATERALS SHALL BE PLACED PRIOR TO SURFACING OF STREETS
- 10. STAMP "S" ON CURB AT SEWER LATERAL LOCATIONS.
- 1. SEWER MAIN SHALL BE AIR OR WATER TESTED MEETING DISTRICT ENGINEER'S APPROVAL. 12. PRIOR TO ASPHALT CONCRETE PAVING, MANHOLE FRAMES AND COVERS

SHALL BE LEFT 6" BELOW FINISH GRADE. AFTER STREET SURFACING IS

Dwg. No. S-105 13. SEWER MANHOLE FRAME AND COVER SHALL BE ALHAMBRA FOUNDRY A-1270.

COMPLETED, FRAMES AND COVERS SHALL BE RAISED TO GRADE PER STD

- OR APPROVED EQUAL. COVER TO BE STAMPED "SEWER".
- 14. SEWER MAIN SHALL BE BALLED AFTER ALL MANHOLE FRAMES HAVE BEEN RAISED TO GRADE.
- 15. PVC PIPE MAY BE USED ONLY WITH PRIOR APPROVAL FROM THE DISTRICT ENGINEER. 16. IF MINIMUM SEPARATION DISTANCE BETWEEN SEWER AND WATER MAIN IS
- NOT MET, SPECIAL CONSTRUCTION REQUIREMENTS ARE TO BE USED PER Std. Dwg. No. S-110-A OR S-110-B.
 - 7. DEVELOPER IS RESPONSIBLE FOR REPLACING ANY EXISTING LATERALS NOT FOUND IN FIELD OR FOUND TO BE DEFECTIVE.
- 18. ALL TRENCH EXCAVATION AND PIPE BEDDING SHALL BE CONSTRUCTED PER Std. Dwg. No. S-112.
- CONTRACTOR TO EITHER REPLACE EXISTING 6" VCP LATERAL IN STREET RIGHT OF WAY WITH NEW LATERAL PER CMSD STD S-104-A OR PERFORM CCTV OF EXISTING LATERAL AND PROVIDE VIDEO TO THE COSTA MESA SANITARY DISTRICT. DAMAGED PORTIONS OF EXISTING LATERAL SHALL BE REPAIRED (IF ANY).

Scale: 1/8" = 1'-0"

Plot Date & Time 9/7/2025 12:34 PM RAJ Project # 2016-29 REVISIONS

∞

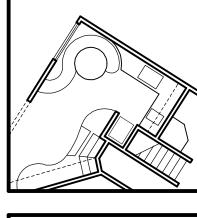
SP.

Scale: 1/4" = 1'-0"

FIRST FLOOR PLAN - UNIT 'A'

FIRST FLOOR PLAN - UNIT 'B'

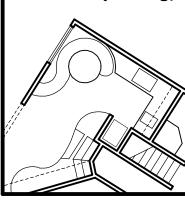
Scale: 1/4" = 1'-0"



THIS DOCUMENT. AND THE IDEAS AND DESIGNS INCORPORATED HERE-IN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, ARE THE PROPERTY OF R.A. JEHEBER RESIDENTIAL DESIGN, INC. AND ARE NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF "RAJ", THIS DOCUMENT IS NOT TO BE REPRODUCED AND / OR MODIFIED IN ANY WAY, NOR SHALL ANY REPRODUCTION OF THIS DOCUMENT BE MODIFIED WITHOUT THE PRIOR WRITTEN CONSENT OF R.A. JEHEBER RESIDENTIAL DESIGN, INC. THIS DOCUMENT HAS BEEN PREPARED TO DESCRIBE PROPOSED NEW WORK AND DOES NOT NECESSARILY REPRESENT AS-BUILT OR EXISTING CONDITIONS. THE DESIGNER DOES NOT WARRANT, IN ANY WAY, THE ACCURACY OF THIS INFORMATION AND SHALL NOT BE RESPONSIBLE FOR ANY DISCREPANCY BETWEEN THIS DOCUMENT AND EXISTING TORSIBLE FOR ANY DISCREPANCY BETWEEN THIS DOCUMENT AND EXISTING CONDITIONS.

Plot Date & Time 9/7/2025 12:34 PM RAJ Project# 2016-29 REVISIONS

R. A. JEHEBEK RESIDENTIAL DESIGN, IN 410 32nd. Street, Suite 202 Newport Beach, California 92663 949.723.4393 (rajeheber@gmail.con



THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HERE-IN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, ARE THE PROPERTY OF R.A. JEHEBER RESIDENTIAL DESIGN, INC. AND ARE NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF "RAJ". THIS DOCUMENT IS NOT TO BE REPRODUCED AND / OR MODIFIED IN ANY WAY, NOR SHALL ANY REPRODUCTION OF THIS DOCUMENT BE MODIFIED WITHOUT THE PRIOR WRITTEN CONSENT OF R.A. JEHEBER RESIDENTIAL DESIGN, INC. THIS DOCUMENT HAS BEEN PREPARED TO DESCRIBE PROPOSED NEW WORK AND DOES NOT NECESSARILY REPRESENT AS-BUILT OR EXISTING CONDITIONS. THE DESIGNER DOES NOT WARRANT, IN ANY WAY, THE ACCURACY OF THIS INFORMATION AND SHALL NOT BE RESPONSIBLE FOR ANY DISCREPANCY BETWEEN THIS DOCUMENT AND EXISTING CONDITIONS.

ECOND FLOOR PLAN

HAL & NANCY MOOREFIELD
FAMILY TRUST
PROJECT ADDRESS:
2396 ORANGE AVENUE
COSTA MESA, CALIFORNIA

Plot Date & Time
9/7/2025 12:34 PM

RAJ Project #
2016-29

REVISIONS

A2.0

Scale: 1/4" = 1'-0"

:\DataCAD 23\Drawings\2016-29 2396 ORANGE AVENUE - HAL MOOREFIELD\2396 ORANGE AVE - DR-01 PC-0

SCALE: 1/4" = 1'-0"

ROOF PLAN - UNIT 'A'

ROOF PLAN - UNIT 'B'

Scale: 1/4" = 1'-0"

SMALL LOT SUBDIVING

SMALL LOT SUBDIVING

Body State

SMALL LOT SUBDIVING

SMALL LOT SUBDIVING

Plot Date & Time

9/7/2025 12:34 PM

RAJ Loiect #

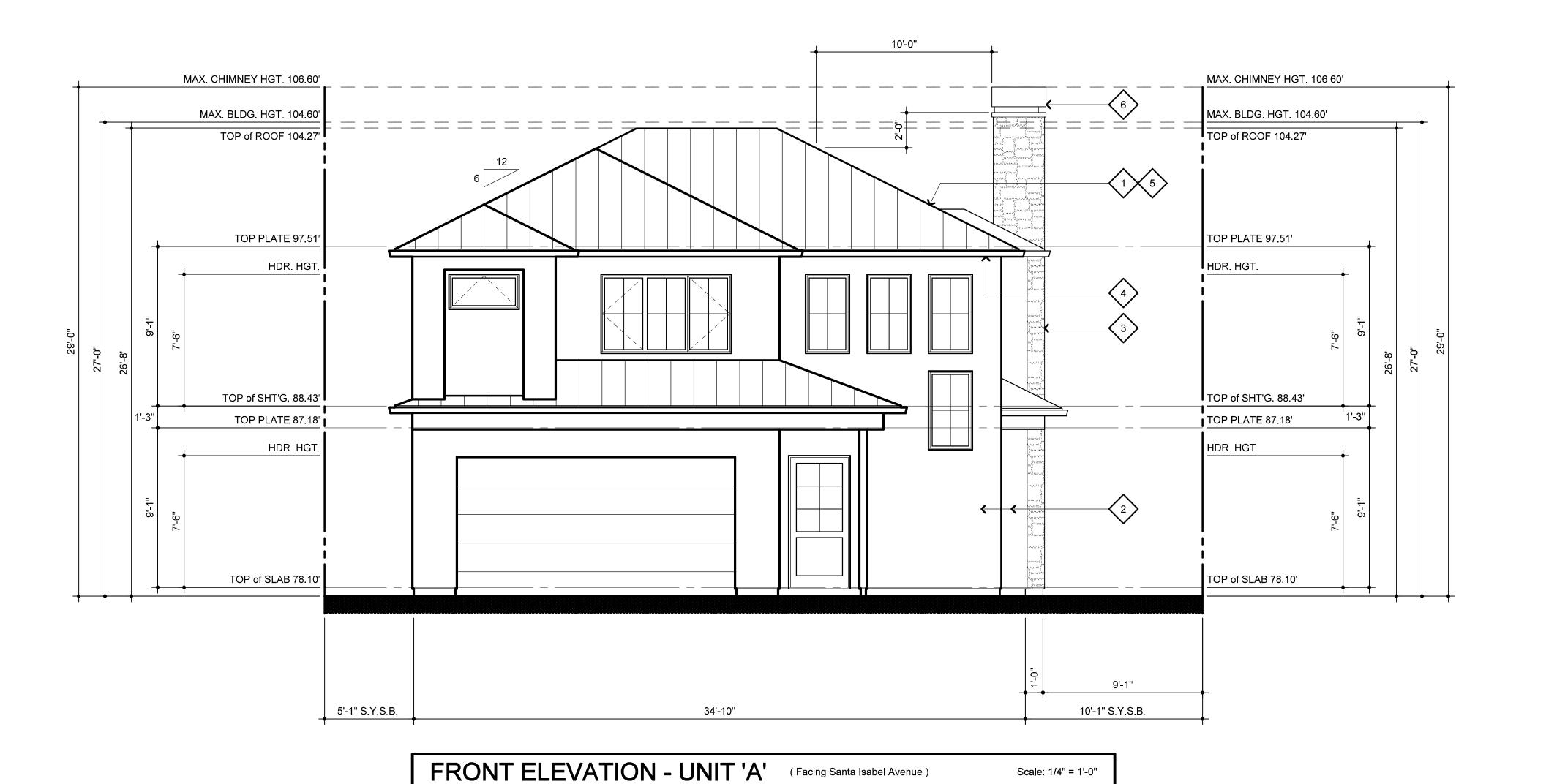
5016-59

REVISIONS

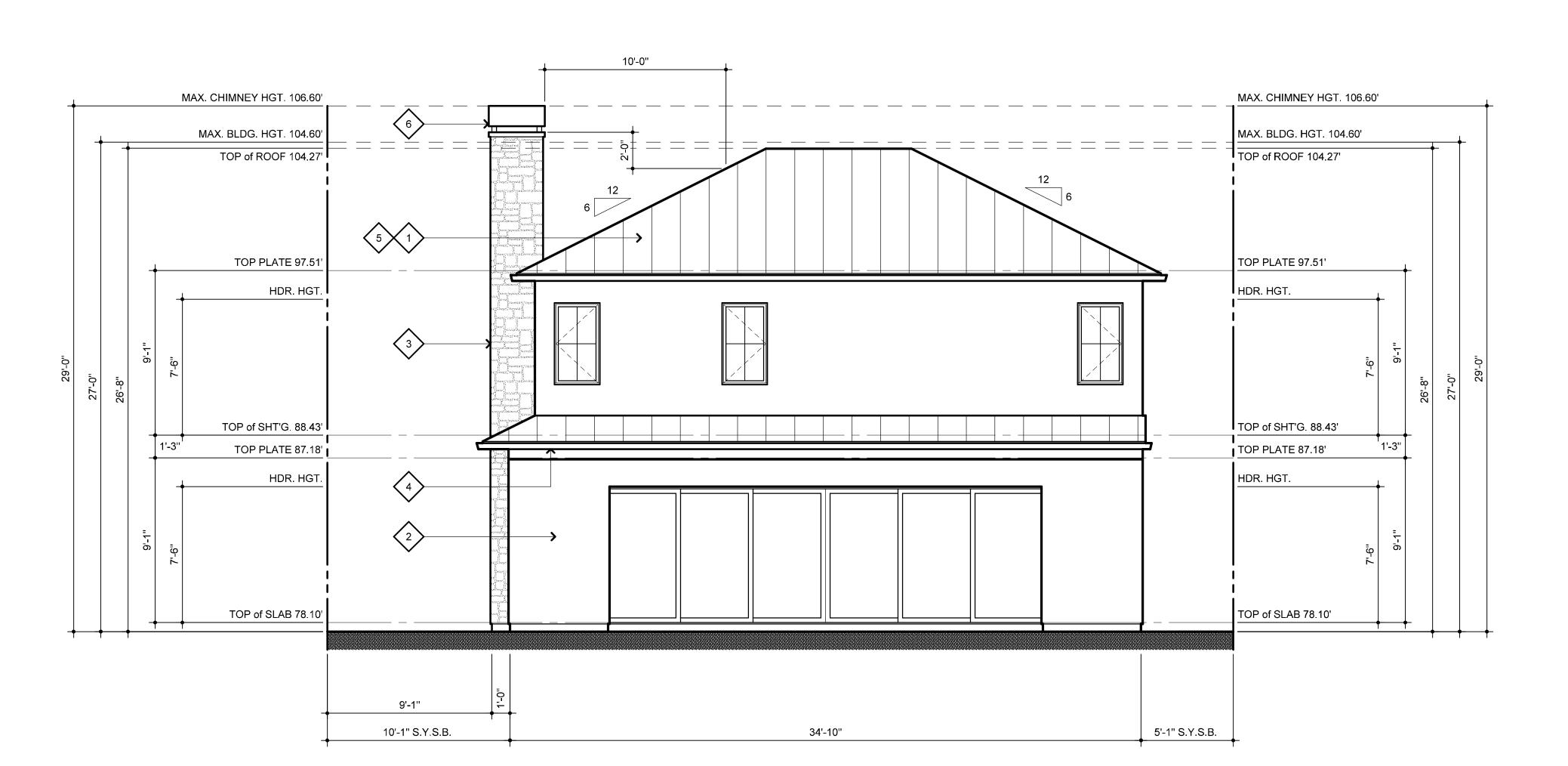
COSTA MESA,

THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HERE-IN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, ARE THE PROPERTY OF R.A. JEHEBER RESIDENTIAL DESIGN, INC. AND ARE NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF "RAJ", THIS DOCUMENT IS NOT TO BE REPRODUCED AND / OR MODIFIED IN ANY WAY, NOR SHALL ANY REPRODUCTION OF THIS DOCUMENT BE MODIFIED WITHOUT THE PRIOR WRITTEN CONSENT OF R.A. JEHEBER RESIDENTIAL DESIGN, INC. THIS DOCUMENT HAS BEEN PREPARED TO DESCRIBE PROPOSED NEW WORK AND DOES NOT NECESSARILY REPRESENT AS-BUILT OR EXISTING CONDITIONS. THE DESIGNER DOES NOT WARRANT, IN ANY WAY, THE ACCURACY OF THIS INFORMATION AND SHALL NOT BE RESPONSIBLE FOR ANY DISCREPANCY BETWEEN THIS DOCUMENT AND EXISTING CONDITIONS.

A4.0



Scale: 1/4" = 1'-0"



REAR ELEVATION - UNIT 'A' (Opposite side of Santa Isabel Avenue) Scale: 1/4" = 1'-0" **ELEVATION KEYNOTES:**

INDICATES PLAN NOTE LEGEND SYMBOL - SEE LETTER BELOW.

METAL ROOFING: (CLASS 'A')

MANUFACTURER:

CUSTOM BILT METALS

13940 MAGNOLIA AVENUE CHINO, CA 91710 909-664-1500

PRODUCT: STANDING SEAM METAL ROOFING, CB-150 (NON-REFLECTIVE)

COLOR:

USE CONTINUOUS 16" SPANS - VERIFY WITH "BUILDING DESIGNER" SIZE AND LOCATIONS OF SEAMS (NO TRANSVERSE SEAMS)

WEIGHT: APPROXIMATELY 2 PSF.

ICC # ESR-2048, CB-150

2 STUCCO SIDING:

MANUFACTURER:

(714) 935-0900

OMEGA PRODUCTS INTERNATIONAL, Inc. 282 SOUTH ANITA DRIVE ORANGE, CA 92868

3 ADHERED STONE VENEER

MANUFACTURER:

CREATIVES MINES 5840 EL CAMINO REAL #106 CARLSBAD, CA 92008 800-453-7040

APPLICATION: URBAN STRIP

COLOR: MORNINGLIGHT

WEIGHT: LESS THAN 15 LBS / SF

THICKNESS:

1.125" AVERAGE THICKNESS CODE:

ASTM C1634. USE MASONRY CEMENT MORTAR (COVERED BY ASTM C1329) OVER STUCCO SCRATCH COAT.

4 RAIN GUTTERS:

MATERIAL:

METAL - ALUMINUM PAINTED KYNAR

SHAPE: SQUARE 5" - VERIFY WITH INTERIOR DESIGN TEAM.

5 FLASHING & WEATHER STRIPPING:

PROVIDE MINIMUM 24 GAUGE METAL (16 oz.) SHEETING (TO MATCH) FOR ALL EXTERIOR FLASHING & WEATHER STRIPPING APPLICATIONS. VERIFY WITH BUILDING DESIGNER ANY UNCONVENTIONAL ENVELOPE WATERPROOFING

AREAS PRIOR TO INSTALLATION. 6 METAL CHIMNEY SHROUD:

MANUFACTURER:

COAST SHEET METAL, INC. 990 WEST 17TH STREET COSTA MESA, CA 92627 949/645-2224

APPLICATION: ALUMINUM COMPOSITE MATERIAL (ACM)

COLOR: BLACK

THIS DOCUMENT. AND THE IDEAS AND DESIGNS INCORPORATED HERE-IN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, ARE THE PROPERTY OF R.A. JEHEBER RESIDENTIAL DESIGN, INC. AND ARE NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF "RAJ". THIS DOCUMENT IS NOT TO BE REPRODUCED AND / OR MODIFIED IN ANY WAY, NOR SHALL ANY REPRODUCTION OF THIS DOCUMENT BE MODIFIED WITHOUT THE PRIOR WRITTEN CONSENT OF R.A. JEHEBER RESIDENTIAL DESIGN, INC. THIS DOCUMENT HAS BEEN PREPARED TO DESCRIBE PROPOSED NEW WORK AND DOES NOT NECESSARILY REPRESENT AS-BUILT OR EXISTING CONDITIONS. THE DESIGNER DOES NOT WARRANT, IN ANY WAY, THE ACCURACY OF THIS INFORMATIC AND SHALL NOT BE RESPONSIBLE FOR ANY DISCREPANCY BETWEEN THIS DOCUMENT AND EXISTING CONDITIONS.

TION OR

9/7/2025 12:34 PM RAJ Project# 2016-29 REVISIONS

∞



MAX. BLDG. HGT. 106.60' MAX. CHIMNEY HGT. 106.60' MAX. BLDG. HGT. 104.60 MAX. BLDG. HGT. 104.60' TOP of ROOF 104.27' TOP of ROOF 104.27' TOP PLATE 97.51' TOP PLATE 97.51' HDR. HGT. HDR. HGT. TOP of SHT'G. 88.43' TOP of SHT'G. 88.43' TOP PLATE 87.18' TOP PLATE 87.18' HDR. HGT. HDR. HGT. TOP of SLAB 78.10' TOP of SLAB 78.10' 10'-1" R.Y.S.B. 45'-10" 20'-1" F.Y.S.B.

LEFT ELEVATION - UNIT 'A' (Opposite side of Orange Avenue) Scale: 1/4" = 1'-0"

ELEVATION KEYNOTES:

INDICATES PLAN NOTE LEGEND SYMBOL - SEE LETTER BELOW.

1 METAL ROOFING: (CLASS 'A')

•

MANUFACTURER:

CUSTOM BILT METALS 13940 MAGNOLIA AVENUE CHINO, CA 91710

909-664-1500

PRODUCT:
STANDING SEAM METAL ROOFING, CB-150 (NON-REFLECTIVE)

COLOR:

USE CONTINUOUS 16" SPANS - VERIFY WITH "BUILDING DESIGNER" SIZE AND LOCATIONS OF SEAMS (NO TRANSVERSE SEAMS)

WEIGHT:APPROXIMATELY 2 PSF.

CODE: ICC # ESR-2048, CB-150

2 STUCCO SIDING:

MANUFACTURER:

OMEGA PRODUCTS INTERNATIONAL, Inc. 282 SOUTH ANITA DRIVE ORANGE, CA 92868 (714) 935-0900

3 ADHERED STONE VENEER

MANUFACTURER:

CREATIVES MINES 5840 EL CAMINO REAL #106 CARLSBAD, CA 92008 800-453-7040

APPLICATION: URBAN STRIP

COLOR: MORNINGLIGHT

WEIGHT: LESS THAN 15 LBS / SF

THICKNESS:

1.125" AVERAGE THICKNESS

CODE:

ASTM C1634.
USE MASONRY CEMENT MORTAR (COVERED BY ASTM C1329) OVER STUCCO SCRATCH COAT.

4 RAIN GUTTERS:

MATERIAL:

METAL - ALUMINUM PAINTED KYNAR

SHAPE:SQUARE 5" - VERIFY WITH INTERIOR DESIGN TEAM.

5 FLASHING & WEATHER STRIPPING:

PROVIDE MINIMUM 24 GAUGE METAL (16 oz.) SHEETING (TO MATCH) FOR ALL EXTERIOR FLASHING & WEATHER STRIPPING APPLICATIONS. VERIFY WITH BUILDING DESIGNER ANY UNCONVENTIONAL ENVELOPE WATERPROOFING AREAS PRIOR TO INSTALLATION.

6 METAL CHIMNEY SHROUD:

MANUFACTURER:

COAST SHEET METAL, INC. 990 WEST 17TH STREET COSTA MESA, CA 92627 949/645-2224

APPLICATION:

ALUMINUM COMPOSITE MATERIAL (ACM)

COLOR: BLACK **X** X 4 × 28

THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HERE-IN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, ARE THE PROPERTY OF R.A. JEHEBER RESIDENTIAL DESIGN, INC. AND ARE NOT TO BE USED IN WHOLE OF RIN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF "RAJ". THIS DOCUMENT IS NOT TO BE REPRODUCED AND / OR MODIFIED IN ANY WAY, NOR SHALL ANY REPRODUCTION OF THIS DOCUMENT BE MODIFIED WITHOUT THE PRIOR WRITTEN CONSENT OF R.A. JEHEBER RESIDENTIAL DESIGN, INC. THIS DOCUMENT HAS BEEN PREPARED TO DESCRIBE PROPOSED NEW WORK AND DOES NOT NECESSARILY REPRESENT AS-BUILT OR EXISTING CONDITIONS. THE DESIGNER DOCS NOT WARRANT, IN ANY WAY, THE ACCURACY OF THIS INFORMATION AND SHALL NOT BE RESPONSIBLE FOR ANY DISCREPANCY BETWEEN THIS DOCUMENT AND EXISTING CONDITIONS.

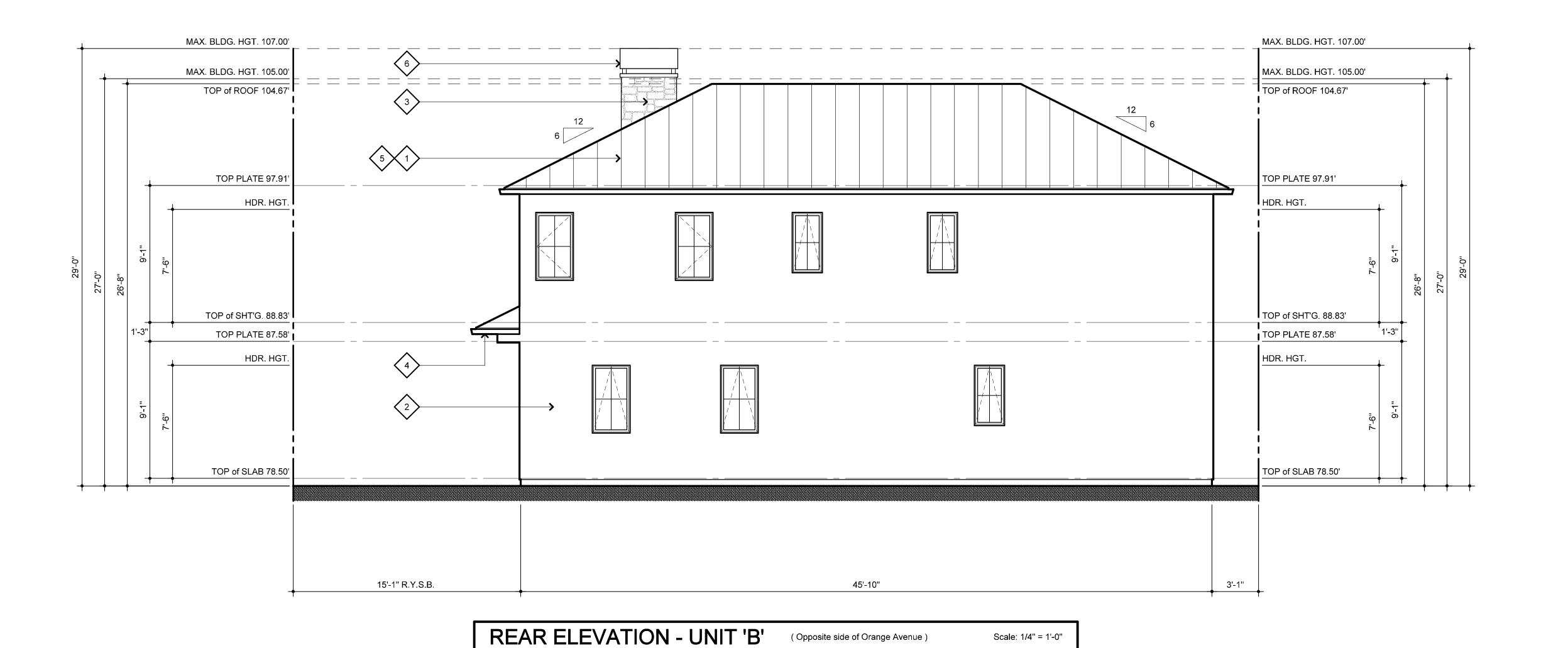
TERIOR ELEVATION

- & NANCY MOOREFIELI
FAMILY TRUST
PROJECT ADDRESS:
2396 ORANGE AVENUE
COSTA MESA, CALIFORNIA

Plot Date & Time
9/7/2025 12:34 PM

RAJ Project #
2016-29

REVISIONS



ELEVATION KEYNOTES:

INDICATES PLAN NOTE LEGEND SYMBOL - SEE LETTER BELOW.

1 METAL ROOFING: (CLASS 'A')

MANUFACTURER:

CUSTOM BILT METALS 13940 MAGNOLIA AVENUE CHINO, CA 91710

909-664-1500 PRODUCT:

STANDING SEAM METAL ROOFING, CB-150 (NON-REFLECTIVE)

COLOR:

USE CONTINUOUS 16" SPANS - VERIFY WITH "BUILDING DESIGNER" SIZE AND LOCATIONS OF SEAMS (NO TRANSVERSE SEAMS)

WEIGHT:APPROXIMATELY 2 PSF.

ICC # ESR-2048, CB-150

2 STUCCO SIDING:

MANUFACTURER:

OMEGA PRODUCTS INTERNATIONAL, Inc. 282 SOUTH ANITA DRIVE ORANGE, CA 92868 (714) 935-0900

3 ADHERED STONE VENEER

MANUFACTURER:

CREATIVES MINES 5840 EL CAMINO REAL #106 CARLSBAD, CA 92008 800-453-7040

APPLICATION: URBAN STRIP

COLOR: MORNINGLIGHT

WEIGHT: LESS THAN 15 LBS / SF

THICKNESS:

1.125" AVERAGE THICKNESS

STUCCO SCRATCH COAT.

CODE:
ASTM C1634.
USE MASONRY CEMENT MORTAR (COVERED BY ASTM C1329) OVER

4 RAIN GUTTERS:

MATERIAL:

METAL - ALUMINUM PAINTED KYNAR

SHAPE:SQUARE 5" - VERIFY WITH INTERIOR DESIGN TEAM.

5 FLASHING & WEATHER STRIPPING:

PROVIDE MINIMUM 24 GAUGE METAL (16 oz.) SHEETING (TO MATCH) FOR ALL EXTERIOR FLASHING & WEATHER STRIPPING APPLICATIONS. VERIFY WITH BUILDING DESIGNER ANY UNCONVENTIONAL ENVELOPE WATERPROOFING AREAS PRIOR TO INSTALLATION.

6 METAL CHIMNEY SHROUD:

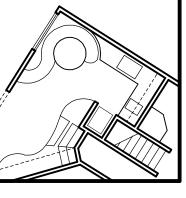
MANUFACTURER:

COAST SHEET METAL, INC. 990 WEST 17TH STREET COSTA MESA, CA 92627

949/645-2224

APPLICATION:
ALUMINUM COMPOSITE MATERIAL (ACM)

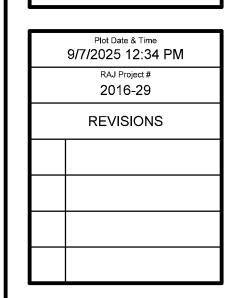
COLOR: BLACK R. A. JEHEB RESIDENTIAL 410 32nd. Street, Su Newport Beach, Call 949.723.4393 (rajeh

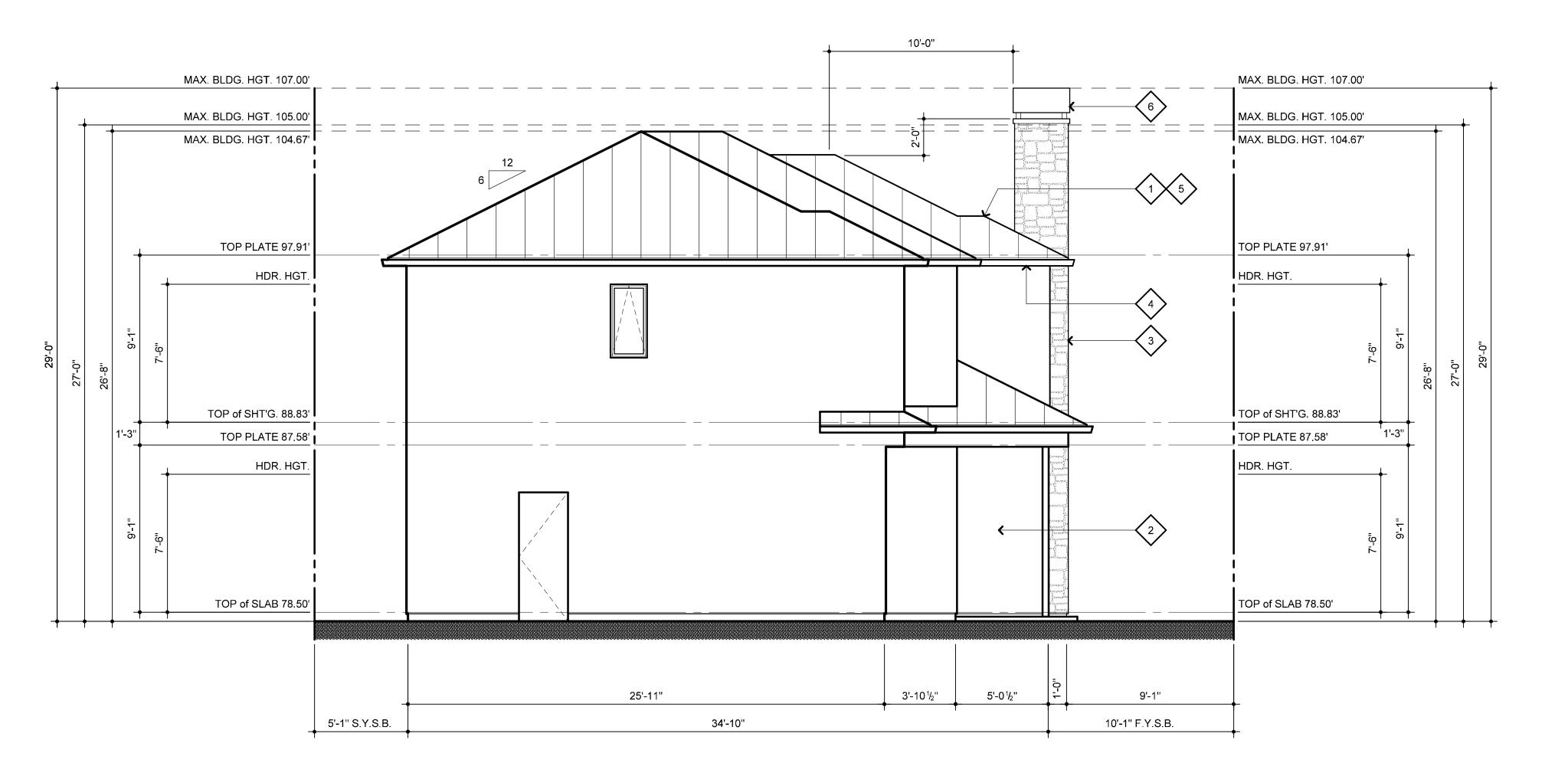


THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HERE-IN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, ARE THE PROPERTY OF R.A. JEHEBER RESIDENTIAL DESIGN, INC. AND ARE NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF "RAJ". THIS DOCUMENT IS NOT TO BE REPRODUCED AND / OR MODIFIED IN ANY WAY, NOR SHALL ANY REPRODUCTION OF THIS DOCUMENT BE MODIFIED WITHOUT THE PRIOR WRITTEN CONSENT OF R.A. JEHEBER RESIDENTIAL DESIGN, INC. THIS DOCUMENT HAS BEEN PREPARED TO DESCRIBE PROPOSED NEW WORK AND DOES NOT NECESSARILY REPRESENT AS-BUILT OR EXISTING CONDITIONS. THE DESIGNER DOES NOT WARRANT, IN ANY WAY, THE ACCURACY OF THIS INFORMATION AND SHALL NOT BE RESPONSIBLE FOR ANY DISCREPANCY BETWEEN THIS DOCUMENT AND EXISTING CONDITIONS.

TERIOR ELEVATIONS

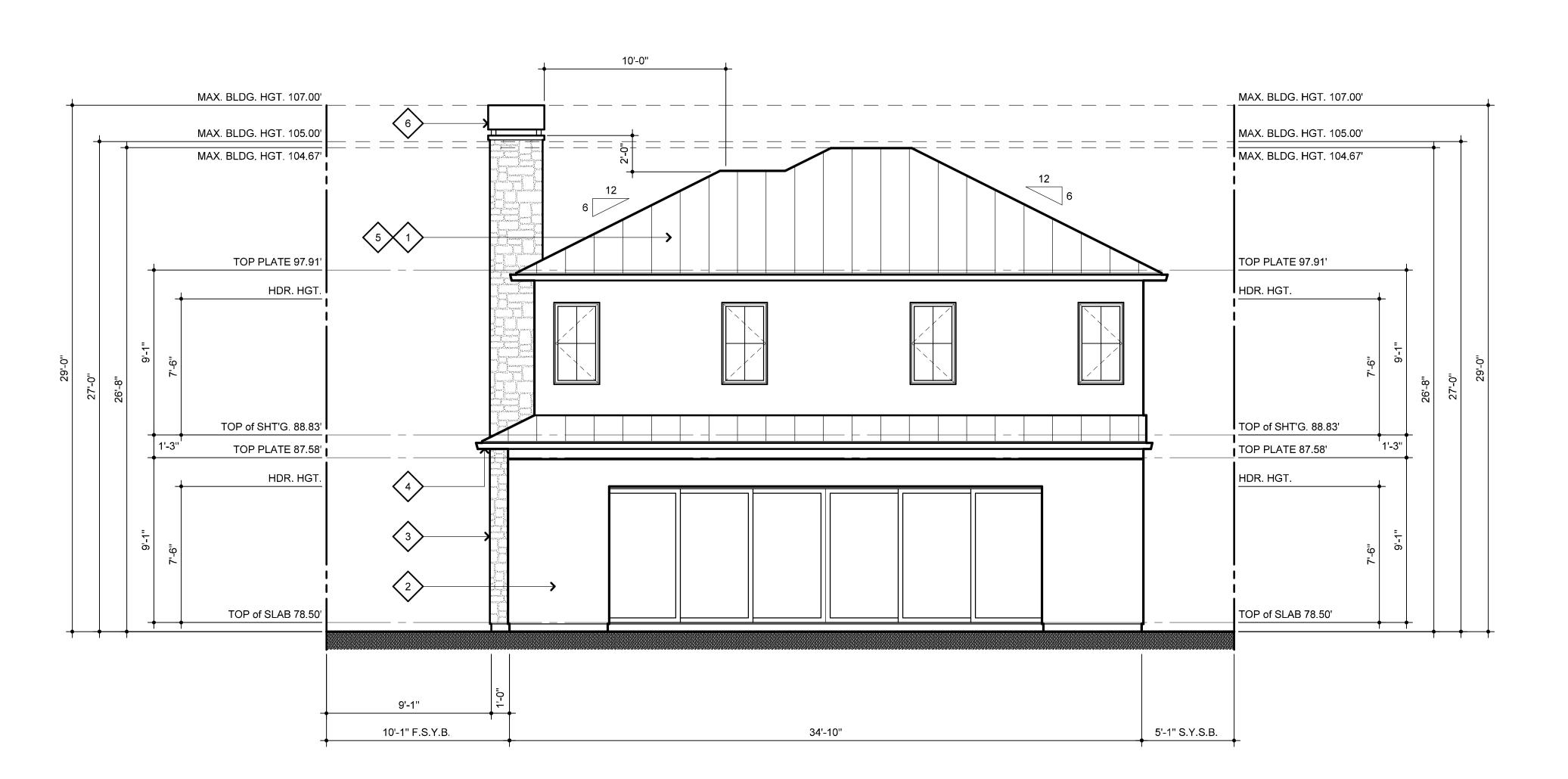
& NANCY MOOREFIELE
FAMILY TRUST
PROJECT ADDRESS:
2396 ORANGE AVENUE
COSTA MESA, CALIFORNIA





LEFT ELEVATION - UNIT 'B'

Scale: 1/4" = 1'-0"



RIGHT ELEVATION - UNIT 'B'

ELEVATION KEYNOTES:

INDICATES PLAN NOTE LEGEND SYMBOL - SEE LETTER BELOW.

1 METAL ROOFING: (CLASS 'A')

MANUFACTURER:

CUSTOM BILT METALS 13940 MAGNOLIA AVENUE

CHINO, CA 91710 909-664-1500

STANDING SEAM METAL ROOFING, CB-150 (NON-REFLECTIVE)

COLOR:

USE CONTINUOUS 16" SPANS - VERIFY WITH "BUILDING DESIGNER" SIZE AND LOCATIONS OF SEAMS (NO TRANSVERSE SEAMS)

WEIGHT:APPROXIMATELY 2 PSF.

ICC # ESR-2048, CB-150

2 STUCCO SIDING:

MANUFACTURER:

OMEGA PRODUCTS INTERNATIONAL, Inc. 282 SOUTH ANITA DRIVE ORANGE, CA 92868 (714) 935-0900

3 ADHERED STONE VENEER

MANUFACTURER:

CREATIVES MINES 5840 EL CAMINO REAL #106 CARLSBAD, CA 92008 800-453-7040

APPLICATION: URBAN STRIP

COLOR: MORNINGLIGHT

WEIGHT: LESS THAN 15 LBS / SF

THICKNESS:

1.125" AVERAGE THICKNESS

CODE: ASTM C1634.

USE MASONRY CEMENT MORTAR (COVERED BY ASTM C1329) OVER STUCCO SCRATCH COAT.

4 RAIN GUTTERS:

MATERIAL:

METAL - ALUMINUM PAINTED KYNAR

SHAPE:SQUARE 5" - VERIFY WITH INTERIOR DESIGN TEAM.

SQUARE 5" - VERIFY WITH INTERIOR DESIGN TO

5 FLASHING & WEATHER STRIPPING:

PROVIDE MINIMUM 24 GAUGE METAL (16 oz.) SHEETING (TO MATCH) FOR ALL EXTERIOR FLASHING & WEATHER STRIPPING APPLICATIONS. VERIFY WITH BUILDING DESIGNER ANY UNCONVENTIONAL ENVELOPE WATERPROOFING AREAS PRIOR TO INSTALLATION.

6 METAL CHIMNEY SHROUD:

MANUFACTURER:

COAST SHEET METAL, INC. 990 WEST 17TH STREET COSTA MESA, CA 92627

APPLICATION:

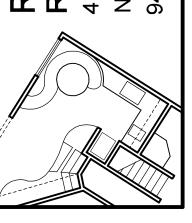
ALUMINUM COMPOSITE MATERIAL (ACM)

COLOR: BLACK

949/645-2224



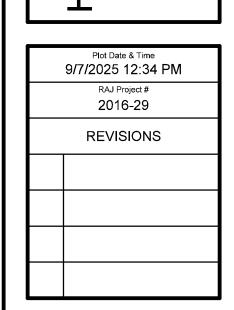
ENTIAL DESIGN, INERTEET, Suite 202
Beach, California 92663



THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HERE-IN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, ARE THE PROPERTY OF R.A. JEHEBER RESIDENTIAL DESIGN, INC. AND ARE NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF "RAJ". THIS DOCUMENT IS NOT TO BE REPRODUCED AND / OR MODIFIED IN ANY WAY, NOR SHALL ANY REPRODUCTION OF THIS DOCUMENT BE MODIFIED WITHOUT THE PRIOR WRITTEN CONSENT OF R.A. JEHEBER RESIDENTIAL DESIGN, INC. THIS DOCUMENT HAS BEEN PREPARED TO DESCRIBE PROPOSED NEW WORK AND DOES NOT NECESSARILY REPRESENT AS-BUILT OR EXISTING CONDITIONS. THE DESIGNER DOES NOT WARRANT, IN ANY WAY, THE ACCURACY OF THIS INFORMATION AND SHALL NOT BE RESPONSIBLE FOR ANY DISCREPANCY BETWEEN THIS DOCUMENT AND EXISTING CONDITIONS.

TERIOR ELEVATIONS

& NANCY MOOREFIELI
FAMILY TRUST
PROJECT ADDRESS:
2396 ORANGE AVENUE
COSTA MESA, CALIFORNIA



ORANGE AVE. ELEVATIONS - UNIT 'A' & 'B'



OPPOSITE ORANGE AVE. ELEV - UNIT 'A' & 'B'



CORNER SANTA ISABEL AVE. & ORANGE AVE.



ORANGE AVE. ELEVATIONS - UNIT 'A' & 'B'



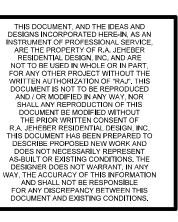
SANTA ISABEL AVE. - FRONT ELEVATION - UNIT 'A'



REAR ELEVATION - UNIT 'B'

R. A. JEHEBER RESIDENTIAL DESIGN, INC 410 32nd. Street, Suite 202 Newport Beach, California 92663 949.723.4393 (rajeheber@gmail.com.)





EXTERIOR ELEVATION

FAMILY TRUST

PROJECT ADDRESS:
2396 ORANGE AVENUE

