

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE GRADING-CODE OF THE COUNTY OF ORANGE AND ANY AMENDMENTS BY THE CITY OF COSTA MESA OR SPECIAL REQUIREMENTS OF THE PERMIT. A COPY OF THE GRADING CODE AND MANUAL SHALL BE RETAINED ON THE JOB SITE WHILE WORK IS IN PROGRESS.
2. GRADING SHALL NOT BE STARTED WITHOUT FIRST NOTIFYING THE CITY INSPECTOR. A PRE-GRADING MEETING ON THE SITE IS REQUIRED BEFORE START OF GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOIL ENGINEER, ENGINEERING GEOLOGIST, DISTRICT GRADING INSPECTOR AND WHEN REQUIRED THE ARCHAEOLOGIST AND PALEONTOLOGIST. THE REQUIRED INSPECTIONS FOR GRADING WILL BE EXPLAINED AT THIS MEETING.
3. ISSUANCE OF A GRADING PERMIT DOES NOT ELIMINATE THE NEED FOR PERMITS FROM OTHER AGENCIES WITH REGULATORY RESPONSIBILITIES FOR CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE WORK AUTHORIZED ON THIS PLAN.
4. THE GRADING PERMIT AND AN APPROVED COPY OF THE GRADING PLAN SHALL BE ON THE PERMITTED SITE WHILE WORK IS IN PROGRESS.
5. PRELIMINARY SOIL AND GEOLOGY REPORTS AND ALL SUBSEQUENT REPORTS AS APPROVED BY THE BUILDING DIVISION ARE CONSIDERED A PART OF THE APPROVED GRADING PLAN.
6. THE SOIL ENGINEER AND ENGINEERING GEOLOGIST SHALL PERFORM SUFFICIENT INSPECTIONS AND BE AVAILABLE DURING GRADING AND CONSTRUCTION TO VERIFY COMPLIANCE WITH THE PLANS, SPECIFICATIONS AND THE CODE WITHIN THEIR PURVIEW.
7. THE CIVIL ENGINEER SHALL BE AVAILABLE DURING GRADING TO VERIFY COMPLIANCE WITH THE PLANS, SPECIFICATIONS, CODE AND ANY SPECIAL CONDITIONS OF THE PERMIT WITHIN THEIR PURVIEW.
8. THE SOIL ENGINEER AND ENGINEERING GEOLOGIST SHALL, AFTER CLEARING AND PRIOR TO THE PLACEMENT OF FILL IN CANYONS, INSPECT EACH, CANYON FOR AREAS OF ADVERSE STABILITY AND TO DETERMINE THE PRESENCE OR ABSENCE OF SUBSURFACE WATER OR SPRING FLOW. IF NEEDED, SUB DRAINS WILL BE DESIGNED AND CONSTRUCTED PRIOR TO THE PLACEMENT OF FILL IN EACH RESPECTIVE CANYON.
9. SUB DRAIN OUTLETS SHALL BE COMPLETED AT THE BEGINNING OF THE SUB DRAIN CONSTRUCTION. THE EXACT LOCATION OF THE SUB DRAINS SHALL BE SURVEYED IN THE FIELD FOR LINE/GRADE AND SHOWN ON AS-GRADED PLANS.
11. AREAS TO RECEIVE FILL SHALL BE PROPERLY PREPARED AND APPROVED IN WRITING BY THE SOIL ENGINEER AND THE BUILDING OFFICIAL PRIOR TO PLACING FILL.
12. FILLS SHALL BE BLENCHED INTO COMPETENT MATERIAL PER PRFD STANDARD PLAN NO. 1322.
13. ALL EXISTING FILLS SHALL BE APPROVED BY THE BUILDING OFFICIAL OR REMOVED PRIOR TO PLACING ADDITIONAL FILLS.
14. FILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 90% RELATIVE COMPACTION. AGGREGATE BASE FOR ASPHALTIC AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% RELATIVE COMPACTION.
15. CUT AND FILL SLOPES SHALL BE NO STEEPER THAN 2- FOOT HORIZONTAL TO 1-FOOT VERTICAL (2:1) EXCEPT WHERE SPECIFICALLY APPROVED OTHERWISE.
16. ALL CUT SLOPES SHALL BE INVESTIGATED BOTH DURING AND AFTER GRADING BY THE ENGINEERING GEOLOGIST TO DETERMINE IF ANY SLOPE STABILITY PROBLEM EXISTS. SHOULD EXCAVATION DISCLOSE ANY GEOLOGICAL HAZARDS OR POTENTIAL GEOLOGICAL HAZARDS, THE ENGINEERING GEOLOGIST SHALL SUBMIT RECOMMENDED TREATMENT TO THE BUILDING OFFICIAL FOR APPROVAL.
17. WHERE SUPPORT OR BUTTRESSING OF CUT AND NATURAL SLOPES IS DETERMINED TO BE NECESSARY BY THE ENGINEERING GEOLOGIST AND SOIL ENGINEER, THE SOIL ENGINEER SHALL SUBMIT DESIGN, LOCATIONS AND CALCULATIONS TO THE BUILDING OFFICIAL PRIOR TO CONSTRUCTION. THE ENGINEERING GEOLOGIST AND SOIL ENGINEER SHALL INSPECT AND CONTROL THE CONSTRUCTION OF THE BUTTRESSING AND CERTIFY TO THE STABILITY OF THE SLOPE AND ADJACENT STRUCTURES UPON COMPLETION.
18. WHEN CUT PADS ARE BROUGHT TO NEAR GRADE, THE ENGINEERING GEOLOGIST SHALL DETERMINE IF THE BEDROCK IS EXTENSIVELY FRACTURED OR FAULTED AND WILL READILY TRANSMIT WATER. IF CONSIDERED NECESSARY BY THE ENGINEERING GEOLOGIST AND SOIL ENGINEER, A COMPACTED FILL BLANKET WILL BE PLACED.
19. ALL TRENCH BACKFILL SHALL BE TESTED AND APPROVED BY THE SOIL ENGINEER.
20. ANY EXISTING IRRIGATION LINES AND CISTERNS SHALL BE REMOVED OR CRUSHED IN PLACE AND APPROVED BY THE BUILDING OFFICIAL AND SOIL ENGINEER.
21. ANY EXISTING WATER WELLS SHALL BE ABANDONED IN COMPLIANCE WITH THE SPECIFICATIONS APPROVED BY ORANGE COUNTY, HEALTH CARE AGENCY, AND DIVISION OF ENVIRONMENTAL HEALTH.
22. ANY EXISTING CESSPOOLS AND SEPTIC TANKS SHALL BE ABANDONED IN COMPLIANCE WITH THE CALIFORNIA PLUMBING CODE.
23. STOCKPILING OF EXCESS MATERIAL SHALL BE APPROVED BY THE BUILDING OFFICIAL PRIOR TO EXCAVATION.
24. EXPORT SOIL MUST BE TRANSPORTED TO A LEGAL DUMP OR TO A PERMITTED SITE APPROVED BY THE BUILDING DIVISION.
25. THE PERMITTEE IS RESPONSIBLE FOR DUST CONTROL MEASURES.
27. THE PERMITTEE SHALL GIVE REASONABLE NOTICE TO THE OWNER OF ADJOINING LANDS AND BUILDINGS PRIOR TO BEGINNING EXCAVATIONS WHICH MAY AFFECT THE LATERAL AND SUBJACENT SUPPORT OF THE ADJOINING PROPERTY. THE NOTICE SHALL STATE THE INTENDED DEPTH OF EXCAVATION AND WHEN THE EXCAVATION WILL COMMENCE. THE ADJOINING OWNER SHALL BE ALLOWED AT LEAST 30 DAYS AND REASONABLE ACCESS. ON THE PERMITTED PROPERTY TO PROTECT HIS STRUCTURE, IF HE SO DESIRES, UNLESS OTHERWISE PROTECTED BY LAW.
28. ALL CONCRETE STRUCTURES THAT COME IN CONTACT WITH THE ON-SITE SOILS SHALL BE CONSTRUCTED WITH TYPE V CEMENT, UNLESS DEEMED UNNECESSARY BY SOLUBLE SULFATE-CONTENT TESTS CONDUCTED BY THE SOIL ENGINEER.
29. SLOPES EXCEEDING 5 FEET IN HEIGHT SHALL BE PLANTED WITH AN APPROVED PLANT MATERIAL. IN ADDITION, SLOPES EXCEEDING 15 FEET IN HEIGHT SHALL BE PROVIDED WITH, AN APPROVED IRRIGATION SYSTEM, UNLESS OTHERWISE APPROVED BY THE BUILDING OFFICIAL.
30. ALL EXISTING DRAINAGE COURSES THROUGH THIS-SITE SHALL REMAIN OPEN UNTIL FACILITIES TO HANDLE STORM WATER ARE APPROVED AND FUNCTIONAL; HOWEVER, IN ANY CASE, THE PERMITTEE SHALL BE HELD LIABLE FOR ANY DAMAGE DUE TO OBSTRUCTING NATURAL DRAINAGE PATTERNS.
31. SANITARY FACILITIES SHALL MAINTAIN ON THE SITE.
32. THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE PERMITTEE.
33. APPROVED PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS SHALL BE USED TO PROTECT ADJOINING PROPERTIES DURING GRADING.
34. GRADING OPERATIONS INCLUDING MAINTENANCE OF EQUIPMENT HUMAN OCCUPANCY SHALL BE CONDUCTED BETWEEN THE HOURS OF 7:00 A.M. AND 7 P.M. MONDAY THRU FRIDAY, SATURDAYS 9:00 A.M. THRU 6:00 P.M. PROHIBITED ALL HOURS SUNDAYS AND THE FOLLOWING FEDERAL HOLIDAYS: CHRISTMAS DAY , NEW YEARS DAY, MEMORIAL DAY ,INDEPENDENCE DAY, LABOR DAY AND THANKSGIVING DAY. CMC SEC 13-279
 - (A) ALL CONSTRUCTION VEHICLES OR EQUIPMENT, FIXED OR MOBILE, OPERATED WITHIN 1,000' OF A DWELLING SHALL BE EQUIPPED WITH PROPERLY OPERATING AND MAINTAINED MUFFLERS.
 - (C) STOCKPILING AND/OR VEHICLE STAGING AREAS SHALL BE LOCATED AS FAR A PRACTICABLE FROM DWELLINGS AND WITHIN THE LIMITS OF GRADING PERMIT.
35. GRADING AND EXCAVATION SHALL BE HALTED DURING PERIODS OF HIGH WINDS. ACCORDING TO AQMD MEASURE F-4, HIGH WINDS ARE DEFINED AS 30 MPH OR GREATER. THIS LEVEL OCCURS ONLY UNDER UNUSUALLY EXTREME CONDITIONS, SUCH AS SANTA ANA WIND CONDITIONS.
36. ASPHALT SECTIONS MUST BE: PAVING STALLS = 3' A/C OVER 6" A/B, DRIVES 3' A/C OVER 10" (COMM.) 12" (INDUSTRIAL), OR: PRIOR TO ROUGH GRADE RELEASE FOR BUILDING PERMITS BY THE CITY INSPECTOR, THE SOIL ENGINEER SHALL SUBMIT FOR APPROVAL, PAVEMENT SECTION RECOMMENDATIONS BASED ON 'R' VALUE ANALYSIS OF THE SUB-GRADE SOILS, AND EXPECTED TRAFFIC INDICES.
37. ROOF GUTTERS SHALL BE INSTALLED TO PREVENT ROUGH DRAINAGE FROM FALLING ON MANUFACTURED SLOPES.
38. THE CIVIL ENGINEER, AS A CONDITION OF ROUGH GRADE APPROVAL, SHALL PROVIDE A BLUE TOP WITH ACCOMPANYING WITNESS STAKE, SET AT THE CENTER OF EACH PAD REFLECTING THE PAD ELEVATION FOR PRECISE PERMITS AND A BLUE TOP WITH WITNESS STAKE SET AT THE DRAINAGE SHALE HIGH-POINT REFLECTING THE HIGH POINT ELEVATION FOR PRELIMINARY PERMITS.
39. PRIOR TO FINAL APPROVAL, THE CIVIL ENGINEER SHALL CERTIFY TO, THE BUILDING OFFICIAL THE AMOUNT OF EARTH MOVED DURING THE GRADING OPERATION
40. THE ENGINEERING GEOLOGIST SHALL PERFORM PERIODIC INSPECTIONS AND SUBMIT A COMPLETE REPORT AND MAP UPON COMPLETION OF THE ROUGH GRADING.
41. THE GRADING CONTRACTOR SHALL SUBMIT A STATEMENT OF COMPLIANCE TO THE APPROVED GRADING PLAN PRIOR TO FINAL APPROVAL.
42. THE COMPACTION REPORT AND APPROVAL FROM THE SOIL ENGINEER SHALL INDICATE THE TYPE OF FIELD TESTING PERFORMED. THE METHOD OF OBTAINING THE IN-PLACE DENSITY SHALL BE IDENTIFIED WHETHER SAND CONE, DRIVE RING, OR NUCLEAR, AND SHALL BE NOTED FOR EACH TEST. SUFFICIENT MAXIMUM DENSITY DETERMINATIONS SHALL BE PERFORMED TO VERIFY THE ACCURACY OF THE MAXIMUM DENSITY CURVES USED BY THE FIELD TECHNICIAN.
43. IN THE EVENT THAT SOIL CONTAMINATION IS DISCOVERED DURING EXCAVATION AND REMOVAL OF AN EXISTING TANK, WORK SHALL BE STOPPED UNTIL A SITE ASSESSMENT AND MITIGATION PLAN HAS BEEN PREPARED, SUBMITTED AND APPROVED BY HCA/ENVIRONMENTAL HEALTH AND PSDO/GRADING.

A detailed architectural site plan of the Santa Isabel Building. The building is a long, narrow structure with a semi-circular end on the right side. It is situated between Orange Ave. (running diagonally from the top left to the bottom right) and Santa Isabel Ave. (running diagonally from the top right to the bottom left). The building's footprint is outlined with a thick dashed line. The interior of the building is divided into several rooms, some of which are shaded with different patterns (dots, horizontal lines, vertical lines) to indicate specific areas. A callout line points to a specific area within the building, labeled "AREA OF WORK SEE SHEET C03". There are also two rectangular areas outside the building, one at the bottom left and one at the bottom right, both outlined with a dashed line. The plan includes various architectural details such as windows, doors, and interior partitions.

C01 - TITLE SHEET
C02 - EROSION & DEMOLITION CONTROL PLAN
C03 - GRADING PLAN
C04 - UTILITY PLAN
C05 - TOPOGRAPHIC SURVEY

FLOOD ZONE: ZONE X
MAP NO.: 06059C0269K

THE BASIS OF BEARINGS FOR THIS SURVEY THE CENTERLINE OF ORANGE STREET (FORMERLY NEWPORT), AS SHOWN ON THE TRACT MAP RECORDED IN BOOK 14, PAGES 11-12, OF MAPS, BEING NORTH 39°49'00" EAST.

DESIGNATION: CM-25-77
ELEVATION: 69.356'
DATUM: NAVD 88

DESCRIBED BY OCS 2001 - FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK
STAMPED "CM-25-77", SET IN THE WESTERLY CORNER OF A 4 FT. BY 6 FT.
CONCRETE CATCH BASIN. MONUMENT IS LOCATED IN THE NORTHERLY CORNER
OF THE INTERSECTION OF ELDEN AVENUE AND MONTE VISTA AVENUE, 21 FT.
NORTHERLY OF THE CENTERLINE OF MONTE
VISTA AND 55.5 WESTERLY OF THE CENTERLINE OF ELDEN AVENUE. MONUMENT
IS SET LEVEL WITH THE TOP OF THE CURB.

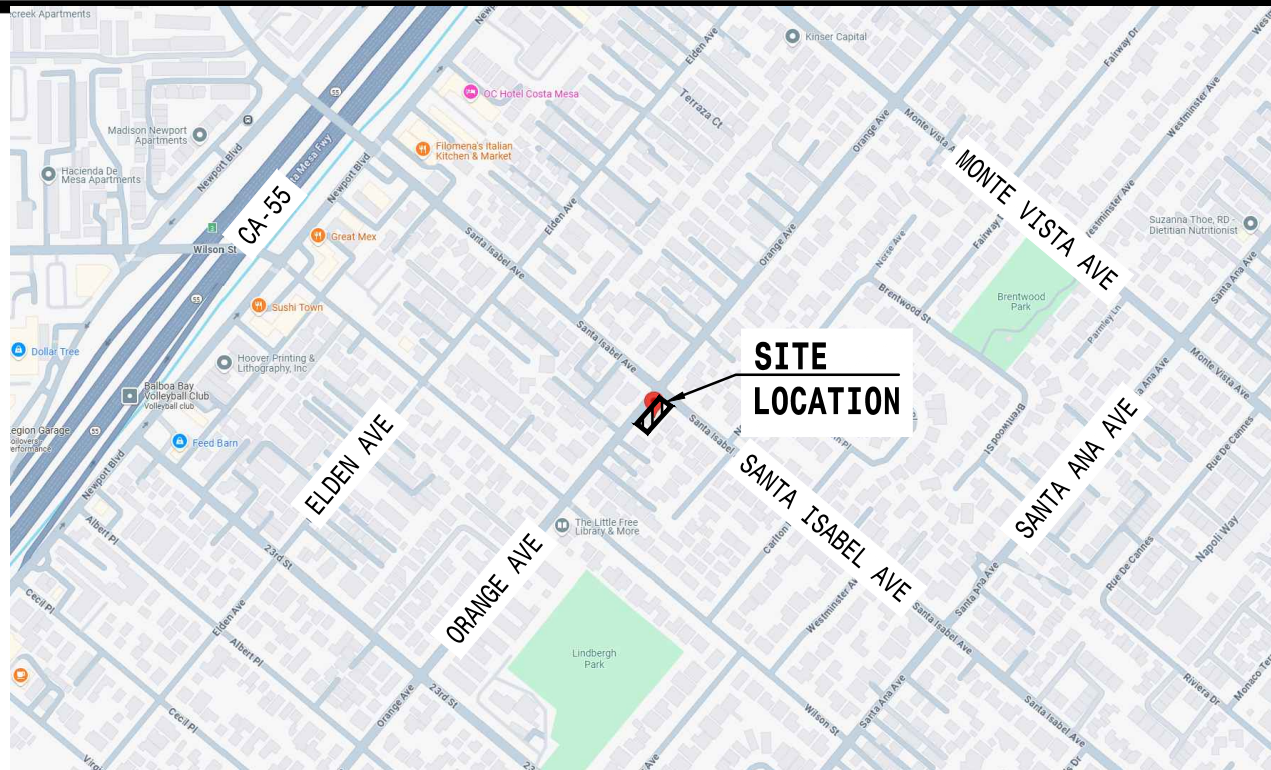
OWNER:
HAL & NANCY MOOREFIELD FAMILY TRUST
108 VIA ESCORIAL
SAN CLEMENTE, CA 92672
(310) 503-1506

PLUMP ENGINEERING, INC.
914 E. KATELLA AVE.
ANAHEIM, CA 92805
(714)385-1835

PLUMP ENGINEERING, INC.
914 E. KATELLA AVE.
ANAHEIM, CA 92805
SURVEY DEPARTMENT
(714)385-1835

RA. JEHEBER RESIDENTIAL DESIGN, INC
410 32ND STREET, SUITE 202.
NEWPORT BEACH, CA 92663
(949)322-3188

EGA CONSULTANTS, INC.
375-C MONTE VISTA AVE
COSTA MESA, CA 92627



VICINITY MAP
N.T.S.



PROJECT ADDRESS:	2396 ORANGE AVE. COSTA MESA, CA 92627
PROPERTY AREA:	7,577 SF
TOTAL IMPERVIOUS AREA:	4,844 SF
APN:	119-092-34
TOPOGRAPHY SOURCE:	PLUMP ENGINEERING INC (SURVEY TEAM)
TOPOGRAPHY DATE:	05-20-2022

SOUTHERN CALIFORNIA EDISON
SANTA ANA CA 92707
(714)895-0244

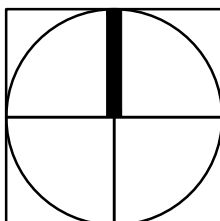
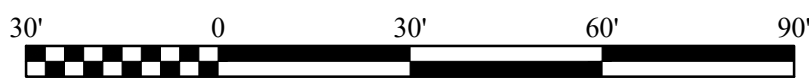
738 S HARBOR BLVD
SANTA ANA, CA 92701
(800)427-2200

1965 PLACENTIA AVE.
COSTA MESA, CA 92627
(949)631-1200

290 PAULARINO AVE.
COSTA MESA, CA 92626
(949) 645-8400

298 E 17TH ST UNIT C
COSTA MESA, CA 92627
(949)764-0021

A/C	ASPHALT PAVEMENT
BC	BUILDING CORNER
BFPV	BACK FLOW PREVENT VALVE
BW	BLOCK WALL
CB	CATCH BASIN
CBD	CONCRETE BOLLARD
C/L	CENTERLINE
CONC	CONCRETE
DDC	DOUBLE DETECTOR CHECK VALVE
DEC	DECORATIVE
DI	DROP INLET
DRN	DRAIN
E	ELECTRIC
EPB	ELECTRIC PULL BOX
EX	EXIST
FNH	FIRE HYDRANT
FHC	FENCE
FS	FINISHED SURFACE
GA	GUY ANCHOR
HC	HANDICAP
ICV	IRRIGATION CONTROL VALVE
LP	LIGHT POLE
L/S	LANDSCAPING
MH	MANHOLE
O/H	OVERHANG
PB	PULLBOX
PL	PROPERTY LINE
PS	PARKING STALL
RD	ROOF DRAIN
RET	RETAINING WALL
SCO	SEWER CLEANOUT
SMH	SEWER MANHOLE
SN	SIGN
ST LT	STREET LIGHT
SW	SIDEWALK
TE	TOP OF CURB
TE	TRASH ENCLOSURE
WFN	WOOD FENCE
WMJ	WATER METER
WV	WATER VALVE
XXX.XX	PROPOSED ELEVATION
(XXX.XX)	EXISTING ELEVATION
---	EXISTING PROPERTY LINE
---	FENCE



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DESIGNATION: CM-25-7
ELEVATION: 69.356'
DATUM: NAVD 88

DESCRIPTION:
DESCRIBED BY OCS 2001 - FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "CM-25-77", SET IN THE WESTERLY CORNER OF A 4 FT. BY 6 FT. CONCRETE CATCH BASIN. MONUMENT IS LOCATED IN THE NORTHERLY CORNER OF THE INTERSECTION OF ELDEN AVENUE AND MONTE VISTA AVENUE, 21 FT. NORTHERLY OF THE CENTERLINE OF MONTE VISTA AND 55.5 WESTERLY OF THE CENTERLINE OF ELDEN AVENUE. MONUMENT IS SET LEVEL WITH THE TOP OF THE CURB.

THE BASIS OF BEARINGS FOR THIS SURVEY THE CENTERLINE OF RESERVOIR STREET,
AS SHOWN ON THE RECORD OF SURVEY RECORDED IN BOOK 88, PAGE 47, OF
RECORDS OF SURVEY, BEING NORTH 01°29'30" WEST.

[illegible]

DATE: 9/2/2025



PLUMP ENGINEERING INC.
CONSULTING ENGINEERS IN STRUCTURAL,
MECHANICAL, PLUMBING, ELECTRICAL,
CIVIL, SURVEYING, ARCHITECTURAL

914 E. KATELLA AVENUE
ANAHEIM, CALIFORNIA 92805
(714) 385-1835, FAX (714) 385-1834



9/2/2025
DATE



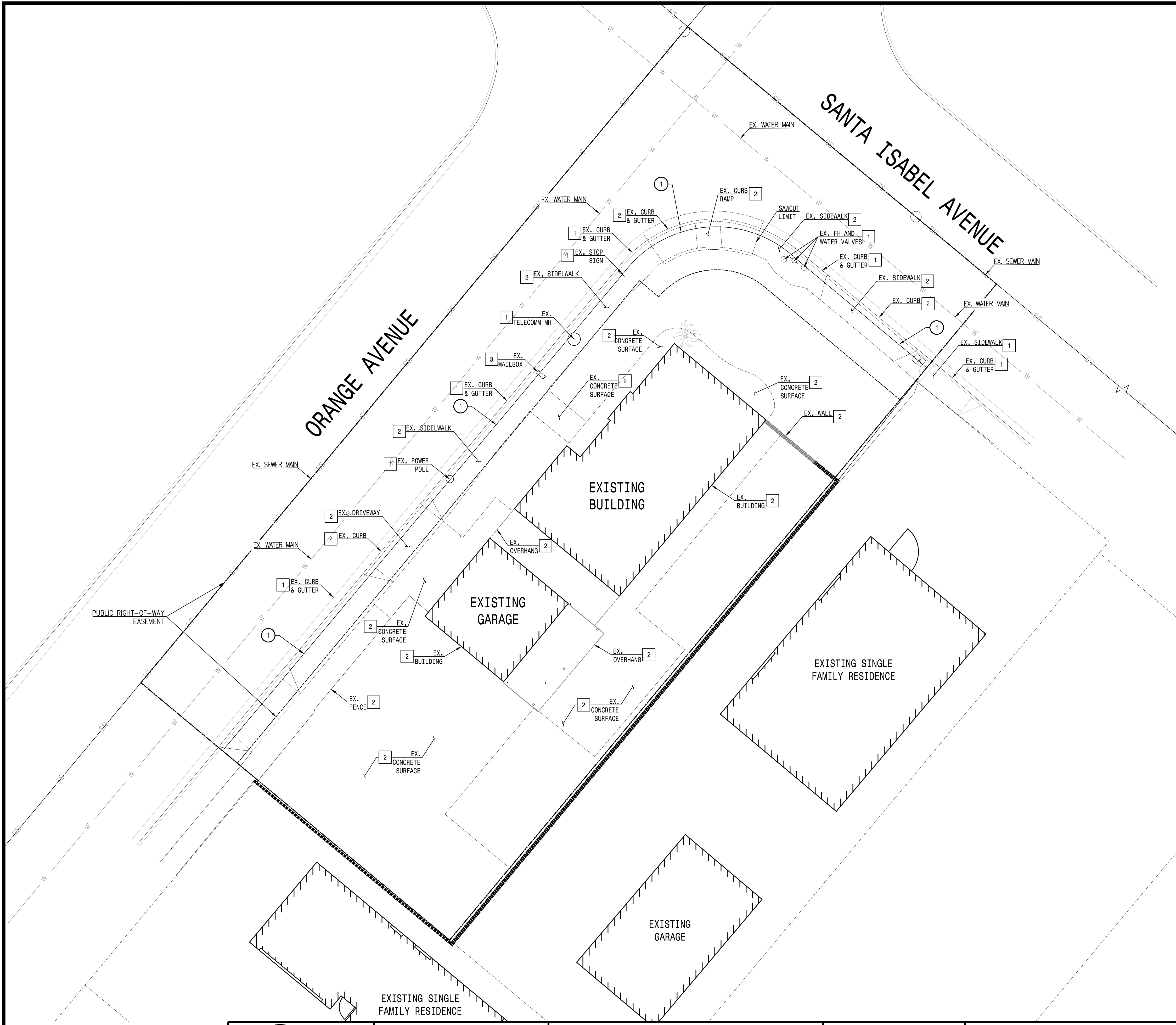
TITLE SHEET

2396 ORANGE AVE., COSTA MESA, CA 92627

C01

SHEET: 1 OF 5

PROJECT NO.
2111025



EROSION CONTROL NOTES:

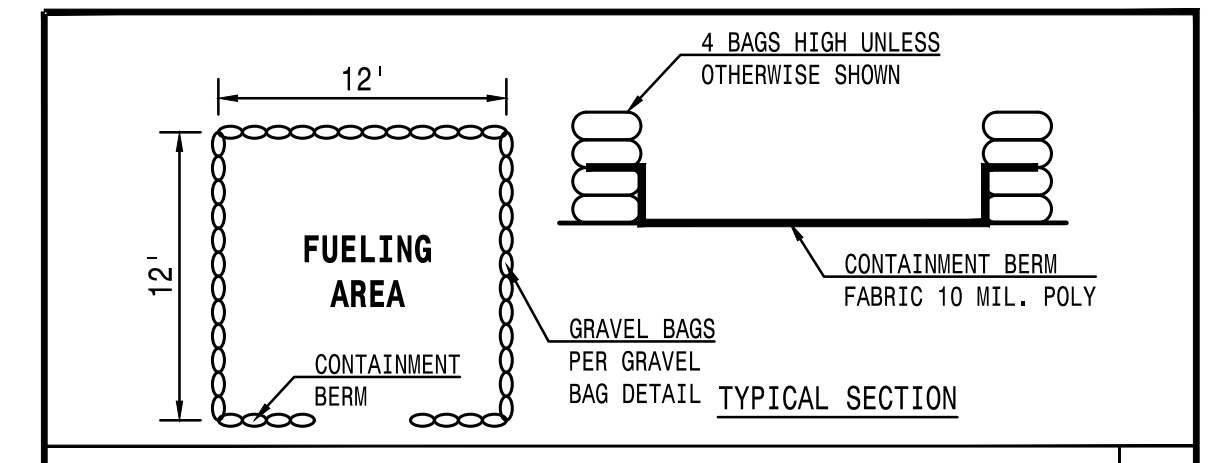
- 1 FURNISH AND INSTALL CONSTRUCTION FENCE.
- 2 CONSTRUCT FUELING AREA PER DETAIL 1 HEREON, IF REQUIRED.
- 3 CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE/EXIT (TEMPORARY CONDITION) PER DETAIL 2 HEREON AND CASQA BMP #TC-1, IF REQUIRED.
- 4 CONSTRUCT CONCRETE WASTE MANAGEMENT AREA PER DETAIL 3 HEREON, IF REQUIRED.
- 5 CONSTRUCT SANITARY/SEPTIC WASTE MANAGEMENT (WM-9) PER DETAIL HEREON.

LEGEND:

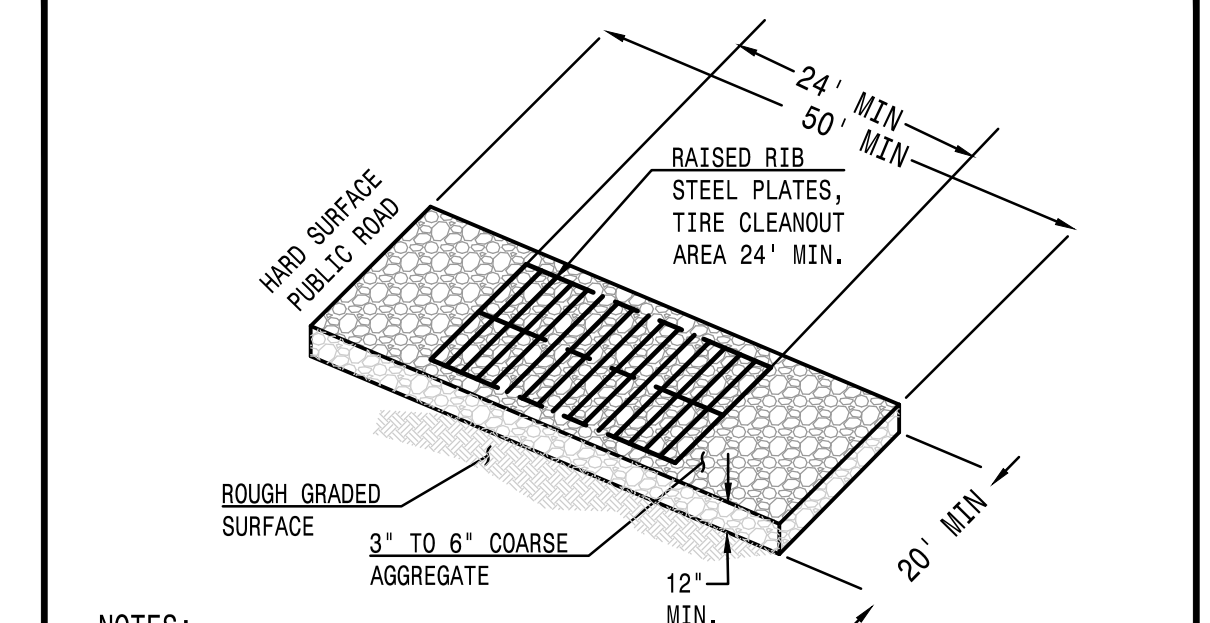
- SHEET FLOW DIRECTION
- CONSTRUCTION FENCE

DEMOLITION NOTES:

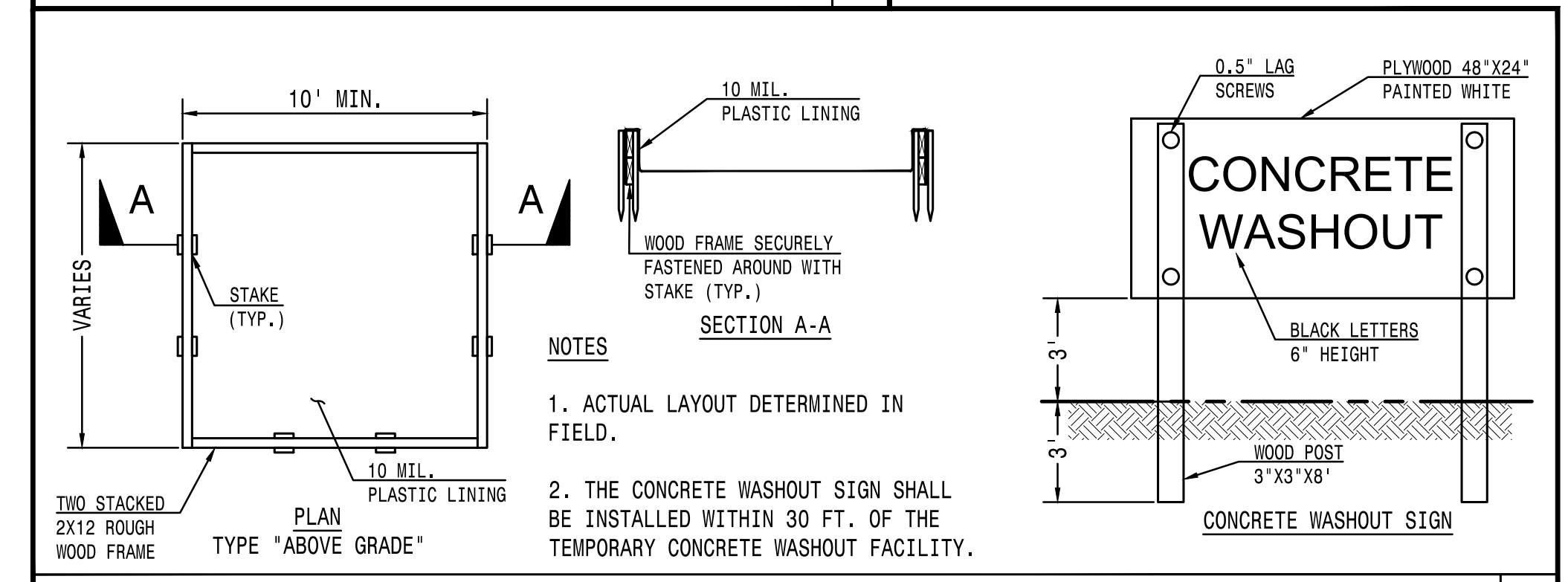
- 1 PROTECT IN PLACE.
- 2 REMOVE AND DISPOSE.
- 3 REMOVE AND RELOCATE.



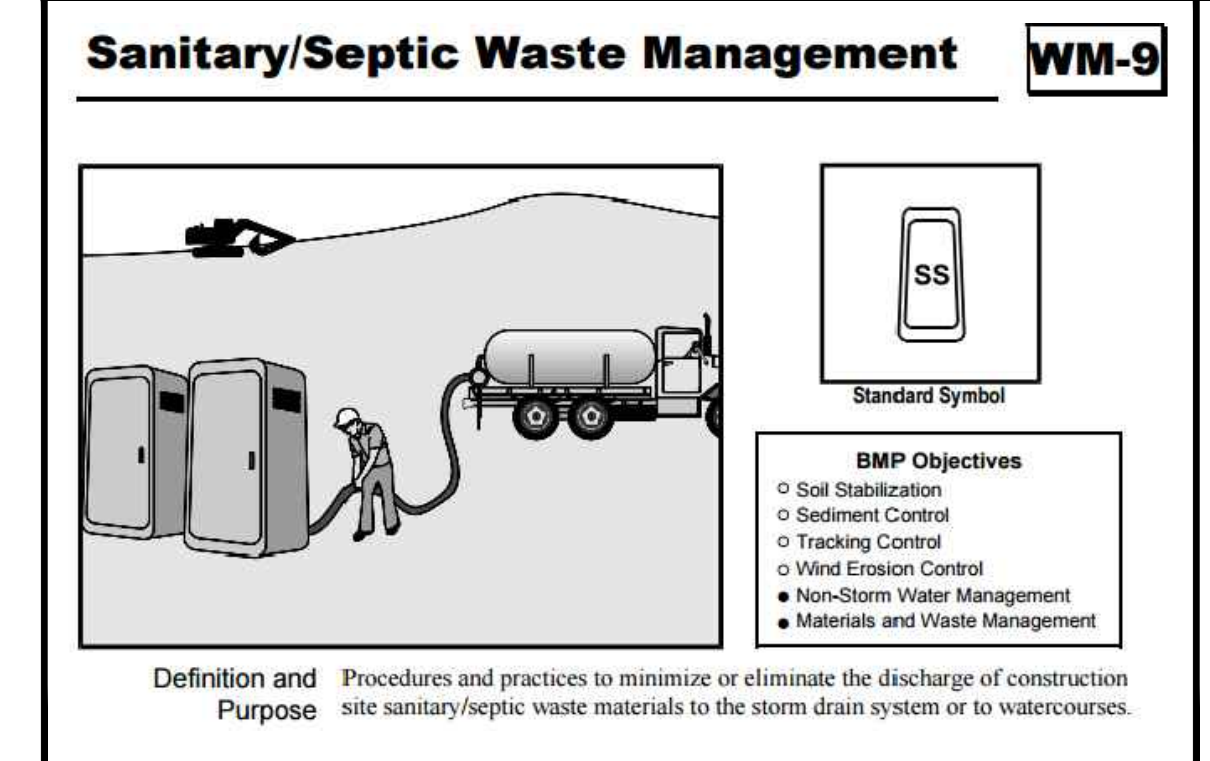
NTS FUELING AREA (TEMPORARY CONDITION) 1



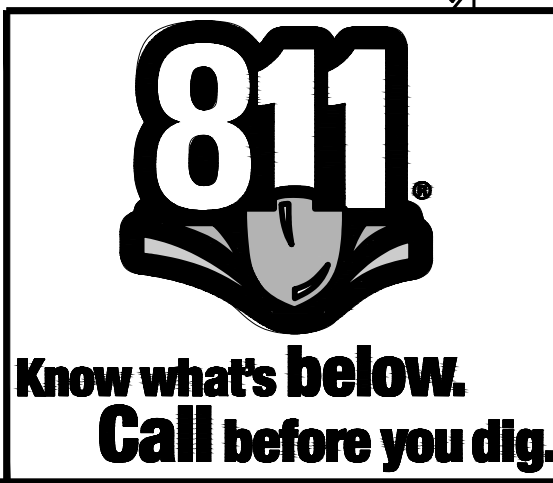
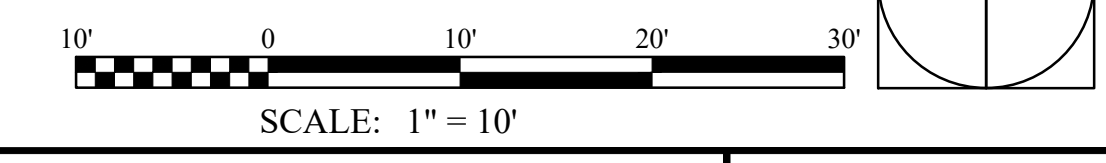
NTS STABILIZED CONST. ENTRANCE (TEMPORARY CONDITION) 2



NTS CONCRETE WASTE MANAGEMENT AREA (TEMPORARY CONDITION) 3



UTILITY LOCATION NOTE:
EXACT WATER MAIN AND SEWER MAIN LOCATIONS AND DEPTHS PER IRVINE RANCH WATER DEPARTMENT.



BENCH MARK:
ELEVATION: 94-25-77
ELEVATION: 94-25-77
DATE: NAVD 88

DESCRIPTION:
DESCRIBED BY: 02/25/2021 - FOUND 3 3/4\"/>

REVISIONS			
DATE	NO.	DESCRIPTION	BY (CHK/APP)

DESIGN BY: TT

DRAWN BY: TT/PE

CHECKED BY: TT

DATE: 9/2/2025

PLUMP ENGINEERING INC.
CONSULTING ENGINEERS IN STRUCTURAL,
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CIVIL, SURVEYING, ARCHITECTURAL

914 E. KATELLA AVENUE
ANAHEIM, CALIFORNIA 92805
(714) 385-1835, FAX (714) 385-1834

TRYFON TRYFONPOPOULOS

EROSION CONTROL & DEMO PLAN

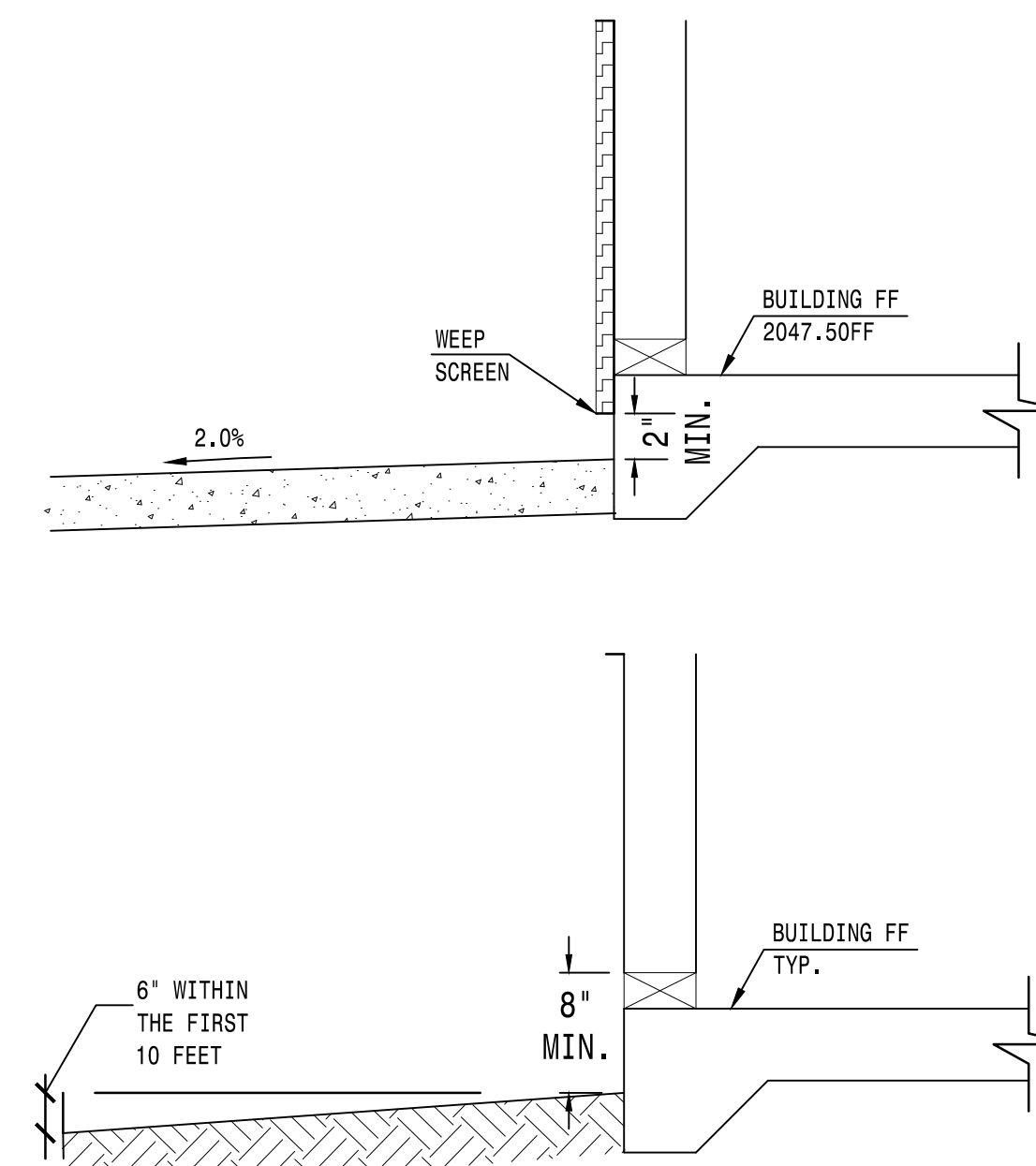
2396 ORANGE AVE., COSTA MESA, CA 92627


DRAWING NO.
C02


SHEET: 2 OF 5

PROJECT NO.
2111025

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 LANDSCAPE AREA (2,335 SF)

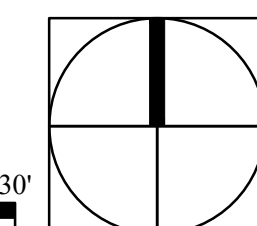
 PCC PAVEMENT (2,008 SF)

UTILITY LOCATION NOTE:
EXACT WATER MAIN AND SEWER MAIN LOCATIONS AND DEPTHS PER IRVINE RANCH WATER DEPARTMENT.

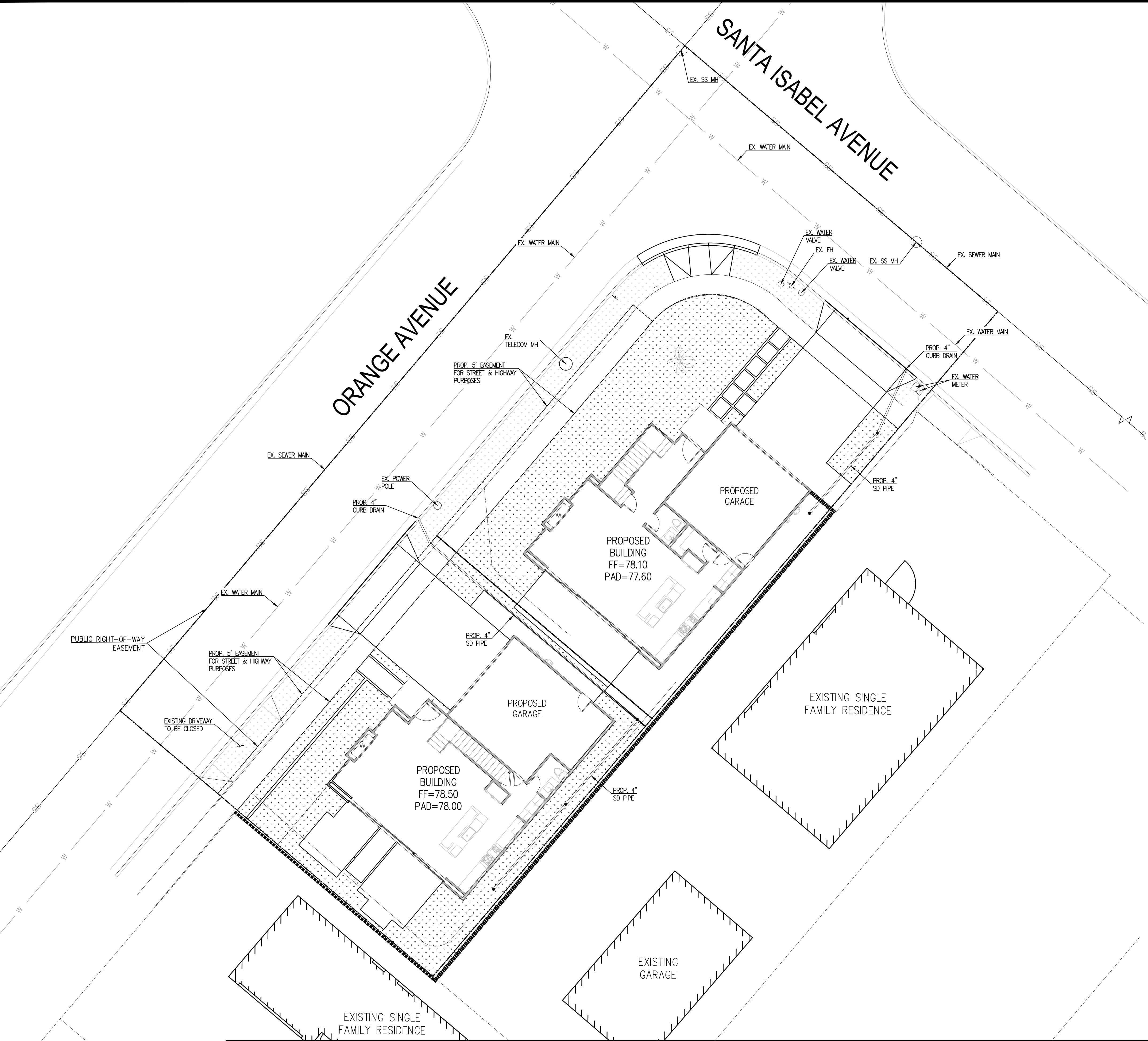
BUILDING SECTIONS SHALL FOLLOW CURRENT CBC CODE
CBC1804.3/CRCR401.3
CBC2304.11.2.2/CRCR317.1(2)
CBC2512.1.2/CRCR703.6.2.1

10' 0 10' 20' 30'

SCALE: 1" = 10'



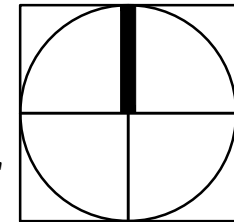
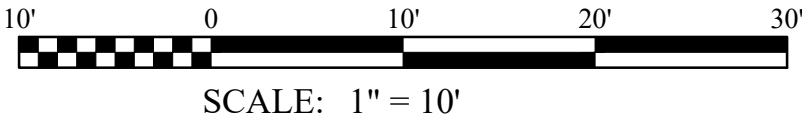
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HEREOF IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL,
INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT
THE WRITTEN PERMISSION OF PUMP ENGINEERING, INC.



NOTE

1. CONTRACTOR TO LOCATE EXISTING UTILITIES HORIZONTAL & VERTICAL LOCATION & NOTIFY OWNER/ARCHITECT & ENGINEER.
2. CONTRACTOR TO CAP EXISTING UTILITIES FOR FUTURE CONNECTION TO PROPOSED BUILDING.
3. CONTRACTOR TO REMOVE AS NEEDED EXISTING UTILITIES FROM UNDER PROPOSED BUILDING SLAB LOCATION.

UTILITY LOCATION NOTE:
EXACT WATER MAIN AND SEWER MAIN LOCATIONS AND DEPTHS PER IRVINE RANCH WATER DEPARTMENT.



BENCH MARK:
DESIGNATION: 04-25-77
ELEVATION: 69.367
DATUM: NAVD 88

DESCRIPTION:
DESCRIBED BY OCT 2001 - FOUND 3 3/4" DIS ALUMINUM BENCHMARK DISK STAMPED "04-25-77". SET IN THE WESTERN CORNER OF A 4 FT. BY 8 FT. CONCRETE GARDEN BENCH. MONUMENT IS LOCATED IN THE NORTHERLY CORNER OF THE INTERSECTION OF ELLEN AVENUE AND WHITE VISTA AVENUE, 21 FT. NORTHERLY OF THE CENTERLINE OF WHITE VISTA AND 55.5 WESTERLY OF THE CENTERLINE OF ELLEN AVENUE. MONUMENT IS SET LEVEL WITH THE TOP OF THE CURB.

BASIS OF BEARINGS:
THE BASIS OF BEARINGS FOR THIS SURVEY THE CENTERLINE OF RESERVOIR STREET, AS SHOWN ON THE RECORD OF SURVEY RECORDED IN BOOK 68, PAGE 47, OF RECORDS OF SURVEY, BEING NORTH 01°29'30" WEST.


REVISIONS			
DATE	NO.	DESCRIPTION	BY (CHK'D/APP)

DESIGN BY: TT

DRAWN BY: TT/PE

CHECKED BY: TT

DATE: 9/2/2025



PLUMP ENGINEERING INC.
CONSULTING ENGINEERS IN STRUCTURAL,
MECHANICAL, PLUMBING, ELECTRICAL,
CIVIL, SURVEYING, ARCHITECTURAL

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ANAHEIM, CALIFORNIA 92805
(714) 385-1835, FAX (714) 385-1834

TRYFON TRYFONOPOULOS
TRYFON TRYFONOPOULOS

REGISTERED PROFESSIONAL ENGINEER
TRYFON P. TRYFONOPOULOS
NO. 65859
EXP. 12/31/25
CIVIL
STATE OF CALIFORNIA

9/2/2025
DATE

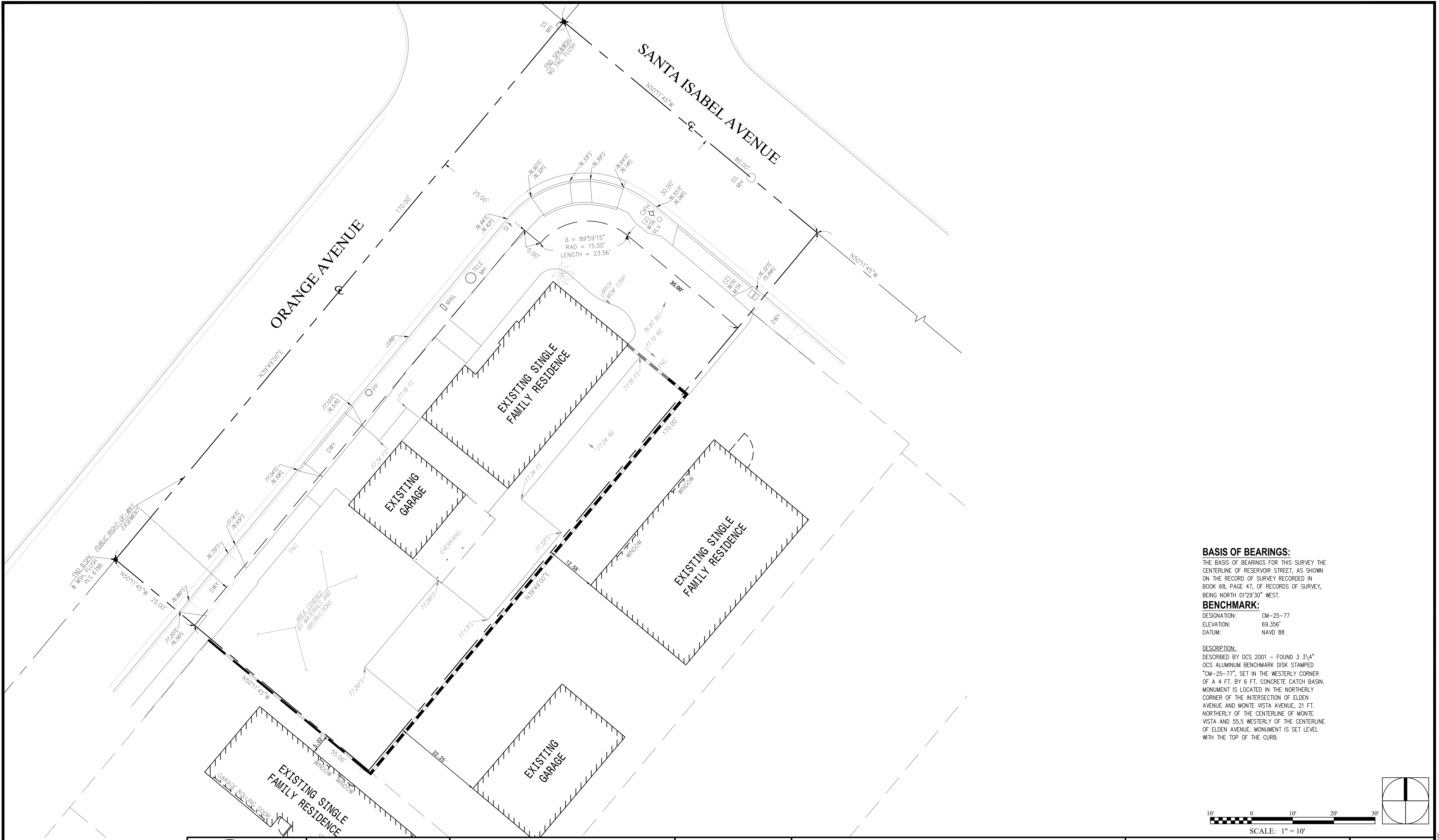
UTILITY PLAN

2396 ORANGE AVE., COSTA MESA, CA 92627

DRAWING NO.
C04

SHEET: 4 OF 5

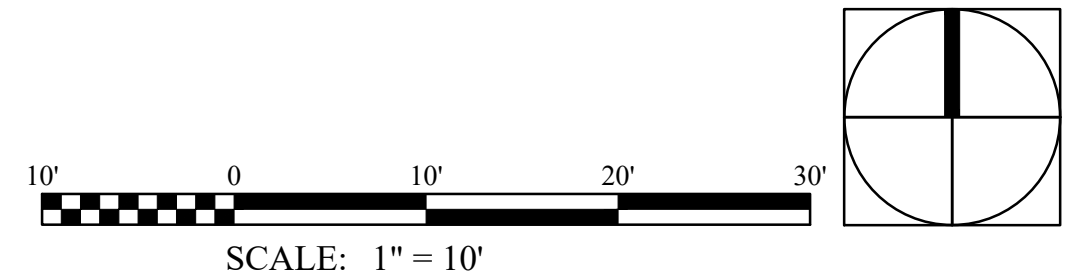
PROJECT NO.
2111025



BASIS OF BEARINGS:
THE BASIS OF BEARINGS FOR THIS SURVEY THE CENTERLINE OF RESERVOIR STREET, AS SHOWN ON THE RECORD OF SURVEY RECORDED IN BOOK 68, PAGE 47, OF RECORDS OF SURVEY, BEING NORTH 01°29'30" WEST.

BENCHMARK:
DESIGNATION: CM-25-77
ELEVATION: 69.356'
DATUM: NAVD 88

DESCRIPTION:
DESCRIBED BY OCS 2001 - FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "CM-25-77", SET IN THE WESTERLY CORNER OF A 4 FT. BY 6 FT. CONCRETE CATCH BASIN. MONUMENT IS LOCATED IN THE NORTHERLY CORNER OF THE INTERSECTION OF ELDEN AVENUE AND MONTE VISTA AVENUE, 21 FT. NORTHERLY OF THE CENTERLINE OF MONTE VISTA AND 55.5 WESTERLY OF THE CENTERLINE OF ELDEN AVENUE. MONUMENT IS SET LEVEL WITH THE TOP OF THE CURB.



BENCH MARK:
DESIGNATION: CM-25-77
ELEVATION: 69.356'
DATUM: NAVD 88

DESCRIPTION:
DESCRIBED BY OCS 2001 - FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "CM-25-77", SET IN THE WESTERLY CORNER OF A 4 FT. BY 6 FT. CONCRETE CATCH BASIN. MONUMENT IS LOCATED IN THE NORTHERLY CORNER OF THE INTERSECTION OF ELDEN AVENUE AND MONTE VISTA AVENUE, 21 FT. NORTHERLY OF THE CENTERLINE OF MONTE VISTA AND 55.5 WESTERLY OF THE CENTERLINE OF ELDEN AVENUE. MONUMENT IS SET LEVEL WITH THE TOP OF THE CURB.

BASIS OF BEARINGS:
THE BASIS OF BEARINGS FOR THIS SURVEY THE CENTERLINE OF RESERVOIR STREET, AS SHOWN ON THE RECORD OF SURVEY RECORDED IN BOOK 68, PAGE 47, OF RECORDS OF SURVEY, BEING NORTH 01°29'30" WEST.

REVISIONS			
DATE	NO.	DESCRIPTION	BY (CHK/APP)

DESIGN BY: TT

DRAWN BY: TT/PE

CHECKED BY: TT

DATE: 9/2/2025

PLUMP ENGINEERING INC.
CONSULTING ENGINEERS IN STRUCTURAL,
MECHANICAL, PLUMBING, ELECTRICAL,
CIVIL, SURVEYING, ARCHITECTURAL
914 E. KATELLA AVENUE
ANAHEIM, CALIFORNIA 92805
(714) 385-1835, FAX (714) 385-1834

TRYFON P. TRYFONPOPOULOS
REGISTERED PROFESSIONAL ENGINEER
NO. 65859
EXP. 12/31/25
CIVIL
STATE OF CALIFORNIA

DATE: 9/2/2025

TOPOGRAPHIC SURVEY

2396 ORANGE AVE., COSTA MESA, CA 92627

DRAWING NO.
C05

SHEET: 5 OF 5

PROJECT NO.
2111025

LEGAL DESCRIPTION:

THE NORTHWESTERLY 80 FEET OF THE NORTHEASTERLY 170 FEET OF THE PORTION OF LOT 108 OF TRACT NO. 300, IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 14, PAGES 11 AND 12 MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

BEGINNING AT THE POINT OF INTERSECTION OF THE EXTENDED NORTHWESTERLY LINE OF SAID LOT 108 WITH THE CENTER LINE OF SANTA ISABEL AVENUE, AS SHOWN ON SAID MAP OF TRACT NO. 300 AND RUNNING THENCE SOUTH 50°11'45"E EAST ALONG SAID CENTER LINE 330 FEET; THENCE SOUTH 39°48'45"W WEST 330 FEET; THENCE NORTH 50°11'45"W WEST 330 FEET TO A POINT IN THE NORTHWESTERLY LINE OF SAID LOT 108; THENCE NORTH 39°48'45"E EAST 330 FEET TO THE POINT OF BEGINNING.

ASSESSOR'S PARCEL NO: 119-092-34

BASIS OF BEARING:

THE BASIS OF BEARINGS FOR THIS SURVEY THE CENTERLINE OF ORANGE STREET (FORMERLY NEWPORT), AS SHOWN ON THE TRACT MAP RECORDED IN BOOK 14, PAGES 11-12, OF MAPS, BEING NORTH 39°49'00" EAST.

BENCHMARK:

DESIGNATION: CM-25-77
ELEVATION: 69.356'
DATUM: NAVD 88

DESCRIPTION:

DESCRIBED BY OCS 2001 - FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "CM-25-77", SET IN THE WESTERLY CORNER OF A 4 FT. BY 6 FT. CONCRETE CATCH BASIN. MONUMENT IS LOCATED IN THE NORTHERLY CORNER OF THE INTERSECTION OF ELDEN AVENUE AND MONTE VISTA AVENUE, 21 FT. NORTHERLY OF THE CENTERLINE OF MONTE VISTA AND 55.5 WESTERLY OF THE CENTERLINE OF ELDEN AVENUE. MONUMENT IS SET LEVEL WITH THE TOP OF THE CURB.

SCOPE OF WORK:

SUBDIVIDE OF EXISTING PRIVATE PROPERTY INTO TWO PARCELS FOR PURPOSE OF CONSTRUCTION OF NEW HOMES

EXISTING SITE IS SINGLE FAMILY RESIDENCE WITH GARAGE

EXISTING AND PROPOSED ZONING:

THE LAND IS CURRENTLY, AND SHALL REMAIN, IN THE ZONING MULTIPLY FAMILY RESIDENTIAL MEDIUM DENSITY (R2-MD)

UTILITY PROVIDERS:

WATER: MESA WATER DISTRICT
949.631.1200

ELECTRIC: SOUTHERN CALIFORNIA EDISON (SCE)
800.655.4555

GAS: SOUTHERN CALIFORNIA GAS COMPANY (SOCALGAS)
800.427.2200

CABLE: COX COMMUNICATIONS
800.234.3993
SPECTRUM
888.255.5789
AT&T
800.310.2355

ADJACENT PROPERTY INFORMATION:

SOUTHWEST PROPERTY -
APN: 119-092-26
ADDRESS: 207 SANTA ISABEL AVE, COSTA MESA, CA 92627
OWNER: ERIC BURTON / CHRISTINA BURTON
ZONING: MULTIPLY FAMILY RESIDENTIAL MEDIUM DENSITY (R2-MD)

SOUTHEAST PROPERTY -
APN: 119-092-48
ADDRESS: 2390 ORANGE AVE, COSTA MESA, CA 92627
OWNER: KHOSH MEHDI TR / KHOSH FAMILY TR
ZONING: MULTIPLY FAMILY RESIDENTIAL MEDIUM DENSITY (R2-MD)

EXISTING EASEMENTS:

PUBLIC RIGHT-OF-WAY EASEMENT OVER ORANGE AVENUE AND SANTA ISABEL AVENUE. PLOTTED HEREON.

EXISTING PARCELS

PARCEL 1

GROSS AREA: 7,580 SQ.FT..
APN: 119-092-34
USAGE: RESIDENTIAL

PROPOSED PARCELS

PARCEL 1
GROSS AREA: 4,060 SQ.FT.
NET AREA: 3,752 SQ.FT.
USAGE: RESIDENTIAL

PARCEL 2
GROSS AREA: 3,520 SQ.FT.
NET AREA: 3,200 SQ.FT.
USAGE: RESIDENTIAL

SITE INFORMATION NOTE:

SEE CIVIL PLAN SHEETS FOR INFORMATION REGARDING SITE ELEVATIONS, GRADES, CONTOURS.

TENTATIVE PARCEL MAP NO. 2025-141

IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA
BEING A PORTION OF LOT 108 OF TRACT NO. 300, IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 14, PAGES 11 AND 12 MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PROPERTY OWNER:

HAL & NANCY MOOREFIELD FAMILY TRUST
108 VIA ESCORIAL
SAN CLEMENTE, CA 92672

APPLICANT:

MOOREFIELD CONSTRUCTION
600 NORTH TUSTIN AVENUE, SUITE 210
SANTA ANA, CA 92705
714.972.0700

ARCHITECT:

R.A. JEHEBER
RESIDENTIAL DESIGN, INC
410 32ND STREET, SUITE 202
NEWPORT BEACH, CALIFORNIA 92663
949.723.4393 (RAJEHEBER@GMAIL.COM)

SURVEYOR:

PLUMP ENGINEERING, INC.
914 E KATELLA AVENUE
ANAHEIM, CA 92805
714.385.1835

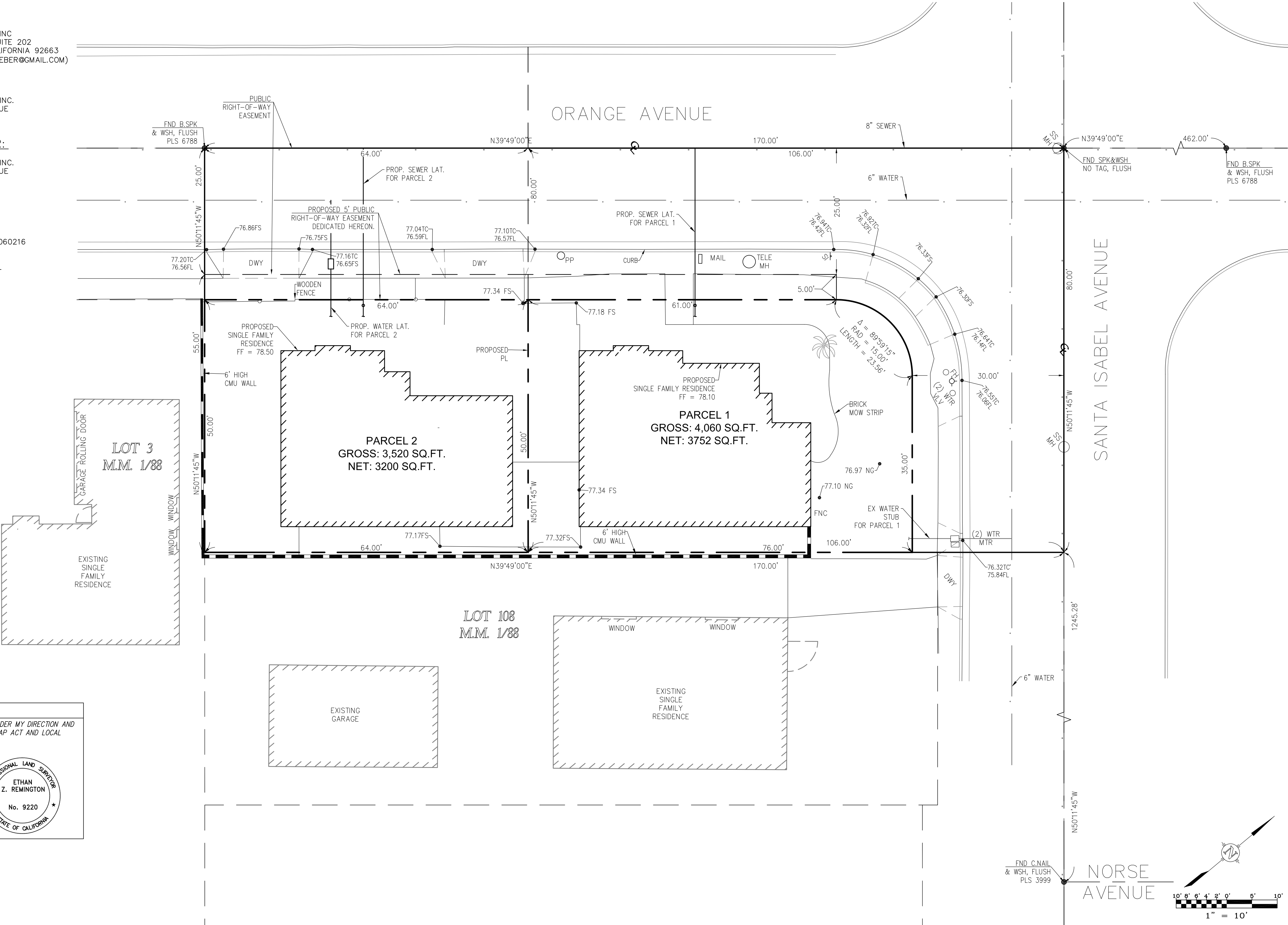
CIVIL ENGINEER:

PLUMP ENGINEERING, INC.
914 E KATELLA AVENUE
ANAHEIM, CA 92805
714.385.1835

FEMA ZONE:

FLOOD COSTA MESA
COMMUNITY NUMBER 060216
ZONE X

USAGE: RESIDENTIAL



SURVEYOR'S STATEMENT

I HEREBY STATE THAT THIS TENTATIVE MAP PREPARED BY ME OR UNDER MY DIRECTION AND IS IN CONFORMANCE WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCE AT THE REQUEST OF HAL MOOREFIELD.

Ethan Z. Remington
ETHAN Z. REMINGTON, PLS 9220
LICENSE EXPIRES 09-30-2027



REVISIONS:

PLUMP ENGINEERING, INC.
CONSULTING ENGINEERS IN STRUCTURAL,
MECHANICAL, PLUMBING, ELECTRICAL,
CIVIL, SURVEYING, AND ARCHITECTURAL
914 E. KATELLA AVENUE
ANAHEIM, CALIFORNIA 92805
(714) 385-1835 FAX (714) 385-1834

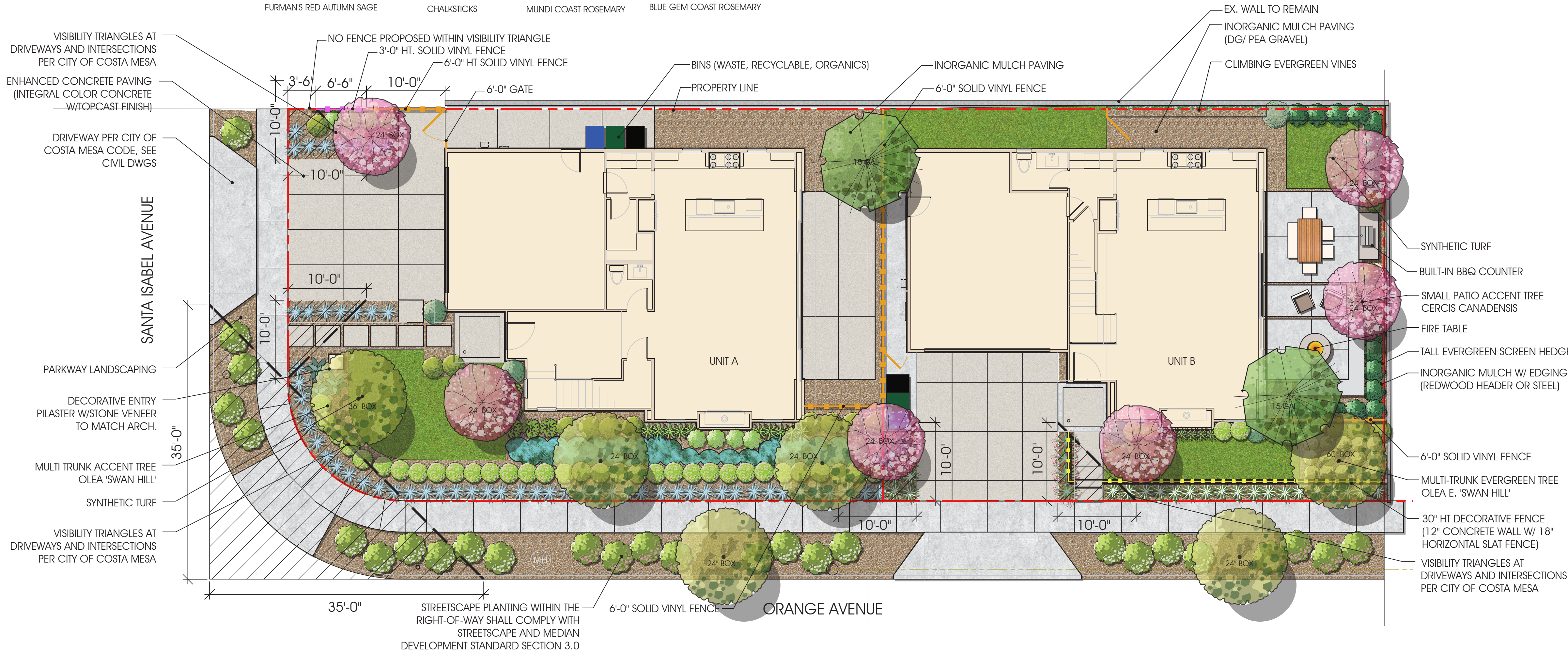


TENTATIVE PARCEL MAP 2025-141

2396 ORANGE AVENUE
COSTA MESA, CA 92627

PREPARED FOR: MOOREFIELD CONSTRUCTION

SHEET OF	1	SCALE	1" = 10'
	1	DATE:	10/13/2025
FILE NO.	2111025	DRAWN BY:	EG
		CHKD. BY:	RDF



PLANT PALETTE

Symbol	Botanical Name	Common Name	WUCOLS (Region 3)	SIZE	QTY	COMMENTS
TREES						
	Cercis canadensis 'Forest Pansy' (D)	Eastern Redbud	Low	24" Box	6	
	Lophostemon confertus (E)	Brisbane Box	Mod	15 gal.	2	
	Olea e. 'Swan Hill' (E)	Swan Hill Olive (non-fruiting)	Mod	60" box 36" box 24" box 24" box	1 1 2 2	Unit B Unit A R.O.W.
SHRUBS/ GROUNDCOVERS						
	Agave species	Agave	Low	5 gal	5	
	Cupressus 'Tiny Tower'	Tiny Tower Cypress	Low	15 gal	4	
	Dianella tasmanica 'Variegata'	Variegated Flax Lily	Mod	5 gal	14	
	Festuca mairai	Mairai Fescue	Low	1 gal	58	
	Hesperaloe parviflora	Red Yucca	Low	5 gal	8	
	Lavandula allardii 'Meerlo'	Meerlo English Lavender	Low	5 gal	14	
	Lomondra 'Breeze'	Dwarf Mat Rush	Low	5 gal	23	
	Myoporum 'Pink'	Myoporum	Low	1 gal	4	
	Olea 'Little Ollie'	Little Ollie Olive	Low	5 gal	17	
	Podocarpus 'Icee Blue'	Icee Blue Podocarpus	Low	15 gal	1	
	Prunus caroliniana 'Compacta'	Compact Cherry Laurel	Mod	5 gal	17	
	Rosa 'Flower Carpet'	Groundcover Rose	Mod	5 gal	38	
	Salvia leucantha	Mexican Bush Sage	Low	5 gal	5	
	Westringia f. 'Munda'	Mundi Coast Rosemary	Low	5 gal	19	
	Westringia 'Blue Gem'	Blue Gem Coast Rosemary	Low	5 gal	8	
	Senecio serpens	Chalksticks	Low	4" pot @ 24" O.C.		
	Synthetic Turf					
	Decorative Rock/ Cobble					

NOTES:
PLANT MATERIAL NOT LISTED MAY BE USED, SUBJECT TO APPROVAL BY THE CITY.
ALL LANDSCAPE PLANS AND INSTALLATIONS SHALL ADHERE TO CITY DESIGN GUIDELINES, CODES AND REGULATIONS.
ALL LANDSCAPE AREAS SHALL RECEIVE AUTOMATIC IRRIGATION SYSTEM.
ALL LANDSCAPE INSTALLATION SHALL BE PERMANENTLY MAINTAINED.

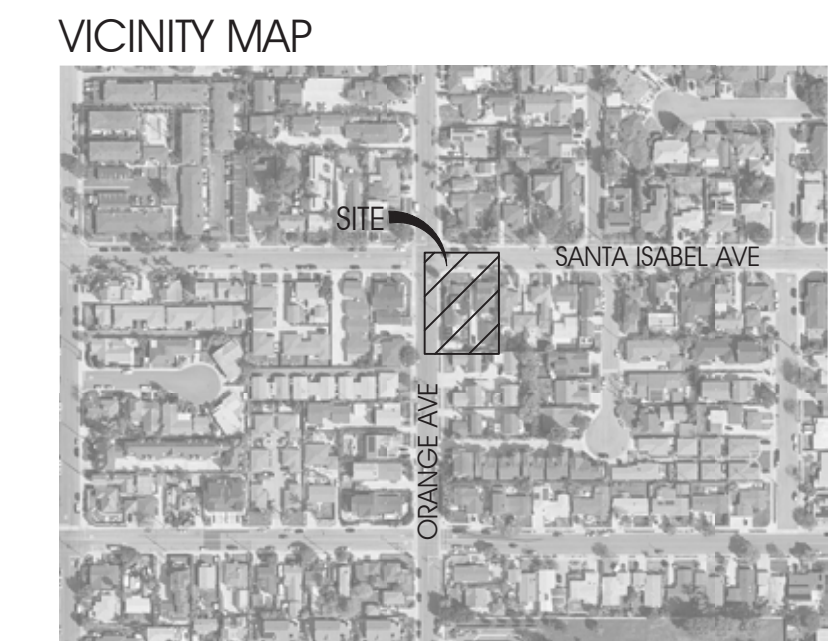


CREEPING GROUNDCOVER OR CRUSHED ROCK BETWEEN PAVING
ENHANCED CONCRETE PAVING (INTEGRAL COLOR CONCRETE W/TOPCAST FINISH)



WOOD SLAT FENCE ON LOW CONCRETE WALL - MAX HT 30"
6-0" VINYL PRIVACY FENCE

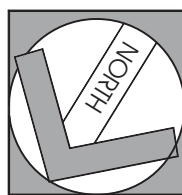
LANDSCAPE AREA TABULATION - UNIT A			LANDSCAPE AREA TABULATION - UNIT B		
GROSS SITE AREA	3,752	S.F.	GROSS SITE AREA	3200	S.F.
TOTAL LANDSCAPE AREA	1414	S.F.	TOTAL LANDSCAPE AREA	927	S.F.
PLANTING AREA	837	S.F.	PLANTING AREA	604	S.F.
TURF AREA	374	S.F.	TURF AREA	241	S.F.
MULCH PAVING	203	S.F.	MULCH PAVING	83	S.F.
TOTAL SHRUBS REQUIRED			TOTAL SHRUBS REQUIRED		
2,305 S.F. / 25 S.F.	93		1,817 S.F. / 25 S.F.	73	
5 GAL MIN (60%)	56		5 GAL MIN (60%)	44	
TOTAL SHRUBS PROVIDED	150		TOTAL SHRUBS PROVIDED	91	
5 GAL OR GREATER	72		5 GAL OR GREATER	83	
TOTAL TREES REQUIRED			TOTAL TREES REQUIRED		
1414 S.F. / 200 S.F.	7		921 S.F. / 200 S.F.	5	
TOTAL TREES PROVIDED	7		TOTAL TREES PROVIDED	5	
EVERGREEN	4		EVERGREEN	2	
DECIDUOUS	3		DECIDUOUS	3	
TOTAL TREES FOR OVERALL SITE - REQUIRED PROVIDED			12 (50% EVERGREEN REQUIRED) 12 (50% EVERGREEN PROVIDED)		



CONCEPTUAL LANDSCAPE PLAN

2396 ORANGE AVENUE
COSTA MESA, CA 92627

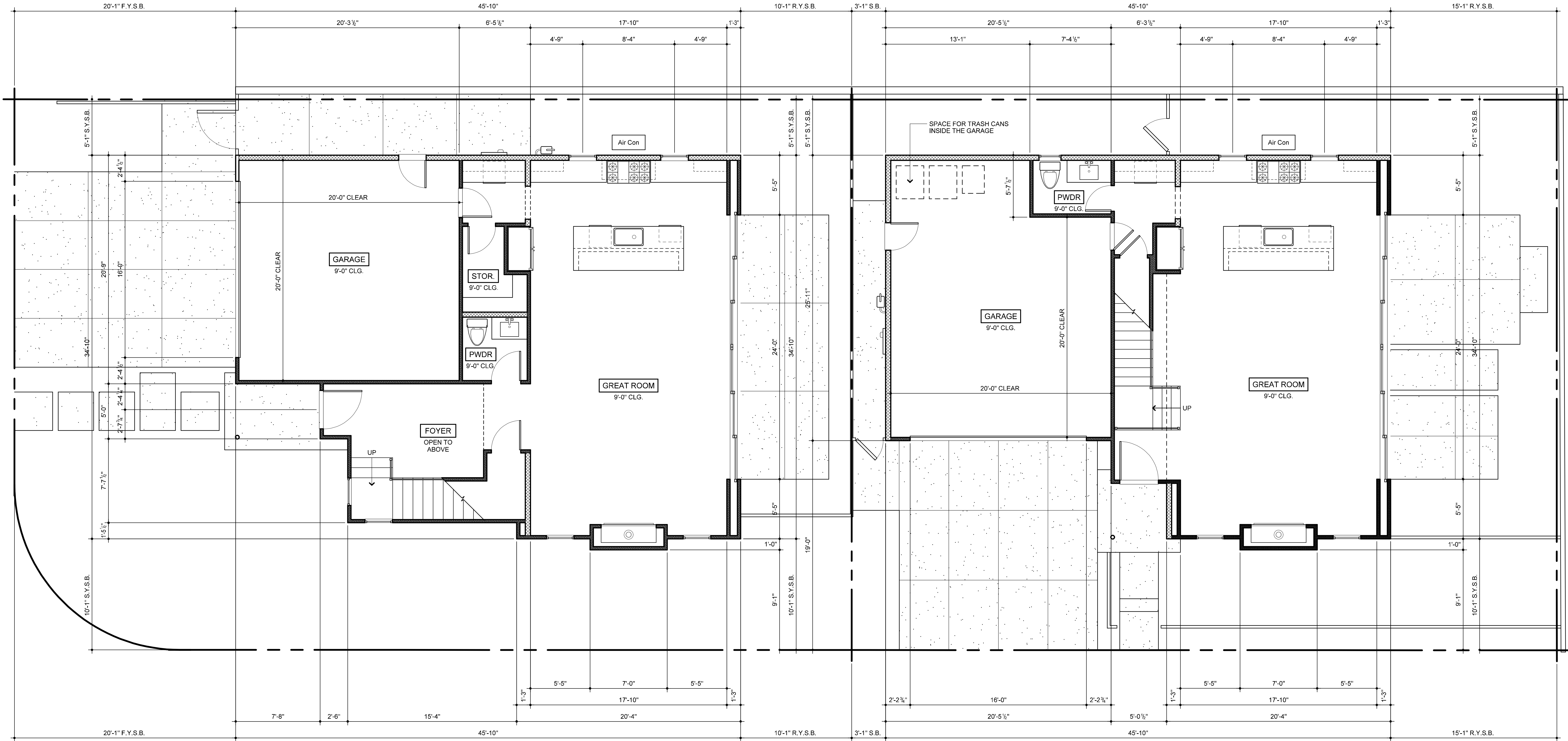
0' 4' 8' 16' 24'
SCALE: 1/8"=1'-0"
CDCP PROJECT NO. 24073



conceptual design + planning company
1675 Scenic Drive, Suite 200
Costa Mesa, CA 92626
T: 949.399.0870
www.cdpcinc.com
COSTA MESA • CENTRAL COAST • LAS VEGAS



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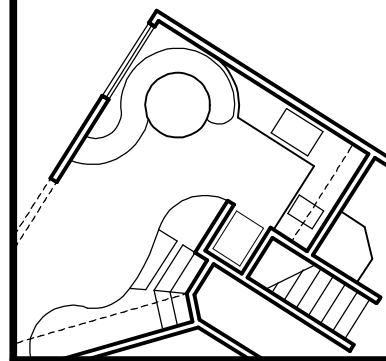


FIRST FLOOR PLAN - UNIT 'A'

Scale: 1/4" = 1'-0"

FIRST FLOOR PLAN - UNIT 'B'

Scale: 1/4" = 1'-0"



R. A. JEHEBER
RESIDENTIAL DESIGN, INC.
410 32nd. Street, Suite 202
Newport Beach, California 92663
949.723.4393 (rajeheber@gmail.com)

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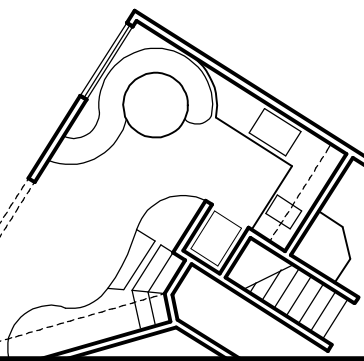
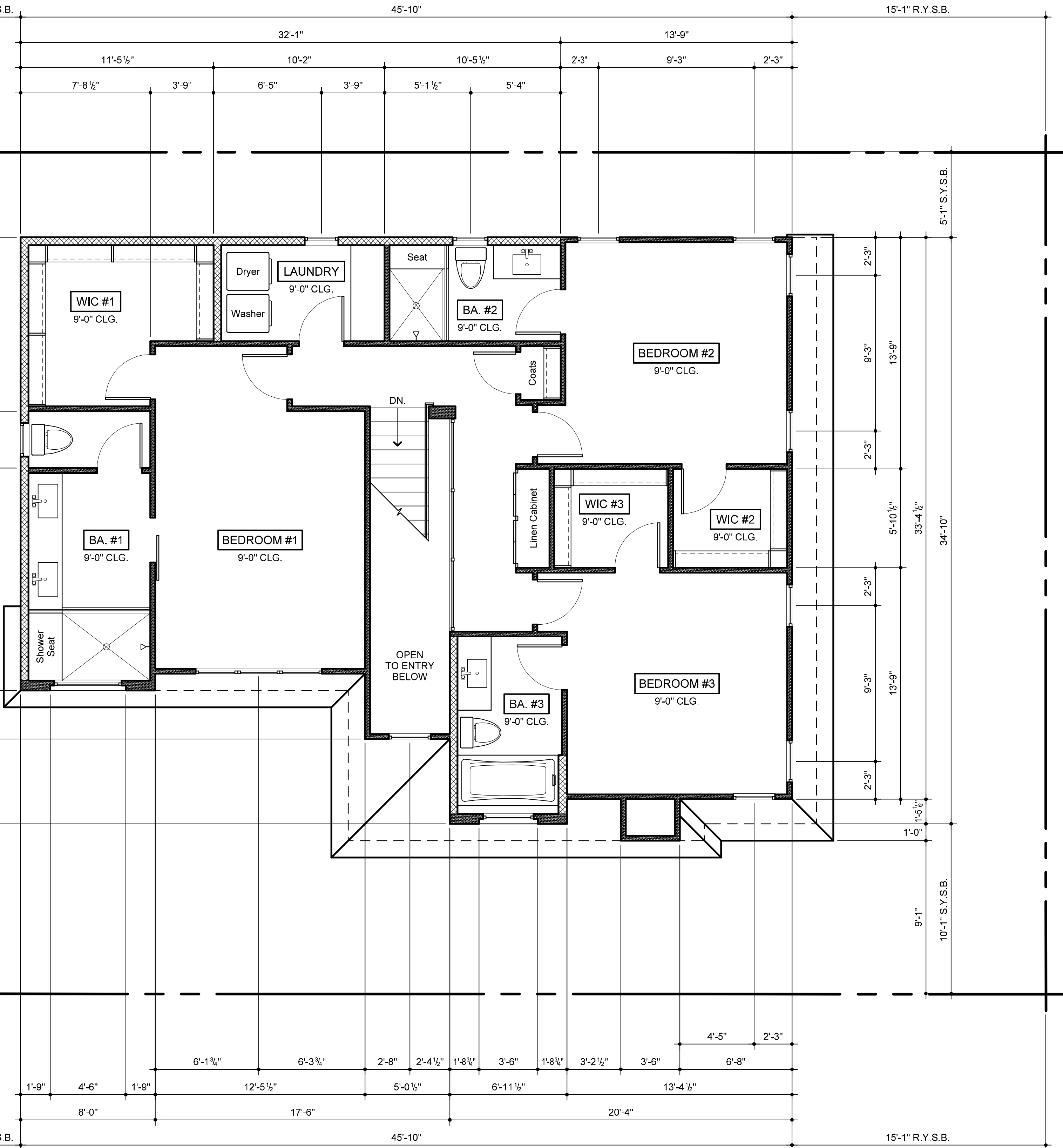
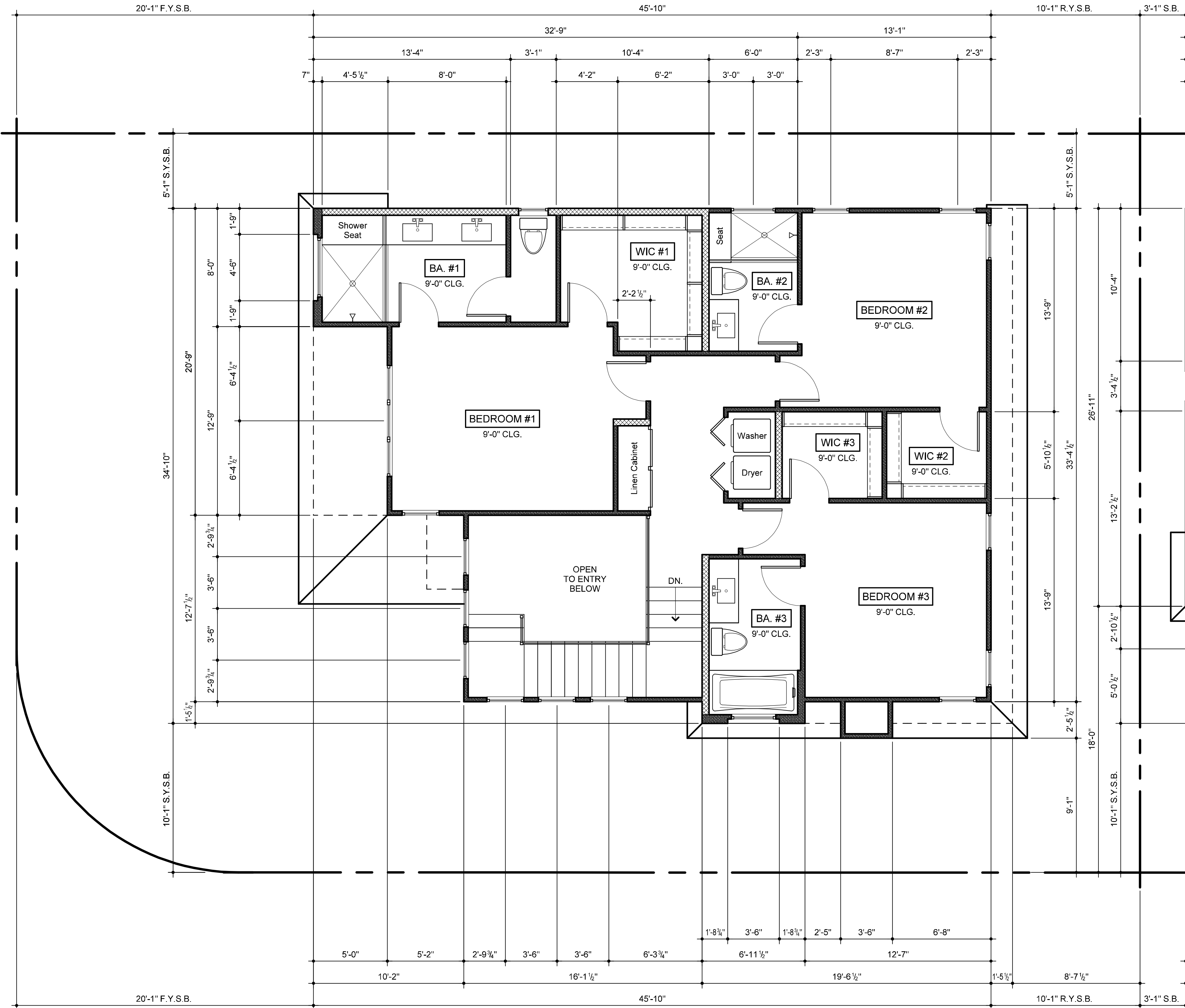
FIRST FLOOR PLANS

SMALL LOT SUBDIVISION PLANS FOR:
HAL & NANCY MOOREFIELD
FAMILY TRUST
PROJECT ADDRESS:
2396 ORANGE AVENUE
COSTA MESA, CALIFORNIA

Plot Date & Time	9/7/2025 12:34 PM
RAJ Project #	2016-29
REVISIONS	

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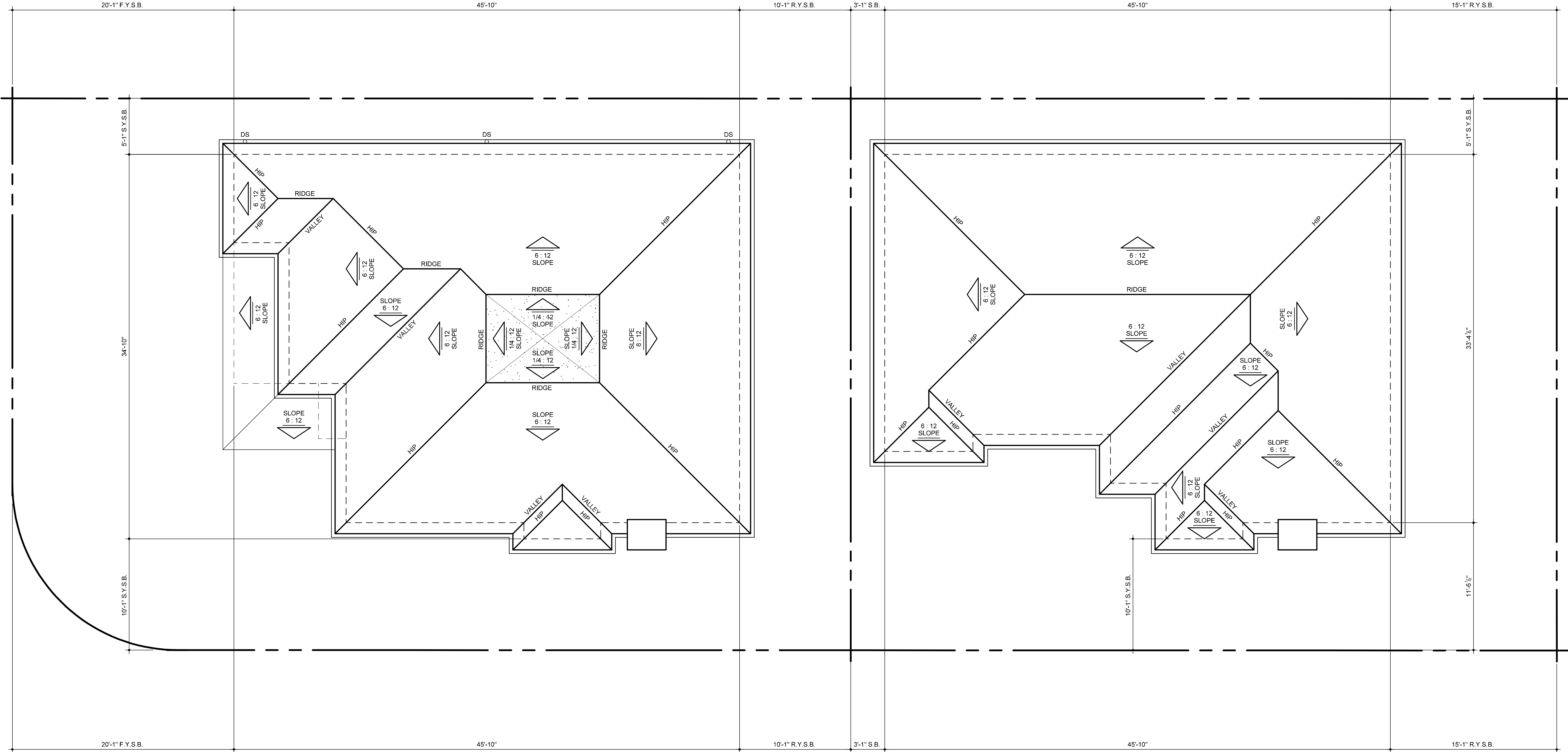
SECOND FLOOR PLAN

HAL & NANCY MOOREFIELD
FAMILY TRUST
PROJECT ADDRESS:
2396 ORANGE AVENUE
COSTA MESA, CALIFORNIA

Plat Date & Time	9/7/2025 12:34 PM
RAJ Project #	2016-29
REVISIONS	

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ROOF PLAN - UNIT 'A'

SCALE: 1/4" = 1'-0"

ROOF PLAN - UNIT 'B'

Scale: 1/4" = 1'-0"

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949.723.4393 (rajeheber@gmail.com)

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SHEET TITLE

ROOF PLAN

SMALL LOT SUBDIVISION PLANS FOR:
**HAL & NANCY MOOREFIELD
FAMILY TRUST**
PROJECT ADDRESS:
**2396 ORANGE AVENUE
COSTA MESA, CALIFORNIA**

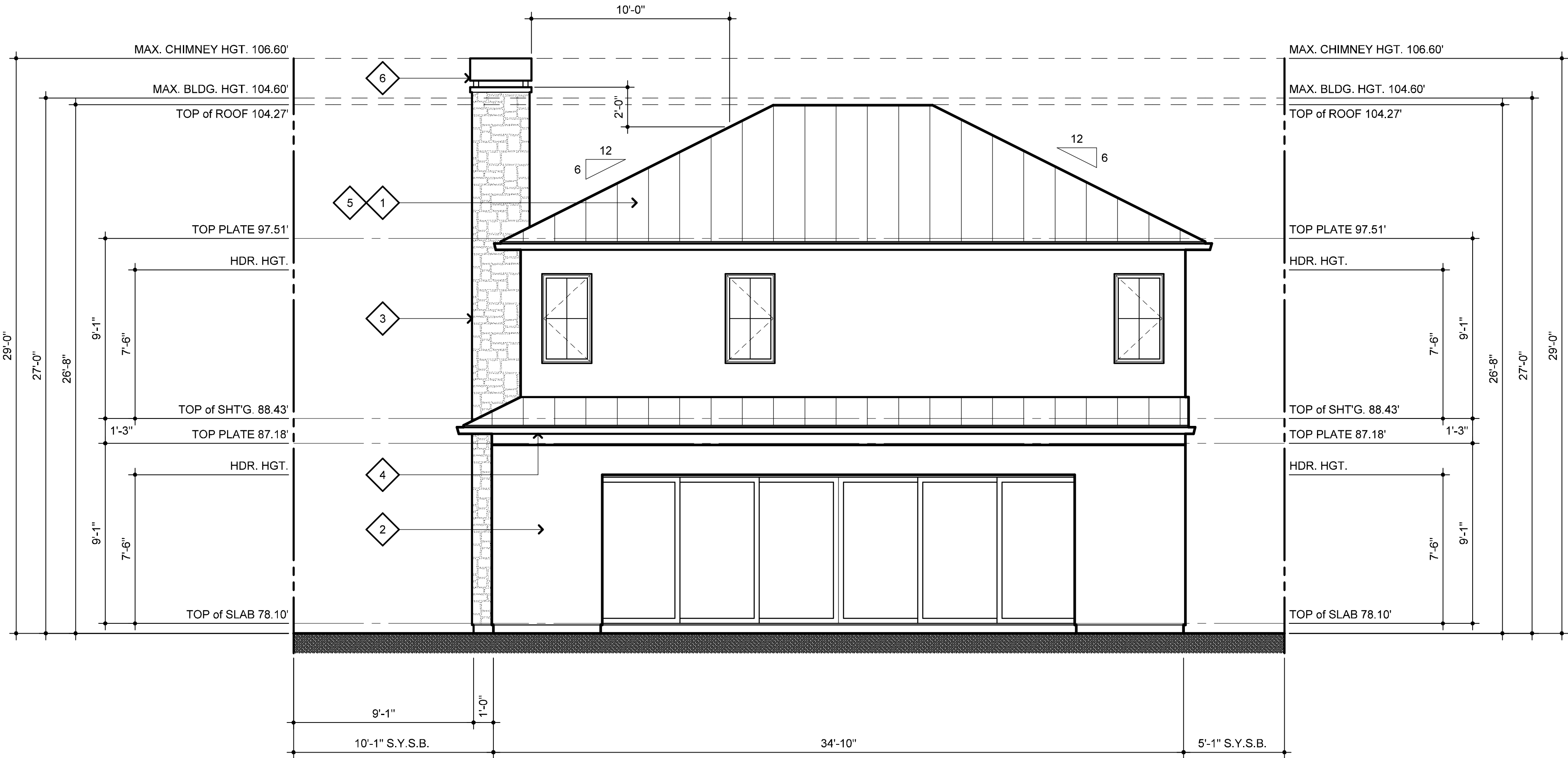
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RAJ Project #	
2016-29	
REVISIONS	

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FRONT ELEVATION - UNIT 'A' (Facing Santa Isabel Avenue) Scale: 1/4" = 1'-0"



REAR ELEVATION - UNIT 'A' (Opposite side of Santa Isabel Avenue) Scale: 1/4" = 1'-0"

ELEVATION KEYNOTES:

INDICATES PLAN NOTE LEGEND SYMBOL - SEE LETTER BELOW.

1 METAL ROOFING: (CLASS 'A')

MANUFACTURER:

CUSTOM BILT METALS
13940 MAGNOLIA AVENUE
CHINO, CA 91710
909-664-1500

PRODUCT:

STANDING SEAM METAL ROOFING, CB-150 (NON-REFLECTIVE)

COLOR:

GRAY

USE CONTINUOUS 16" SPANS - VERIFY WITH "BUILDING DESIGNER" SIZE AND LOCATIONS OF SEAMS (NO TRANSVERSE SEAMS)

WEIGHT:

APPROXIMATELY 2 PSF.

CODE:

ICC # ESR-2048, CB-150

2 STUCCO SIDING:

MANUFACTURER:

OMEGA PRODUCTS INTERNATIONAL, Inc.
262 SOUTH ANITA DRIVE
ORANGE, CA 92668
(714) 935-0900

3 ADHERED STONE VENEER

MANUFACTURER:

CREATIVES MINES
5840 EL CAMINO REAL #106
CARLSBAD, CA 92008
800-453-7040

APPLICATION:

URBAN STRIP

COLOR:

MORNINGLIGHT

WEIGHT:

LESS THAN 15 LBS / SF

THICKNESS:

1.125" AVERAGE THICKNESS

CODE:

ASTM C1634
USE MASONRY CEMENT MORTAR (COVERED BY ASTM C1329) OVER STUCCO SCRATCH COAT.

4 RAIN GUTTERS:

MATERIAL:

METAL - ALUMINUM PAINTED KYNAR

SHAPE:

SQUARE 5" - VERIFY WITH INTERIOR DESIGN TEAM.

5 FLASHING & WEATHER STRIPPING:

PROVIDE MINIMUM 24 GAUGE METAL (16 oz.) SHEETING (TO MATCH) FOR ALL EXTERIOR FLASHING & WEATHER STRIPPING APPLICATIONS. VERIFY WITH BUILDING DESIGNER ANY UNCONVENTIONAL ENVELOPE WATERPROOFING AREAS PRIOR TO INSTALLATION.

6 METAL CHIMNEY SHROUD:

MANUFACTURER:

COAST SHEET METAL, INC.
990 WEST 17TH STREET
COSTA MESA, CA 92627
949/645-2224

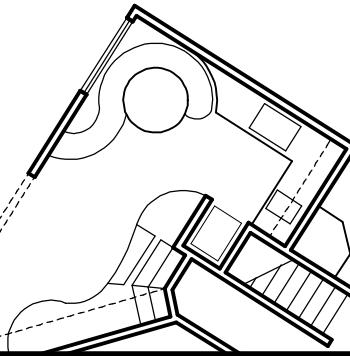
APPLICATION:

ALUMINUM COMPOSITE MATERIAL (ACM)

COLOR:

BLACK

R. A. JEHEBER
RESIDENTIAL DESIGN, INC.
410 32nd. Street, Suite 202
Newport Beach, California 92663
949.723.4393 (raj@jeheber@gmail.com)



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SHEET TITLE

EXTERIOR ELEVATIONS

SMALL LOT SUBDIVISION PLANS FOR:
HAL & NANCY MOOREFIELD
FAMILY TRUST
PROJECT ADDRESS:
2396 ORANGE AVENUE
COSTA MESA, CALIFORNIA

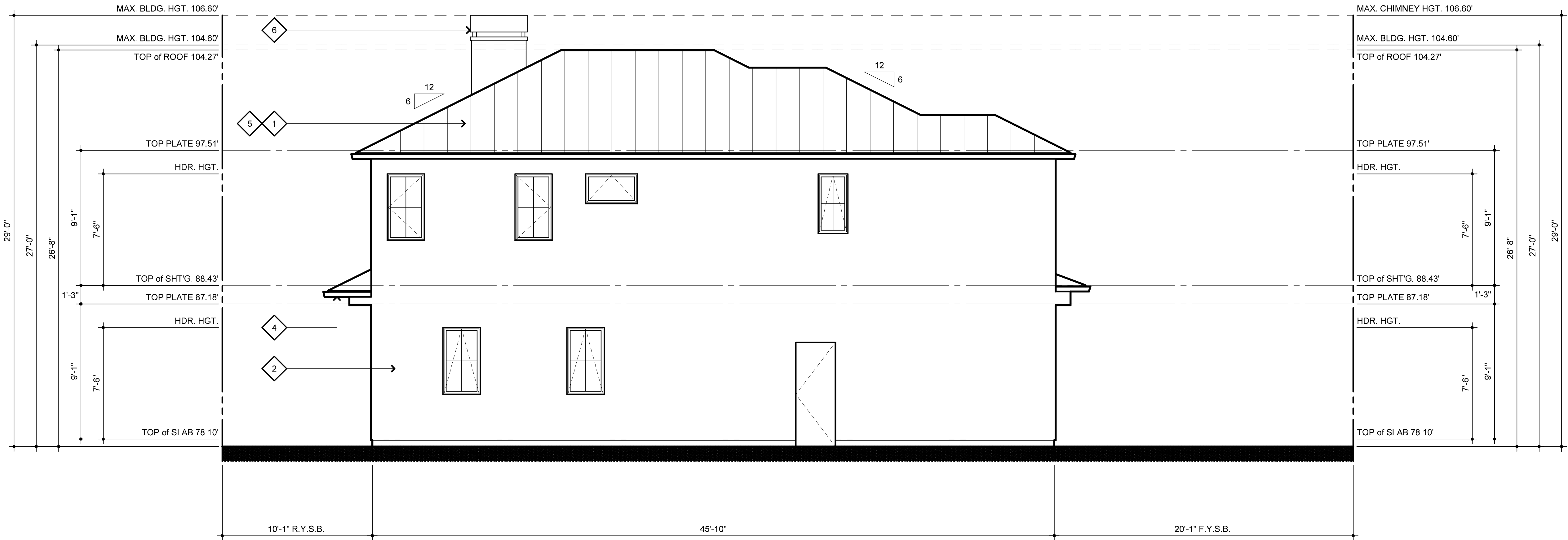
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RAJ Project # 2016-29
REVISIONS

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C:\DataCAD 23\Drawings\2016-25 2396 ORANGE AVENUE - HAL MOOREFIELD\2396 ORANGE AVE - DR-01 PC-02.aec



RIGHT ELEVATION - UNIT 'A' (Facing Orange Avenue) Scale: 1/4" = 1'-0"



LEFT ELEVATION - UNIT 'A' (Opposite side of Orange Avenue) Scale: 1/4" = 1'-0"

ELEVATION KEYNOTES:

◇ INDICATES PLAN NOTE LEGEND SYMBOL - SEE LETTER BELOW.

1 METAL ROOFING: (CLASS 'A')

MANUFACTURER:

CUSTOM BILT METALS
13940 MAGNOLIA AVENUE
CHINO, CA 91710
909-664-1500

PRODUCT:

STANDING SEAM METAL ROOFING, CB-150 (NON-REFLECTIVE)

COLOR:

GRAY

USE CONTINUOUS 16" SPANS - VERIFY WITH "BUILDING DESIGNER" SIZE AND LOCATIONS OF SEAMS (NO TRANSVERSE SEAMS)

WEIGHT:

APPROXIMATELY 2 PSF.

CODE:

ICC # ESR-2048, CB-150

2 STUCCO SIDING:

MANUFACTURER:

OMEGA PRODUCTS INTERNATIONAL, Inc.
262 SOUTH ANITA DRIVE
ORANGE, CA 92668
(714) 935-0900

3 ADHERED STONE VENEER

MANUFACTURER:

CREATIVES MINES
5840 EL CAMINO REAL #106
CARLSBAD, CA 92008
800-453-7040

APPLICATION:

URBAN STRIP

COLOR:

MORNINGLIGHT

WEIGHT:

LESS THAN 15 LBS / SF

THICKNESS:

1.125" AVERAGE THICKNESS

CODE:

ASTM C1634
USE MASONRY CEMENT MORTAR (COVERED BY ASTM C1329) OVER STUCCO SCRATCH COAT.

4 RAIN GUTTERS:

MATERIAL:

METAL - ALUMINUM PAINTED KYNAR

SHAPE:

SQUARE 5" - VERIFY WITH INTERIOR DESIGN TEAM.

5 FLASHING & WEATHER STRIPPING:

PROVIDE MINIMUM 24 GAUGE METAL (16 oz.) SHEETING (TO MATCH) FOR ALL EXTERIOR FLASHING & WEATHER STRIPPING APPLICATIONS. VERIFY WITH BUILDING DESIGNER ANY UNCONVENTIONAL ENVELOPE WATERPROOFING AREAS PRIOR TO INSTALLATION.

6 METAL CHIMNEY SHROUD:

MANUFACTURER:

COAST SHEET METAL, INC.
980 WEST 17TH STREET
COSTA MESA, CA 92627
949/645-2224

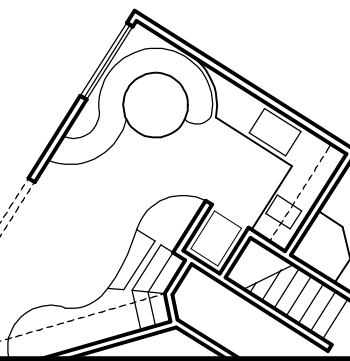
APPLICATION:

ALUMINUM COMPOSITE MATERIAL (ACM)

COLOR:

BLACK

R. A. JEHEBER
RESIDENTIAL DESIGN, INC.
410 32nd. Street, Suite 202
Newport Beach, California 92663
949.723.4393 (rajehber@gmail.com)



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SHEET TITLE

EXTERIOR ELEVATIONS

SMALL LOT SUBDIVISION PLANS FOR:
HAL & NANCY MOOREFIELD
FAMILY TRUST
PROJECT ADDRESS:
2396 ORANGE AVENUE
COSTA MESA, CALIFORNIA

Plot Date & Time

9/7/2025 12:34 PM

RAJ Project #

2016-29

REVISIONS

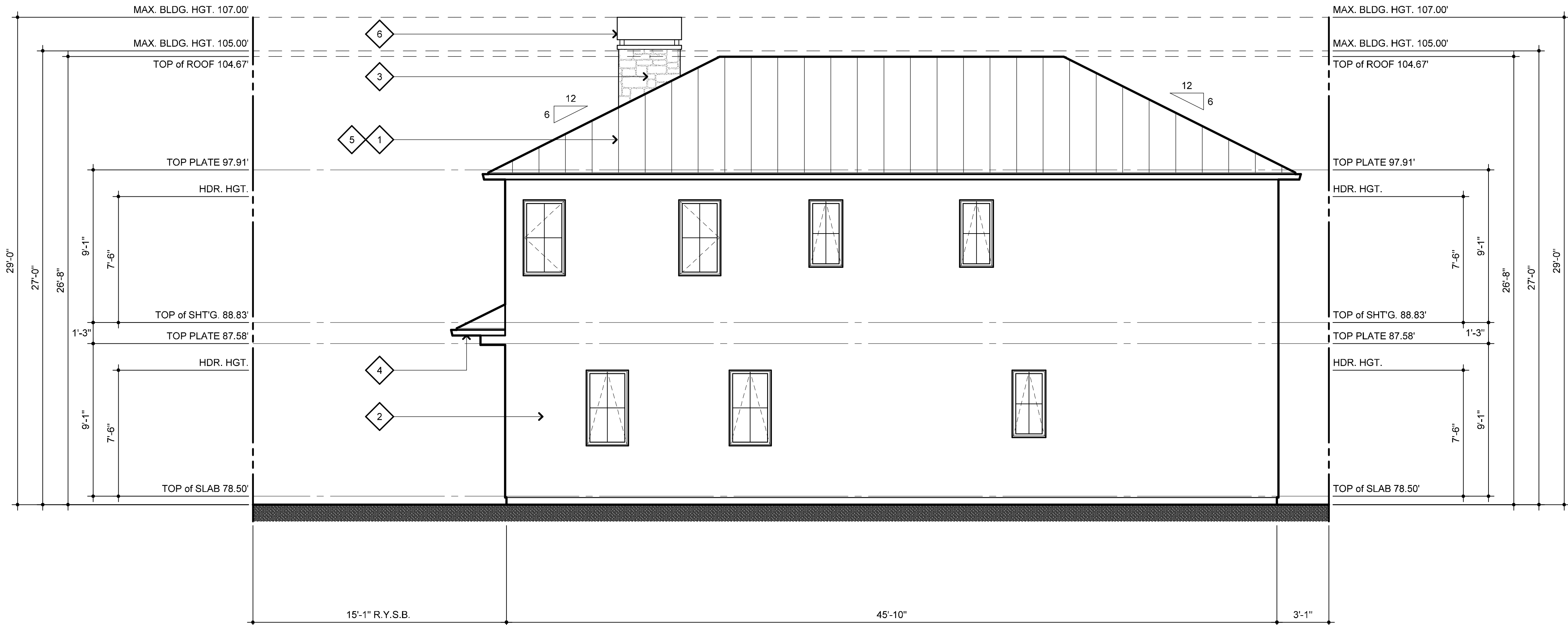
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A5.1



FRONT ELEVATION - UNIT 'B' (Facing Orange Avenue)

Scale: 1/4" = 1'-0"



REAR ELEVATION - UNIT 'B' (Opposite side of Orange Avenue)

Scale: 1/4" = 1'-0"

ELEVATION KEYNOTES:

◇ INDICATES PLAN NOTE LEGEND SYMBOL - SEE LETTER BELOW.

1 METAL ROOFING: (CLASS 'A')

MANUFACTURER:

CUSTOM BILT METALS
13940 MAGNOLIA AVENUE
CHINO, CA 91710
909-664-1500

PRODUCT:

STANDING SEAM METAL ROOFING, CB-150 (NON-REFLECTIVE)

COLOR:

GRAY

USE CONTINUOUS 16" SPANS - VERIFY WITH "BUILDING DESIGNER" SIZE AND LOCATIONS OF SEAMS (NO TRANSVERSE SEAMS)

WEIGHT:

APPROXIMATELY 2 PSF.

CODE:

ICC # ESR-2048, CB-150

2 STUCCO SIDING:

MANUFACTURER:

OMEGA PRODUCTS INTERNATIONAL, Inc.
262 SOUTH ANITA DRIVE
ORANGE, CA 92668
(714) 935-0900

3 ADHERED STONE VENEER

MANUFACTURER:

CREATIVES MINES
5840 EL CAMINO REAL #106
CARLSBAD, CA 92008
800-453-7040

APPLICATION:

URBAN STRIP

COLOR:

MORNINGLIGHT

WEIGHT:

LESS THAN 15 LBS / SF

THICKNESS:

1.125" AVERAGE THICKNESS

CODE:

ASTM C1634
USE MASONRY CEMENT MORTAR (COVERED BY ASTM C1329) OVER STUCCO SCRATCH COAT.

4 RAIN GUTTERS:

MATERIAL:

METAL - ALUMINUM PAINTED KYNAR

SHAPE:

SQUARE 5" - VERIFY WITH INTERIOR DESIGN TEAM.

5 FLASHING & WEATHER STRIPPING:

PROVIDE MINIMUM 24 GAUGE METAL (16 oz.) SHEETING (TO MATCH) FOR ALL EXTERIOR FLASHING & WEATHER STRIPPING APPLICATIONS. VERIFY WITH BUILDING DESIGNER ANY UNCONVENTIONAL ENVELOPE WATERPROOFING AREAS PRIOR TO INSTALLATION.

6 METAL CHIMNEY SHROUD:

MANUFACTURER:

COAST SHEET METAL, INC.
980 WEST 17TH STREET
COSTA MESA, CA 92627
949/645-2224

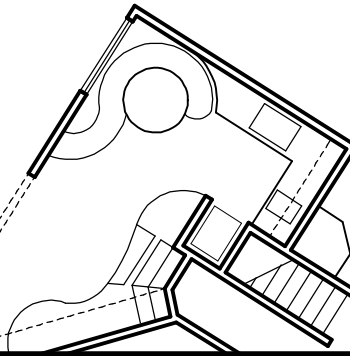
APPLICATION:

ALUMINUM COMPOSITE MATERIAL (ACM)

COLOR:

BLACK

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SHEET TITLE

EXTERIOR ELEVATIONS

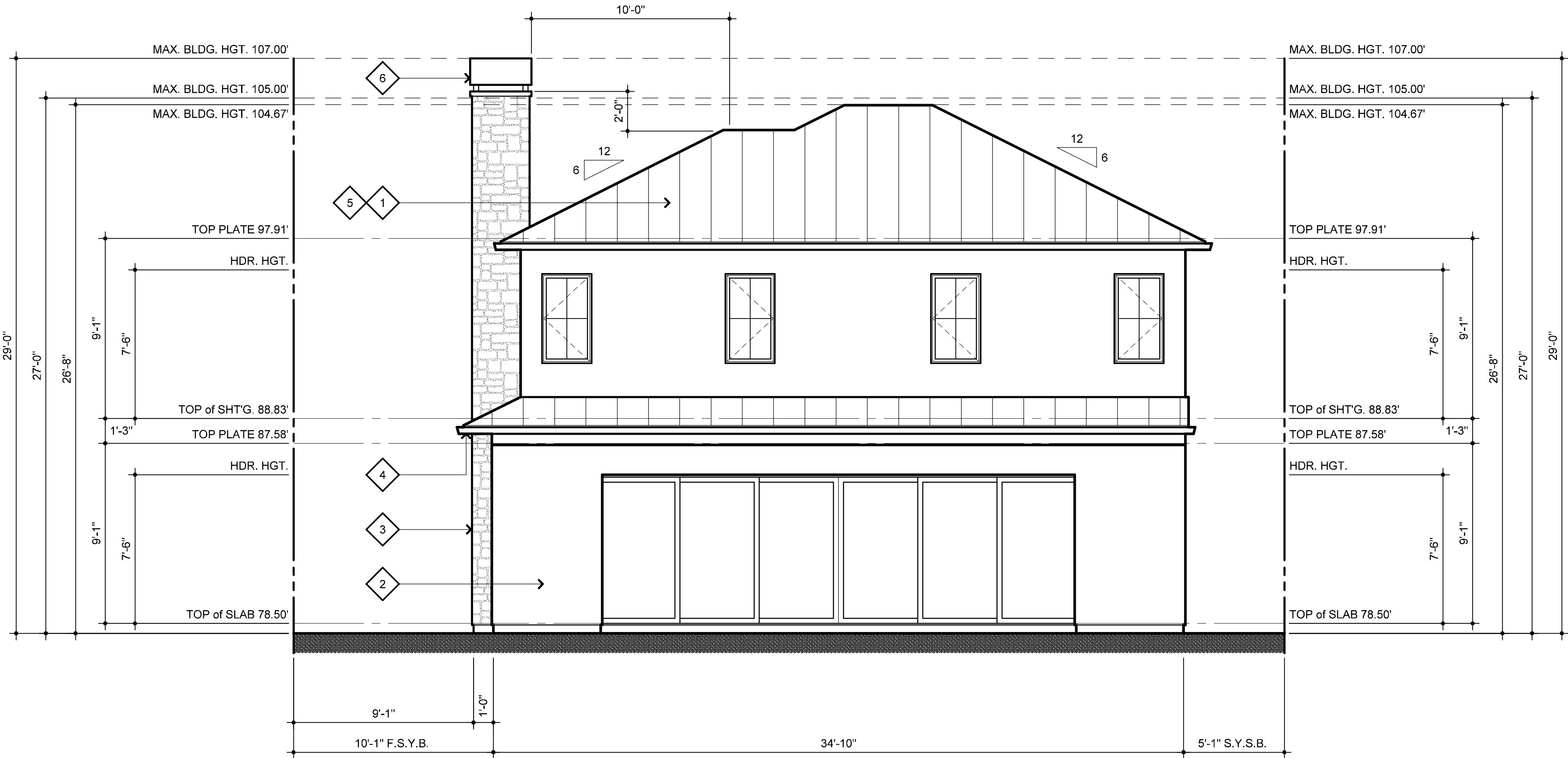
SMALL LOT SUBDIVISION PLANS FOR:
**HAL & NANCY MOOREFIELD
FAMILY TRUST**
PROJECT ADDRESS:
**2396 ORANGE AVENUE
COSTA MESA, CALIFORNIA**

Print Date & Time 9/7/2025 12:34 PM
RAJ Project # 2016-29
REVISIONS

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A5.2



LEFT ELEVATION - UNIT 'B' Scale: 1/4" = 1'-0"



RIGHT ELEVATION - UNIT 'B' Scale: 1/4" = 1'-0"

ELEVATION KEYNOTES:

INDICATES PLAN NOTE LEGEND SYMBOL - SEE LETTER BELOW.

1 METAL ROOFING: (CLASS 'A')

MANUFACTURER:

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13940 MAGNOLIA AVENUE
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PRODUCT:

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USE CONTINUOUS 16" SPANS - VERIFY WITH "BUILDING DESIGNER" SIZE AND LOCATIONS OF SEAMS (NO TRANSVERSE SEAMS)

WEIGHT:

APPROXIMATELY 2 PSF.

CODE:

ICC # ESR-2048, CB-150

2 STUCCO SIDING:

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OMEGA PRODUCTS INTERNATIONAL, Inc.
262 SOUTH ANITA DRIVE
ORANGE, CA 92668
(714) 935-0900

3 ADHERED STONE VENEER

MANUFACTURER:

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800-453-7040

APPLICATION:

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COLOR:

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WEIGHT:

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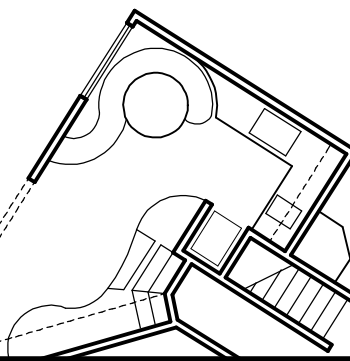
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SHEET TITLE

EXTERIOR ELEVATIONS

SMALL LOT SUBDIVISION PLANS FOR:
HAL & NANCY MOOREFIELD
FAMILY TRUST
PROJECT ADDRESS:
2396 ORANGE AVENUE
COSTA MESA, CALIFORNIA

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RAJ Project # 2016-29
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C:\DataCAD 23\Drawings\2016-25 2396 ORANGE AVENUE - HAL MOOREFIELD\2396 ORANGE AVE - DR-01 PC-02.aec



ORANGE AVE. ELEVATIONS - UNIT 'A' & 'B'



OPPOSITE ORANGE AVE. ELEV - UNIT 'A' & 'B'



CORNER SANTA ISABEL AVE. & ORANGE AVE.



ORANGE AVE. ELEVATIONS - UNIT 'A' & 'B'



SANTA ISABEL AVE. - FRONT ELEVATION - UNIT 'A'



REAR ELEVATION - UNIT 'B'

R. A. JEHEBER
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SHEET TITLE

EXTERIOR ELEVATIONS

SMALL LOT SUBDIVISION PLANS FOR:
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FAMILY TRUST
PROJECT ADDRESS:
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COSTA MESA, CALIFORNIA

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RAJ Project # 2016-29	
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