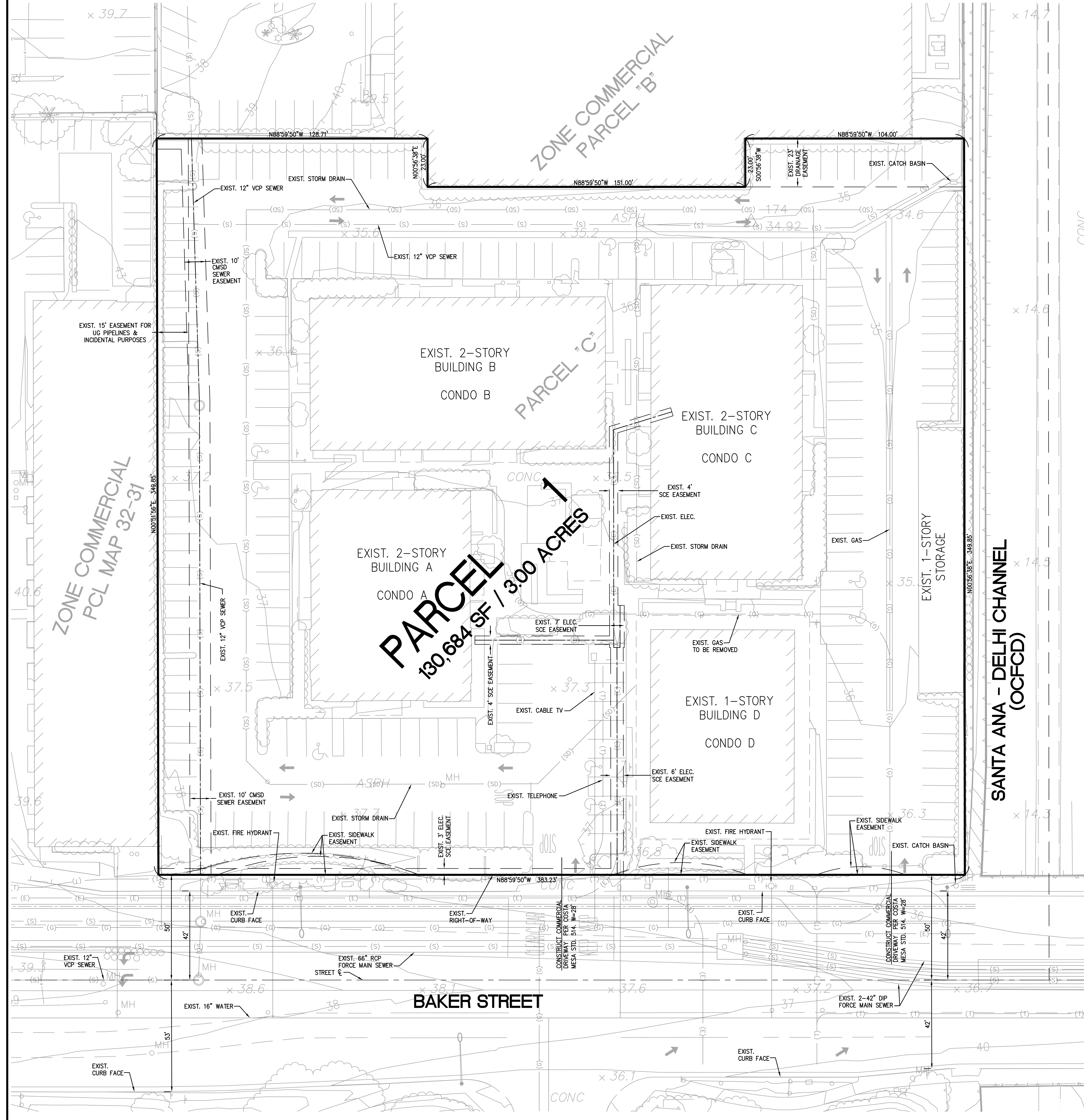


TENTATIVE PARCEL MAP NO. 2023-153

IN THE CITY OF COSTA MESA,
COUNTY OF ORANGE, STATE OF CALIFORNIA
FOR CONDOMINIUM PURPOSES

ATTACHMENT 10



LINE LEGEND

	BOUNDARY LINE/PROPERTY LINE
	PROPOSED PARCEL LINE
	CENTER LINE
	EXISTING PROPERTY/PARCEL/ RIGHT-OF-WAY LINE
	EASEMENT LINE
	BUILDING FOOTPRINT
	EXISTING SEWER
	EXISTING WATER
	EXISTING STORM DRAIN
	EXISTING GAS
	EXISTING ELECTRICAL
	EXISTING TELEPHONE
	EXISTING CABLE TV

BASIS OF BEARINGS

BEARINGS SHOWN HEREON ARE BASED UPON THE BEARING BETWEEN G.C.S. HORIZONTAL CONTROL STATION GPS NO. 612911 AND STATION GPS NO. 6125 BEING NORTH 73°45'39" WEST PER RECORDS ON FILE IN THE OFFICE OF THE ORANGE COUNTY SURVEYOR.

BENCHMARK

BM 1E-95-72
DESCRIBED BY OCS 2001 - FOUND 3-3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "1E-95-72", SET IN THE SOUTHEAST CORNER OF AN 8 FT. BY 3.5 FT. CONCRETE CATCH BASIN. MONUMENT IS LOCATED IN THE NORTHWEST CORNER OF THE INTERSECTION OF BAKER STREET AND 55 FREEWAY SOUTHBOUND ON RAMP, 22 FT. WESTERLY OF THE CENTERLINE OF THE ONRAMP AND 90 FT. NORTHERLY OF THE NORTH END OF THE NORTHWEST CURB RETURN. MONUMENT IS SET LEVEL WITH THE SIDEWALK.
NAVD 88 ELEV = 43.218

OWNER/SUBOWNER

BAKER CENTER LLC
2121 ROSEGRANS AVENUE, SUITE 3335
EL SEGUNDO, CA 90245
CONTACT: ROSS MITCHELL
PH: (310) 888-8209
EMAIL: ROSS@DUNBARINVESTMENTS.COM

PREPARED BY:

DRG ENGINEERING, INC.
160 SOUTH OLD SPRINGS RD, #210
ANAHEIM HILLS, CA 92808
CONTACT: CHRISTOPHER MCKEE, PE
PH: 714-685-6860 / 3356
EMAIL: CMCKEE@DRG-ENG.COM

LAND USE

EXISTING: COMMERCIAL
PROPOSED: COMMERCIAL

LEGAL DESCRIPTION

PARCEL C OF PARCEL MAP RECORDED IN BOOK 38, PAGE 3 OF PARCEL MAPS IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN

418-221-10

PROPERTY ADDRESS

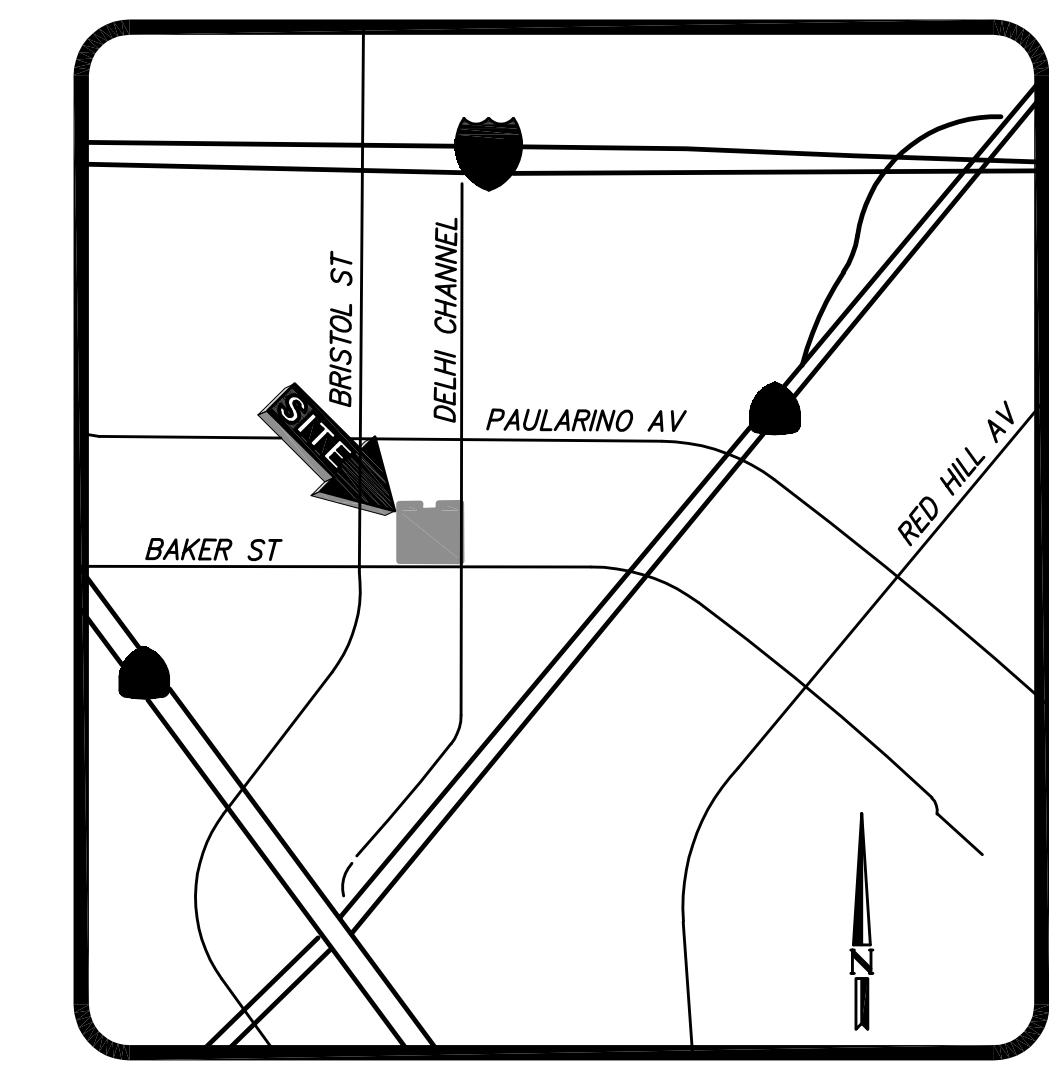
660 BAKER STREET
COSTA MESA, CA 92626

ACREAGE

3.00 AC

FLOOD ZONE

ZONE X
0.2% ANNUAL CHANCE FLOOD HAZARD. AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTH LESS THAN ONE FOOT OR WITH DRAINAGE AREAS OF LESS THAN ONE SQUARE MILE



VICINITY MAP
NOT TO SCALE

PROPOSED NUMBER OF PARCELS: 1

UTILITY COMPANIES

WATER
MESA WATER DISTRICT
1965 PLACENTAL AVENUE
COSTA MESA, CA 92627
(949) 631-1200

SEWER
COSTA MESA SANITARY DISTRICT
290 PAULARINO AVE
COSTA MESA, CA 92626
(949) 645-8400

ELECTRICAL
SOUTHERN CALIFORNIA EDISON
17151 NEWHOPE ST., SUITE 209
FOUNTAIN VALLEY, CA 92708
(800) 990-7788

CABLE
SPECTRUM
400 WASHINGTON BLVD.,
STAMFORD, CT 06902
(855) 307-7079

TELEPHONE/CABLE
AT&T
(855) 495-1819

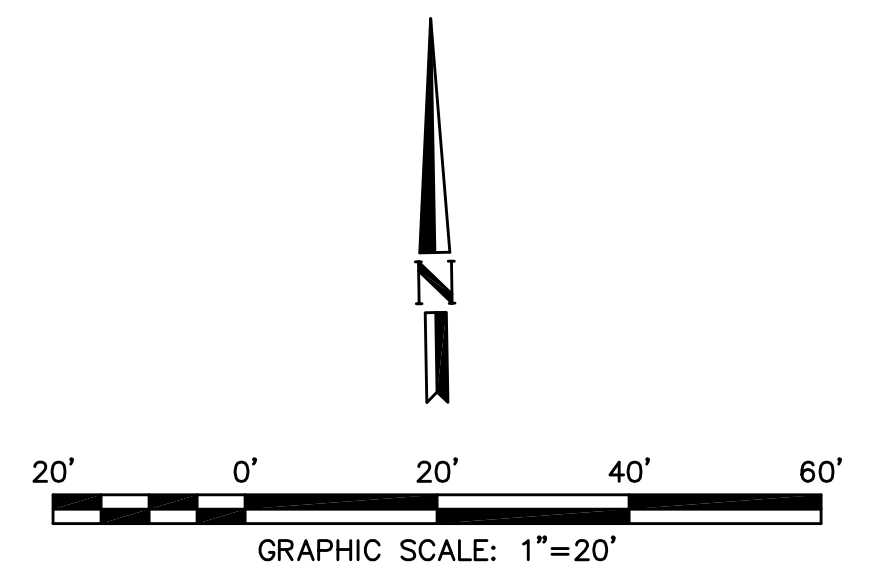
PROPOSED EASEMENT NOTE

1. A BLANKET EASEMENT FOR INGRESS/EGRESS OVER PARCEL 1 OF TPM 2023-153 FOR THE BENEFIT OF THE OWNERS OF SAID PARCEL 1 TO BE DEDICATED BY SEPARATE INSTRUMENT.

SURVEYOR'S STATEMENT

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION.

John W. Lappert
JOHN W. LAPPERT
PLS 9303
EMAIL: jappert@dr-eng.com



DATE: 11/25/2024

160 S. Old Springs Road
Suite 210
Anaheim Hills, CA 92808
714-685-6860

DRG Engineering, Inc.
Civil Engineering/Land Surveying/Land Planning

DATE:	
NO.:	
REVISION:	

PROJECT: **THE BAKER COLLECTIVE**
660 BAKER STREET
COSTA MESA, CA 92626

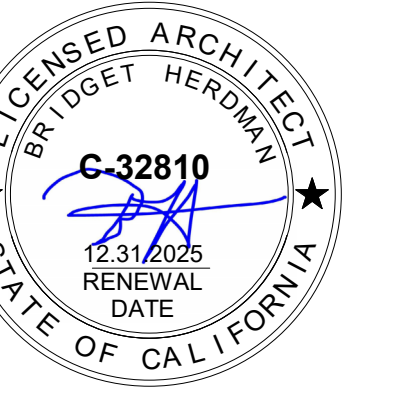
DRAWING NAME: **TENTATIVE PARCEL MAP**

ISSUE: TENT. PARCEL MAP
DATE: 11/25/2024
CHECKED: RJV DRAWN: HM
DRAWING FILE:
PROJECT NO.: 23-068
SHEET NUMBER:
1
OF 1 SHEETS
SCALE: AS SHOWN

NOT FOR CONSTRUCTION



HERDMAN
ARCHITECTURE + DESIGN



3800 E. COAST HWY. STE 6
CORONA DEL MAR, CA 92625
TEL. 714.389.2800
INFO@HERDMAN-AD.COM

PROJECT NAME

**660 BAKER -
CONDOMINIUM**

660 BAKER STREET
COSTA MESA, CA

CLIENT



841 APOLLO STREET, SUITE
334 EL SEGUNDO, CA 90245

PROJECT TEAM

- GENERAL CONTRACTOR**
SMITH AND SEVERSON BUILDER
- STRUCTURAL ENGINEER**
GRIMM + CHEN
- MECHANICAL ENGINEER**
N/A
- PLUMBING ENGINEER**
N/A
- ELECTRICAL ENGINEER**
N/A
- CIVIL**
N/A

DRAWING INFO

ID	DATE	DESCRIPTION
	05/16/2024	

DRAWN BY: J.S.
H:A&D JOB NO.: A24-2080
DRAWING SCALE: AS NOTED



SHEET

A2.0

**EXISTING SITE
PLAN**

9/16/2024 6:02:23 PM



Setbacks:

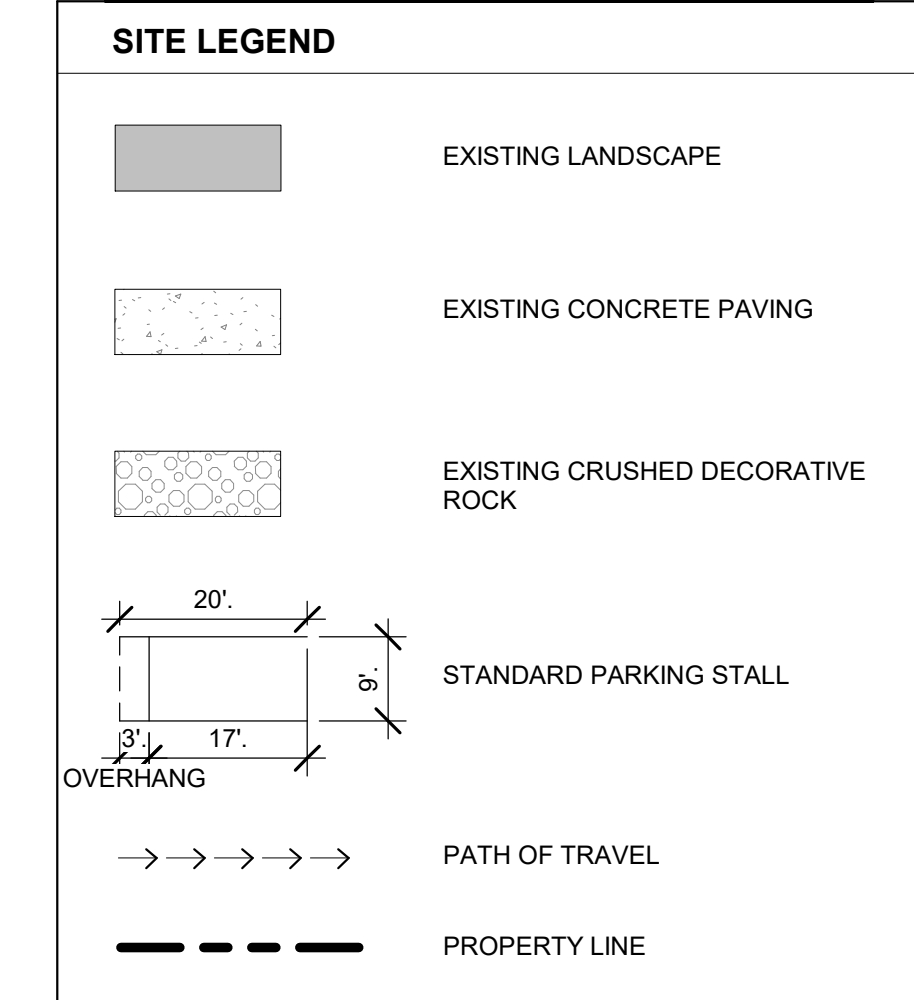
Building A: 73' to the west, 81' to the south, 231 to the east, 143'-4" to the north

Building B: 74'-3" to the west, 202'-4" to the south, 166'-6" to the east, 51' to the north

Building C: 234'-9" to the west, 140' to the south, 77' to the east, 45'-10" to the north

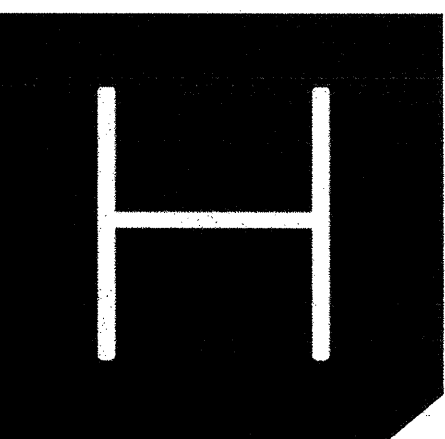
Building D: 230'-2" to the west, 19' to the south, 75' to the east, 213' to the north

Building	Square Footage
A	9,845
B	20,193
C	20,245
D	7,910
Total	58,193

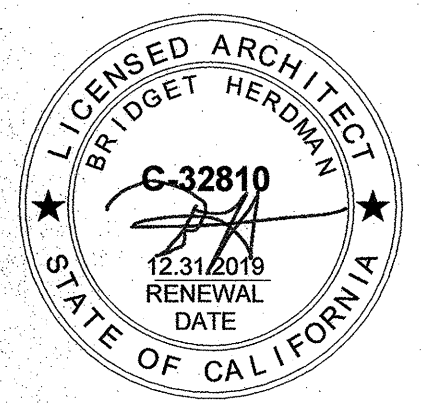


PARKING TABLE									
TENANT	TENANT USE	FLOOR LEVEL	SUITE	SF- RENTABLE (INCLUDES COMMON AREA)	ALLOCATED STALLS	PARKING RATIO (PER 1K SF)	# OF RESERVED	GARAGE	REQ'D BY CODE (LEGALLY NON-CONFORMING)
MEMORIALCARE MEDICAL FOUNDATION	MEDICAL	FIRST	A-101	7,144	45	6.30	0	0	43
CAS BIOSCIENCES	OFFICE	SECOND	A-201	2,701	9	3.33	3	2	11
BRIGHT EVENT RENTAL, LLC	OFFICE/ SHOWROOM	FIRST	B-101	4,418	14	3.17	0	1	18
ZOOMER INTELLIGENCE CORPORATION	CUSTOM LENSES MFG	FIRST	B-102	1,972	7	3.55	0	0	8
CREW BUILDERS INC	OFFICE	FIRST	B-103	3,179	10	3.15	0	1	13
CAS BIOSCIENCES	OFFICE	FIRST	B-220	4,200	9	2.14	1	0	17
FLOWSPACE	OFFICE	SECOND	B-201	2,756	9	3.27	0	1	11
CAS BIOSCIENCES	OFFICE	SECOND	B-250	3,668	17	4.63	4	0	15
LEDCOR	OFFICE	FIRST	C-101	4,829	14	2.90	7	0	19
WESTERN LIGHTING	OFFICE	FIRST	C-100	5,138	10	1.95	3	3	21
PV LABELS	OFFICE	SECOND	C-200	10,278	35	3.41	3	2	41
SCHIEFER MEDIA, INC.	OFFICE	FIRST	D-100	7,910	27	3.41	4	2	32
TOTAL STALLS LEASED									
				58,193	206		25	12	247
TOTAL STALLS (EXCL. GARAGE/ STORAGE)					200	58,193		WITH GARAGES	212

1 EXISTING SITE PLAN, A, B, C, AND D
1/16" = 1'-0"



HERDMAN ARCHITECTURE + DESIGN



16201 SCIENTIFIC WAY
IRVINE, CA 92618
TEL. 714.389.2800
INFO@HERDMAN-AD.COM

PROJECT NAME

660 BAKER EXTERIOR RENOVATION

660 BAKER
COSTA MESA, CA

CLIENT



841 APOLLO STREET, SUITE
334 EL SEGUNDO, CA 90245

PROJECT TEAM

GENERAL CONTRACTOR
SMITH AND SEVerson BUILDER
STRUCTURAL ENGINEER
GRIMM + CHEN STRUCTURAL ENG. INC.
MECHANICAL ENGINEER

PLUMBING ENGINEER

ELECTRICAL ENGINEER
RPM ENGINEERS, INC.
CIVIL
MESSLER

DRAWING INFO

ID	DATE	DESCRIPTION
1	10.16.2018	2ND BUILDING SUBMITTAL
2	11.06.2018	3RD BUILDING SUBMITTAL
3	12.03.2018	COURTYARD REVISION
4	12.11.2018	4TH BUILDING SUBMITTAL
5	03.25.2019	COURTYARD REVISION

REVISIONS:
1. DATE: _____
2. DATE: _____
3. DATE: _____
4. DATE: _____
5. DATE: _____

REVISED
DATE: _____

DRAWN BY: _____
H-ADD JOB NO: _____
DRAWING SCALE: _____

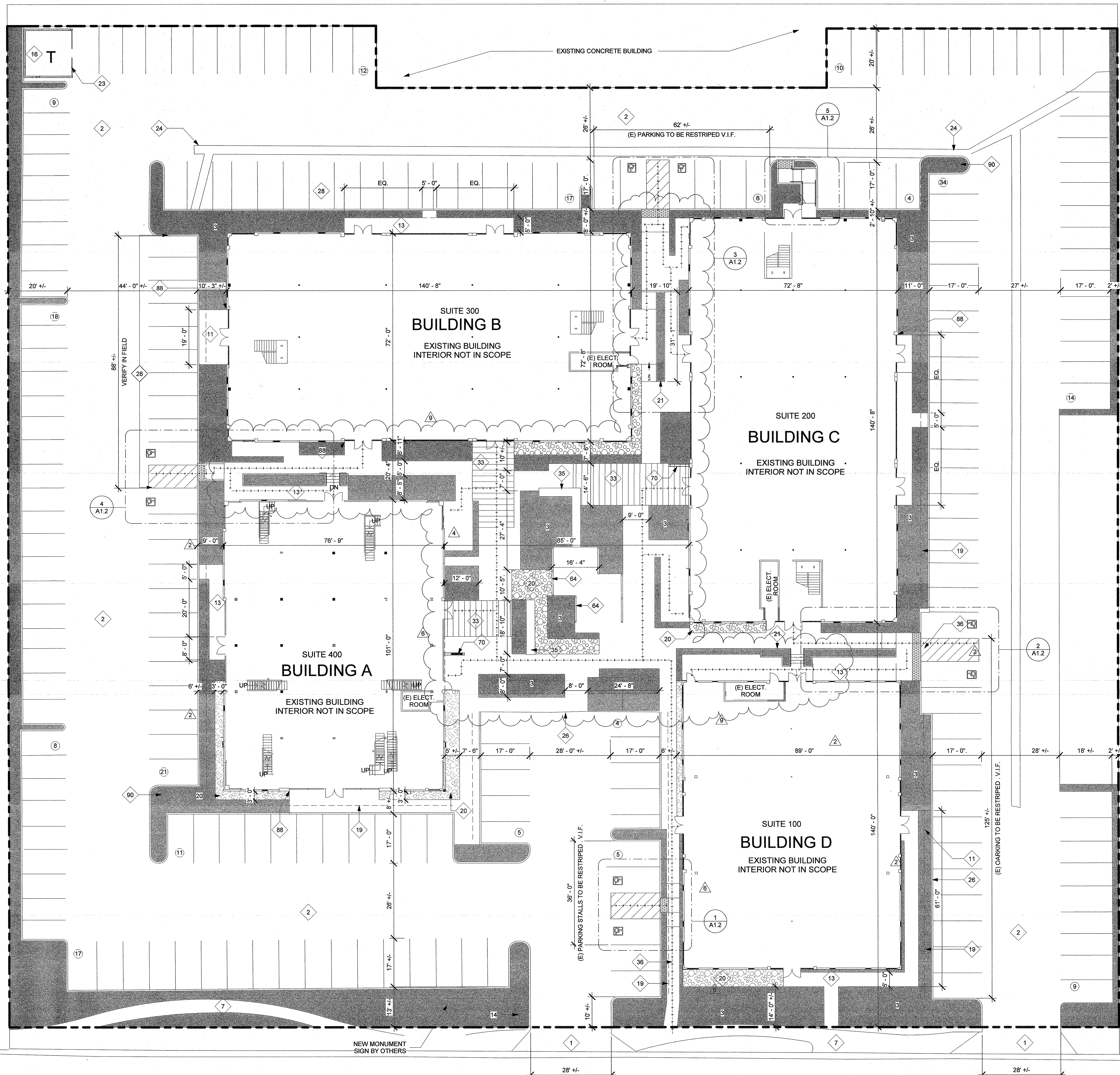
B.B. A18-2012
AS NOTED
NORTH

SHEET

A1.1

SITE PLAN

3/29/2019 10:58:49 AM

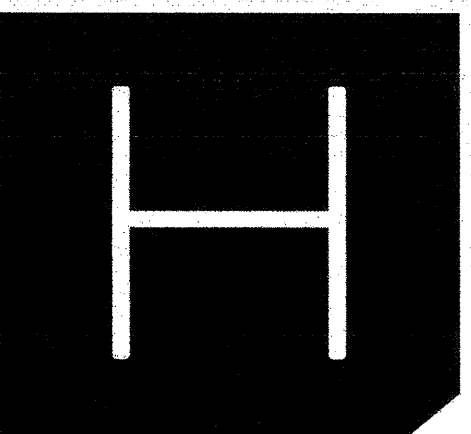


- KEYNOTES**
- (E) DRIVE CUT
 - (E) ASPHALT PAVING
 - (N) LANDSCAPE AREA SEE LANDSCAPE PLAN
 - (E) PUBLIC SIDEWALK
 - (N) CONCRETE LANDING PAD @ EXTERIOR MAN DOOR
 - (N) WALKWAY WITH MEDIUM SAND CONCRETE. SLOPE SHALL NOT EXCEED 5%. SEE CIVIL DRAWINGS.
 - (E) TRASH ENCLOSURE
 - (N) ADA SITE ENTRY SIGN PER CODE, TYP.
 - (E) TRASH ENCLOSURE
 - (E) PARKING OVERHANG
 - (N) CRUSHED DECORATIVE ROCK - SEE LANDSCAPE DRAWINGS
 - (N) CONCRETE PLANTER, 3'-0" tall, see plan for length
 - REPAIR EXISTING TRASH ENCLOSURE GATE
 - TRENCH DRAIN PER CIVIL PLANS.
 - (E) 6" CURB, REPAIR AS NEEDED
 - (E) PARKING STALLS TO BE RESTRIPTED
 - (N) CONCRETE PAVING. SEE 2.4 AND 8.04.1. SCORE CONCRETE @ 2' O.C.
 - BUILT-IN CONCRETE SEAT, 1'-6" HIGH, SEE STRUCTURAL FOR DETAILS.
 - ACCESSIBLE PATH OF TRAVEL TO ACCESSIBLE PARKING STALL
 - NEW TUBE STEEL TRELLIS, BLACK FINISH, SEE STRUCTURAL DRAWINGS
 - (N) DECORATIVE FIN. SEE STRUCTURAL DWGS.
 - ALIGN THE EDGE OF WALKWAY WITH EDGE OF THE PILASTER
 - (N) ADA DIRECTIONAL SIGNAGE TO ACCESSIBLE PATH.
- SITE LEGEND**
- SOFTSCAPE SEE LANDSCAPE PLANS FOR MORE DETAILED INFO
 - CRUSHED DECORATIVE ROCK, SEE LANDSCAPE DRAWINGS
 - STANDARD PARKING STALL
 - FIRE HYDRANT
 - STREET LIGHT
 - PATH OF TRAVEL
 - PROPERTY LINE
- SITE PLAN GENERAL NOTES**
- SITE PLAN SHALL MEET ALL ENGINEERING & NPDES REQUIREMENTS.
 - GENERAL CONTRACTOR TO REVIEW SOILS REPORT PREPARED BY DATED, AND ANY SUBSEQUENT AMENDMENTS, G.C. TO CONFIRM COMPLIANCE.
 - REFER TO CIVIL DRAWINGS FOR ADDITIONAL UTILITY INFORMATION INCLUDING POINTS OF CONNECTION TO OFFSITE UTILITIES AND BUILDING POINTS OF CONNECTION.
 - GENERAL CONTRACTOR TO COORDINATE ALL POINTS OF CONNECTION BETWEEN OFFSITES, CIVIL, M.E.P., & FP DRAWINGS.
 - GRADES SURROUNDING BUILDING TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.
 - REFER TO CIVIL DRAWINGS FOR FINISH GRADE ELEVATIONS AND PERCENTAGE SLOPES.
 - GENERAL CONTRACTOR TO CONFIRM AND COMPLY WITH ALL BUILDING, FIRE, AND ENGINEERING DEPARTMENT REGULATIONS DURING CONSTRUCTION INCLUDING ANY TEMPORARY FACILITIES REQUIRED.
 - ALL PAVED AND LANDSCAPED AREAS TO BE BOUND BY 6" MIN CONCRETE CURB TYPICAL UNLESS SPECIFICALLY NOTED OTHERWISE.
 - ALL ADA PATHS OF TRAVEL NOTED ON PLANS TO MEET THE FOLLOWING MINIMUM REQUIREMENTS: NO ABRUPT CHANGES IN ELEVATION ALLOWABLE ALONG THE PATH OF TRAVEL. THE SLOPE AND CROSS SLOPE SHALL NOT EXCEED 5% AND 2% RESPECTIVELY UNLESS AN ADA COMPLIANT RAMP OR CURB RAMP IS DESIGNED BY THE CIVIL ENGINEER. IF A WALK CROSSES OR ADJACENT A VEHICLE WAY, AND THE WALKING SURFACES ARE NOT SEPARATED BY CURBS, RAILINGS OR OTHER ELEMENTS BETWEEN THE PEDESTRIAN AREAS AND VEHICULAR AREAS, THE BOUNDARY BETWEEN THE AREAS SHALL BE DEFINED BY A 4" DEEP DETECTABLE WARNING WHICH IS 36" WIDE COMPLYING WITH CBC SECTION 11B-705.1.2.5
 - ALL SPECIFICATIONS ON DRAWINGS ARE MINIMUM REQUIREMENTS ONLY. GENERAL CONTRACTOR TO NOTIFY ARCHITECT IN WRITING OF ANY CONFLICTS IN DRAWINGS AND SPECIFICATIONS VIA "RFI".
 - GENERAL CONTRACTOR TO REFER TO ARCHITECTURAL DETAIL SHEETS FOR TYPICAL MINIMUM SITE IMPROVEMENT STANDARDS.
 - CONCRETE MOW STRIP PER ARCHITECTURAL DETAILS TO BE PROVIDED AT ALL GLAZING/STOREFRONT LOCATIONS WHERE ADJACENT TO LANDSCAPING.
 - CONCRETE SPLASH BLOCK PER ARCHITECTURAL DETAILS TO BE PROVIDED AT ALL ROOF DRAIN/DOWN SPOUT TERMINATIONS AT NON-CONCRETE AREAS.
 - BRASS LAMP'S TONGUE TO BE PROVIDED AT ALL ROOF DRAIN OVERFLOWS THAT DAYLIGHT AT FACE OF BUILDING WALL.
 - GATES, FENCES, AND WALLS MAY BE SUBJECT TO DEFERRED SUBMITTAL REQUIREMENTS. GENERAL CONTRACTOR TO CONFIRM WITH CITY AND MUST SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.
 - CONFIRM WITH ARCHITECT THAT ALL THE SLOPES NOTED ON THE PLANS ARE ACHIEVABLE.
 - PROVIDE MINIMUM 6" WARNING CURB IF CHANGE IN LEVEL EXCEED 4" PER 11B-303.5

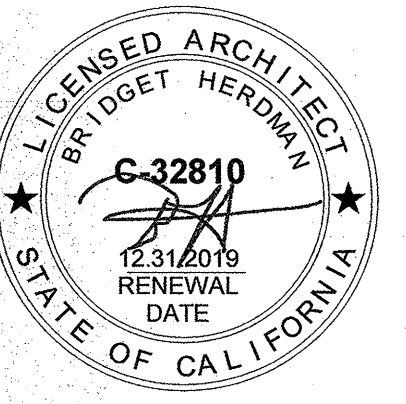
1 PROPOSED SITE PLAN - MCLUP
1/16" = 1'-0"

Building	Square Footage
A	9,845
B	20,193
C	20,245
D	7,910
Total	58,193

Setbacks:
 Building A: 73' to the west, 81' to the south, 231 to the east, 143'-4" to the north
 Building B: 74'-3" to the west, 202'-4" to the south, 166'-5" to the east, 51' to the north
 Building C: 234'-9" to the west, 140' to the south, 77' to the east, 45'-10" to the north
 Building D: 230'-2" to the west, 19' to the south, 75' to the east, 213' to the north



HERDMAN
ARCHITECTURE + DESIGN



16201 SCIENTIFIC WAY
IRVINE, CA 92618
TEL. 714.389.2800
INFO@HERDMAN-AD.COM

PROJECT NAME

660 BAKER EXTERIOR RENOVATION

660 BAKER
COSTA MESA, CA

CLIENT



841 APOLLO STREET, SUITE
334 EL SEGUNDO, CA 90245

PROJECT TEAM

GENERAL CONTRACTOR
SMITH AND SEVERSON BUILDER
STRUCTURAL ENGINEER
GRIMM + CHEN STRUCTURAL ENG. INC.
MECHANICAL ENGINEER
PLUMBING ENGINEER
ELECTRICAL ENGINEER
RPM ENGINEERS, INC.
CIVIL
MKFESSLER

DRAWING INFO

ID	DATE	DESCRIPTION
1	09.21.2018	1ST BUILDING SUBMITTAL
3	11.06.2018	3RD BUILDING SUBMITTAL
6	12.11.2019	4TH BUILDING SUBMITTAL

BY _____ DATE _____
 I hereby certify that the building permit application submitted to the applicable City Agencies is true and correct to the best of my knowledge and belief.
 This issuance or granting of a permit based on approval of these plans shall not be held liable for any violation of codes or ordinances, nor shall the authority to violate or backdate the provisions of such codes shall be void.

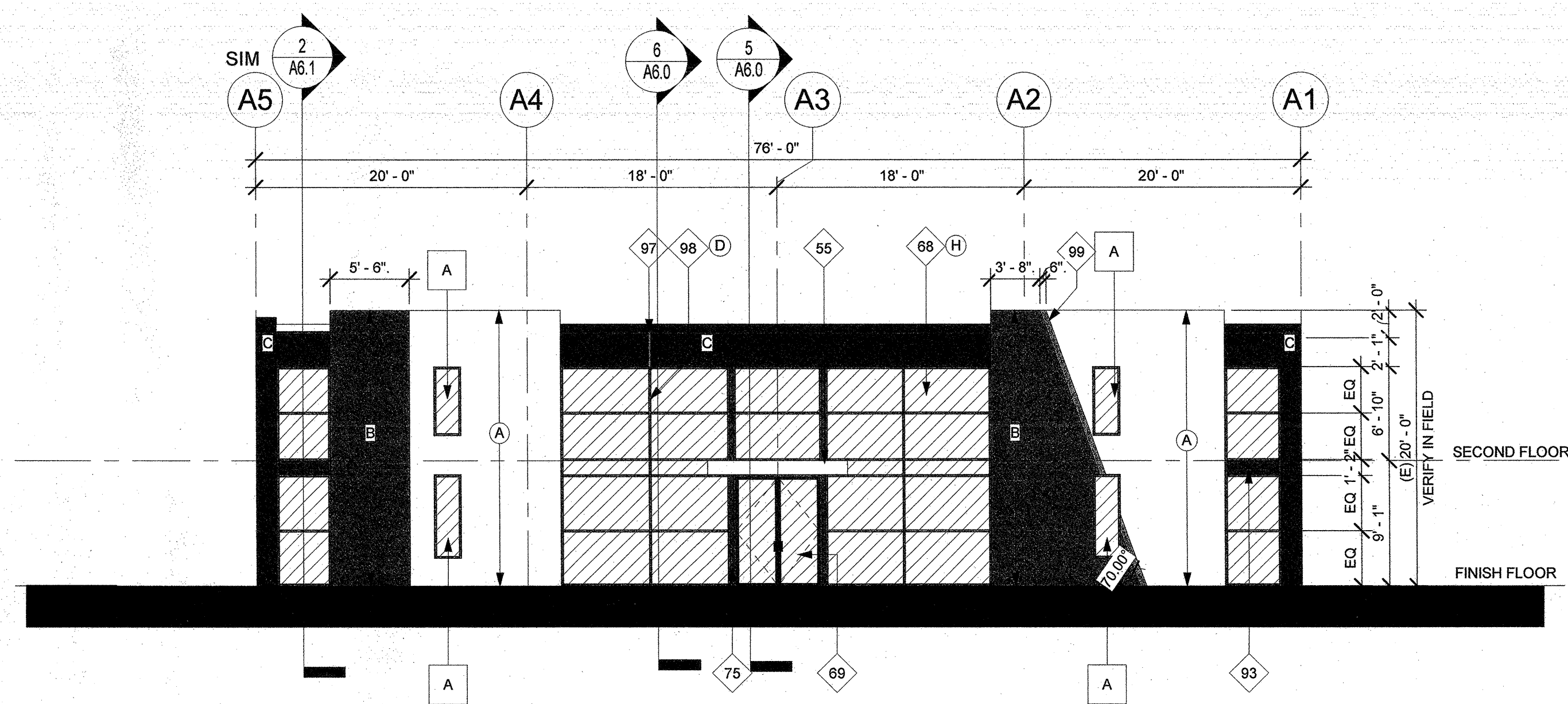
DRAWN BY: B.B.
H-AD JOB NO: A18-2012
DRAWING SCALE: AS NOTED

SHEET

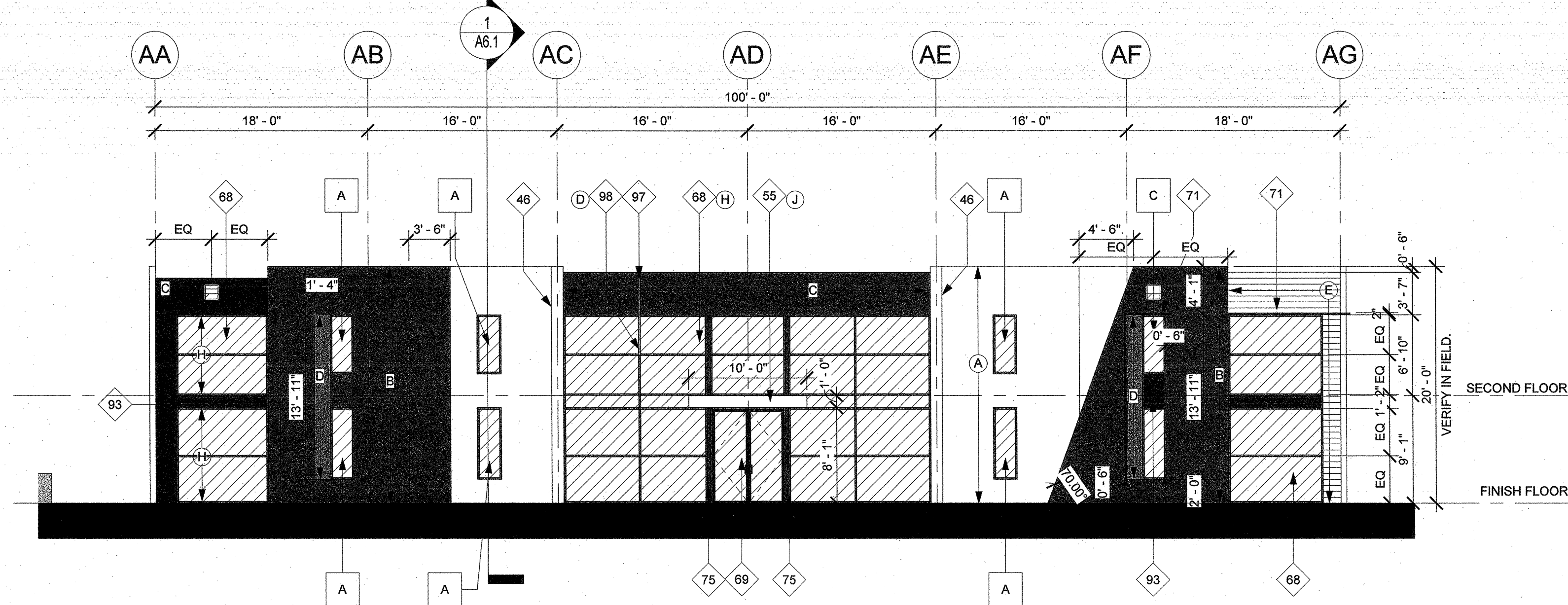
A2.3

BUILDING A PROPOSED ELEVATIONS

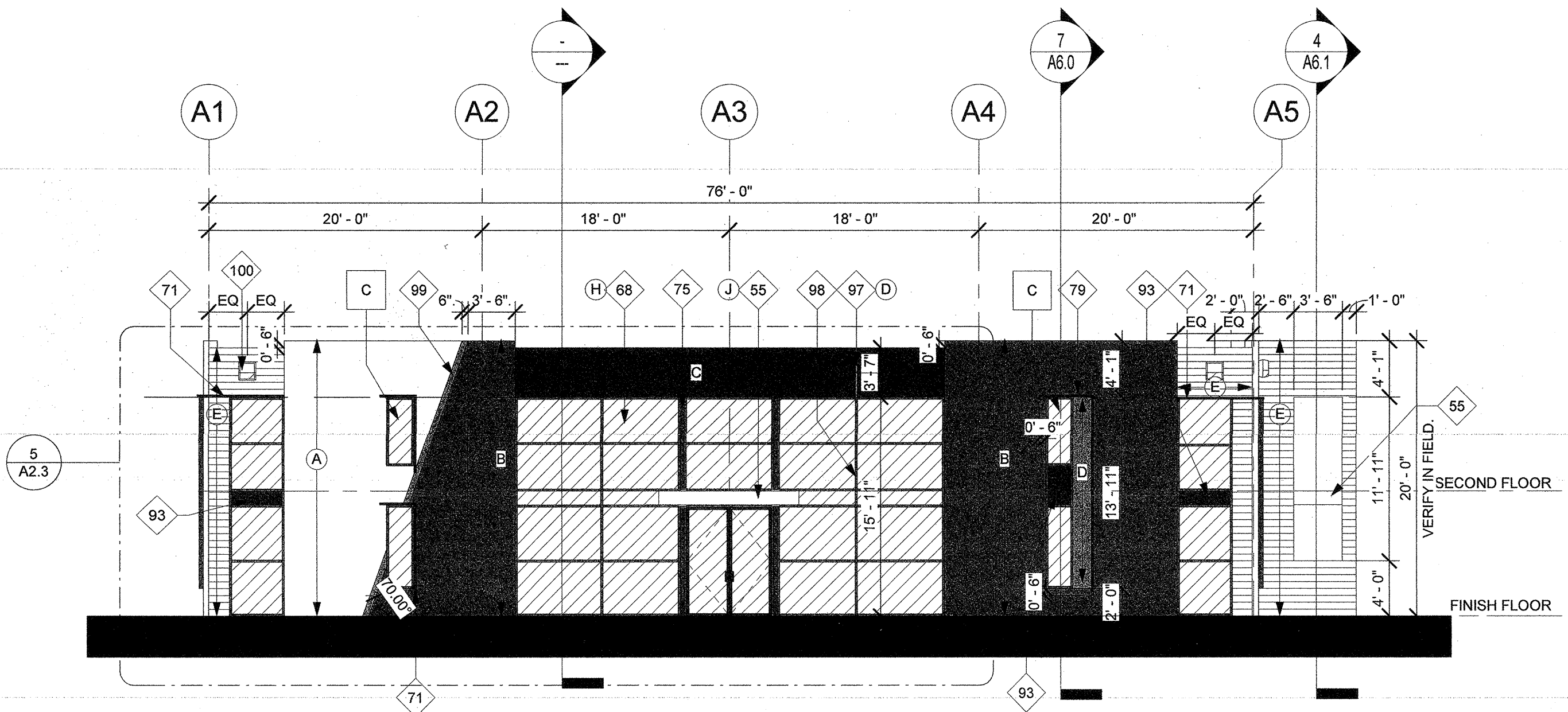
1/14/2019 12:28:03 PM



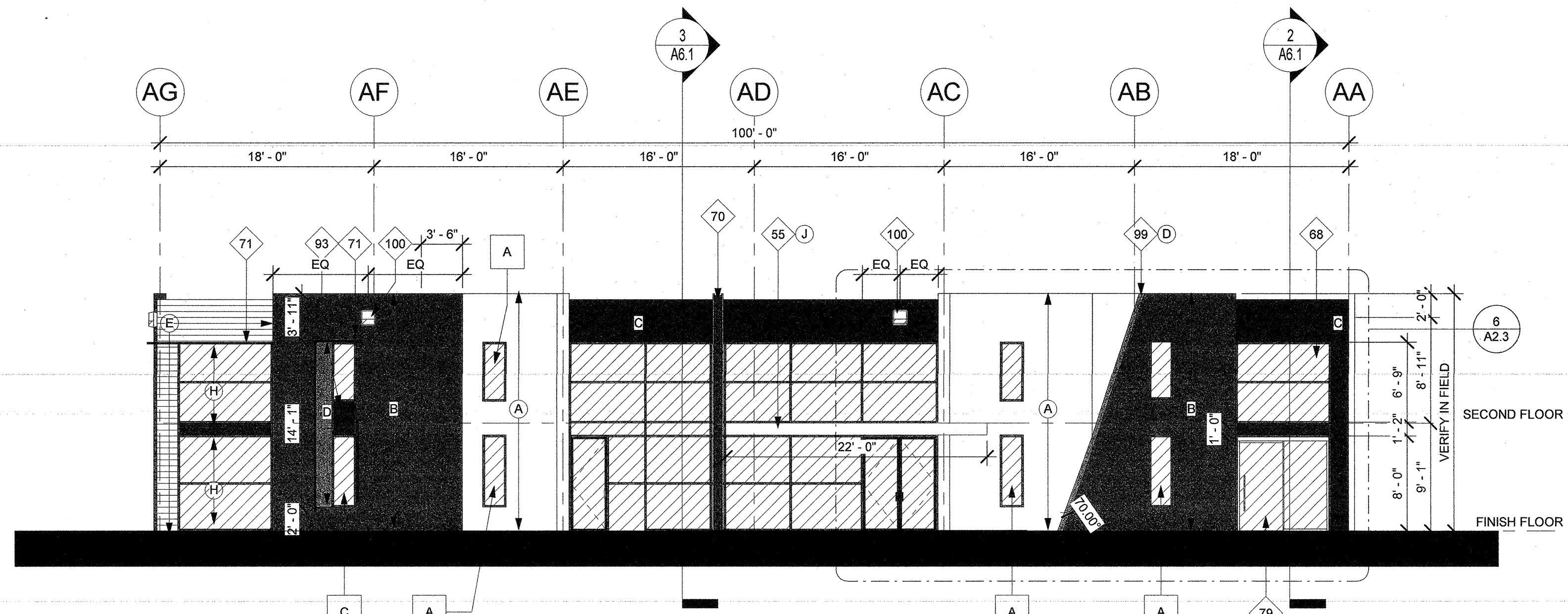
1 BLDG A NORTH ELEVATION
1/8" = 1'-0"



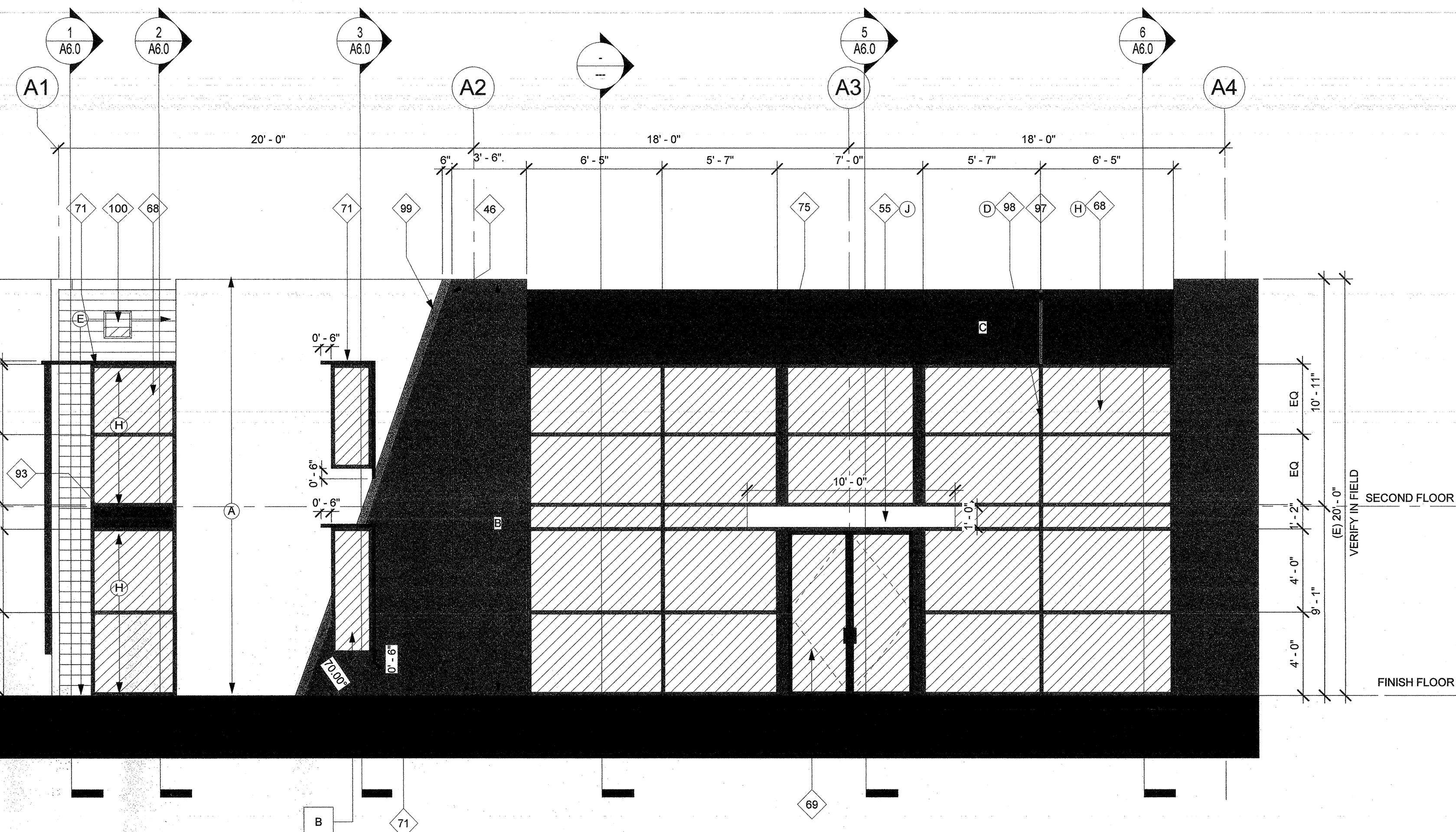
2 BLDG A WEST ELEVATION
1/8" = 1'-0"



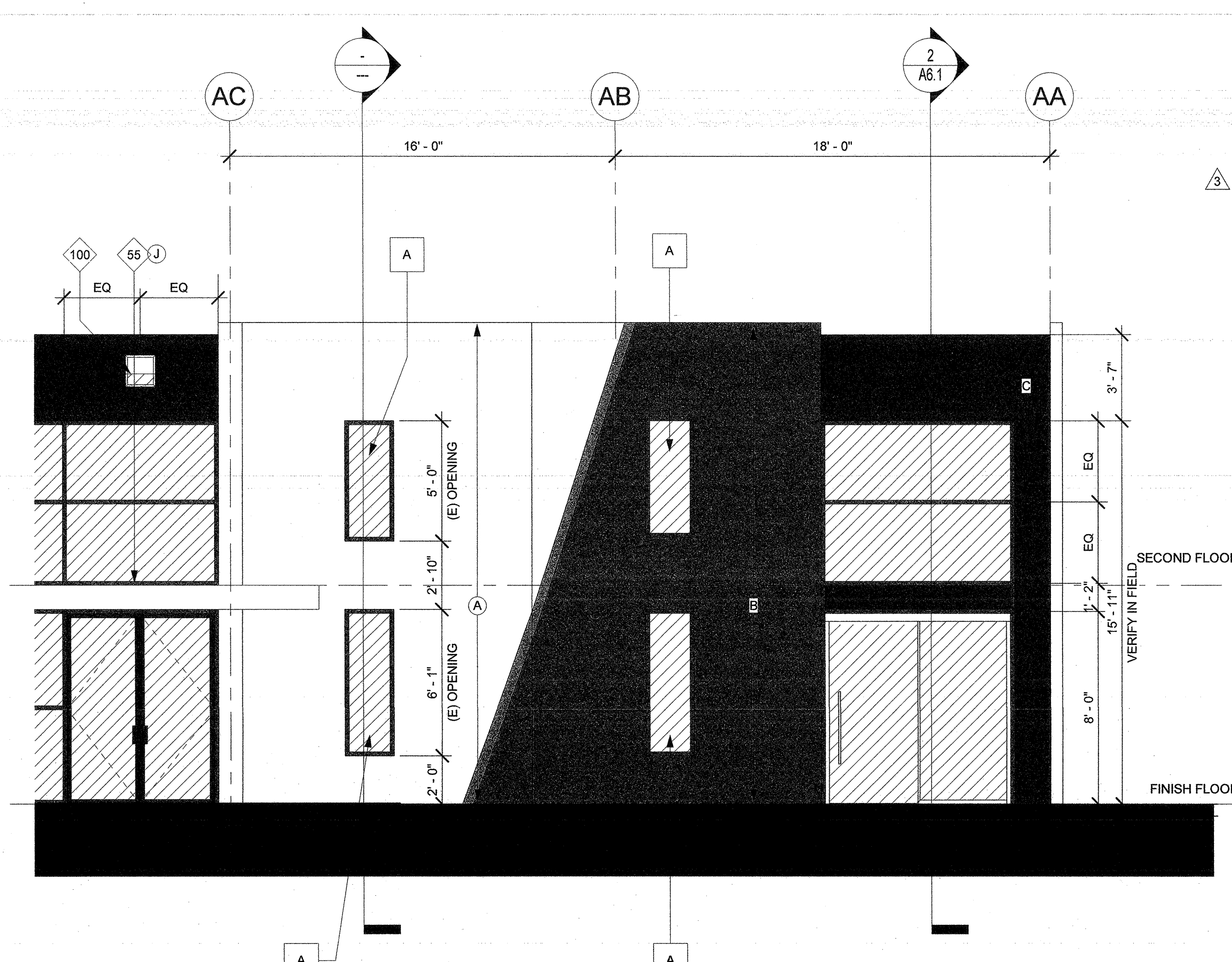
3 BLDG A SOUTH ELEVATION
1/8" = 1'-0"



4 BLDG A EAST ELEVATION
1/8" = 1'-0"



5 ENLARGED BLDG A SOUTH ELEVATION
1/4" = 1'-0"



6 ENLARGED BLDG A EAST ELEVATION
1/4" = 1'-0"

- KEYNOTES**
- 46 (E) PANEL JOINT
 - 55 NEW DECORATIVE BROW & SOLID CANOPY OVER DOORS. PROVIDE RECESSED 4" CAN LIGHTS IN SOLID CANOPY PER REP. CONTRACTOR TO FLASH & WATERSEAL BETWEEN CANOPY AND GLAZING/CONCRETE.
 - 68 NEW STOREFRONT. SEE ELEVATIONS & EXTERIOR COLOR SCHEDULE. STOREFRONT TO BE DESIGNED TO RESIST WIND LOAD AS REQUIRED BY BUILDING CODES AND LOCAL JURISDICTION.
 - 69 NEW EXTERIOR STOREFRONT DOOR. SEE EXTERIOR COLOR SCHEDULE & DOOR SCHEDULE FOR ADDITIONAL INFO.
 - 70 (N) DECORATIVE FIN. SEE STRUCTURAL DWGS.
 - 71 DECORATIVE BREAK METAL BROW POWDER COATED TO MATCH MULLIONS. 2 1/2" X 10" BY GLAZING CONTRACTOR 2X6 POST PER STRUCTURAL DRAWINGS @ DOORS, TYPICAL.
 - 79 (N) STOREFRONT SLIDING DOOR BY GLAZING CONTRACTOR
 - 93 BREAK METAL INFILL BY GLAZING CONTRACTOR, TO HIDE THE FLOOR JOISTS
 - 97 2" THICK LINE TO BE PAINTED SW 6920 CENTER SAGE. ALIGNED WITH MULLIONS. SEE COLOR GUIDE.
 - 98 VERTICAL MULLION TO BE PAINTED SW 6920 CENTER SAGE IN FIELD. TO BE CONTINUOUS WITH THE GREEN LINE ABOVE.
 - 99 6" THICK LINE TO BE PAINTED SW 6920 CENTER SAGE. SEE ELEVATIONS FOR ANGLE.
 - 100 WALL MOUNTED LED FIXTURE MOUNTED WITH BUILT IN MOTION SENSOR. SEE ELECTRICAL PLANS.

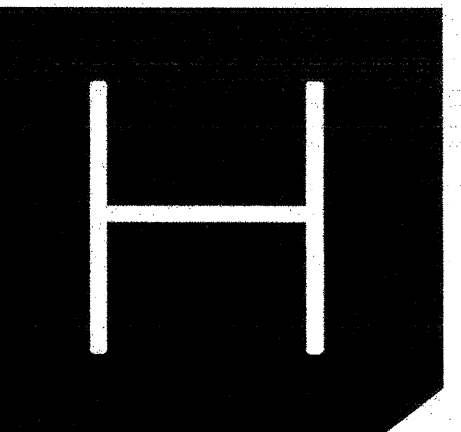
- WINDOW SCHEDULE**
- A WINDOW TYPE A TEMPERED GLASS DEMO EXISTING AND REPLACE WITH NEW. MATCH EXISTING OPENING. VERIFY SIZE IN FIELD
 - B WINDOW TYPE B TEMPERED GLASS DEMO EXISTING AND REPLACE WITH NEW. MATCH EXISTING OPENING. VERIFY SIZE IN FIELD WINDOW WITH DECORATIVE BROW PER SECTIONS --
 - C WINDOW TYPE C TEMPERED GLASS MATCH HEADER AND SILL WITH EXISTING OPENING PER ELEVATION. SURFACE MOUNTED
 - D NEW WINDOW TYPE D TEMPERED GLASS. -- X -- MATCH SILL AND WIDTH OF THE EXISTING OPENING. SEE ELEVATIONS FOR HEIGHT.

- WINDOW NOTES:**
1. CONTRACTOR TO FIELD VERIFY ROUGH OPENING SIZE FOR WINDOWS AND STOREFRONT.
 2. TEMPERED GLASS ON THIS PROJECT IS TO BE LABELED TEMPERED SAFETY GLASS PER CBC 2406
 3. ALL GLASS ON THIS PROJECT SHALL COMPLY WITH THE T-24 GLAZING'S OVERALL FACTORS:
 - MAX U-FACTOR: 0.29
 - MAX RSHGC: 0.39
 - MIN VT: 0.70
 BASED ON TABLE 140.3-C OF BUILDING ENERGY EFFICIENCY STANDARDS
 5. SUBMIT WINDOW FRAME AND GLAZING SHOP DRAWING TO ARCHITECT AND BUILDING DEP. FOR REVIEW AND APPROVAL.

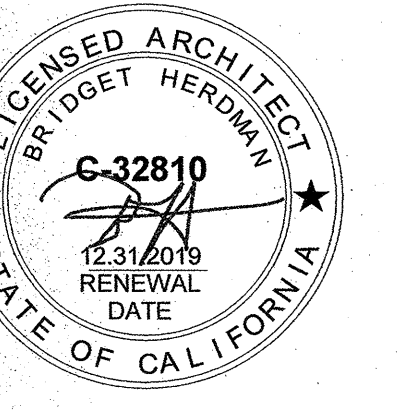
- LEGEND**
- VISION GLAZING: [Symbol]
 - NOTE: SINGLE PANE GLAZING PAINT FACE OF CONCRETE PANEL BEHIND BLACK & PROVIDE AIR HOLES. NO SPANDREL COATING REQUIRED.
 - NOTE: ALL EXTERIOR GLAZING SHALL BE TEMPERED INCLUDING SPANDREL GLAZING.

- EXTERIOR COLOR SCHEDULE**
- A EXTERIOR PAINT COLOR: SW 7042 SHOJI WHITE
 - B EXTERIOR PAINT COLOR: SW 7019 GAUNTLET GRAY
 - C EXTERIOR PAINT COLOR: SW 7059 IRON ORE
 - D EXTERIOR PAINT COLOR: SW 6920 CENTER STAGE
 - E COLOR: 8" ACODOYA WOOD SLAB WITH TWO COATS OF SANSIN ENVIRONMENTAL COLOR ROASTED ALMOND WITH ONE COAT OF SEALER GC TO PROVIDE ALTERNATE BID USING REYSISTA 6"
 - H STOREFRONT SOLARBAN 50 @ CLEAR + CLEAR & BRONZE ANODIZED MULLIONS
 - I BOARD FORM CONCRETE ON THE SIDES. SAND FINISH ON THE SURFACE OF TREADS/RISERS AND LANDINGS
 - J SOLID CANOPY COLOR: WHITE COMPOSITE METAL PANEL

- TYP PAINT NOTES:**
- PAINT MAN DOORS, GUARD WALLS, RAMP WALLS, STAIR WALLS, GUARD RAILS, ROOF DRAINS AND LOUVERS TO MATCH ADJACENT BUILDING WALL U.N.C.



HERDMAN
ARCHITECTURE + DESIGN



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IRVINE, CA 92618
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PROJECT NAME

660 BAKER EXTERIOR RENOVATION

660 BAKER
COSTA MESA, CA

CLIENT



841 APOLLO STREET, SUITE
334 EL SEGUNDO, CA 90245

PROJECT TEAM

GENERAL CONTRACTOR

SMITH AND SEVERSON BUILDER

STRUCTURAL ENGINEER

GRIMM + CHEN STRUCTURAL ENG. INC.

MECHANICAL ENGINEER

PLUMBING ENGINEER

ELECTRICAL ENGINEER

RPM ENGINEERS, INC.

CIVIL

MPKLESSLER

DRAWING INFO

ID	DATE	DESCRIPTION
0	09.21.2018	1ST BUILDING SUBMITTAL
3	11.09.2018	3RD BUILDING SUBMITTAL
6	12.11.2019	4TH BUILDING SUBMITTAL

RECOMMENDED BY: SCOTT FAZER, ARCHITECT
CITY OF COSTA MESA, CALIFORNIA

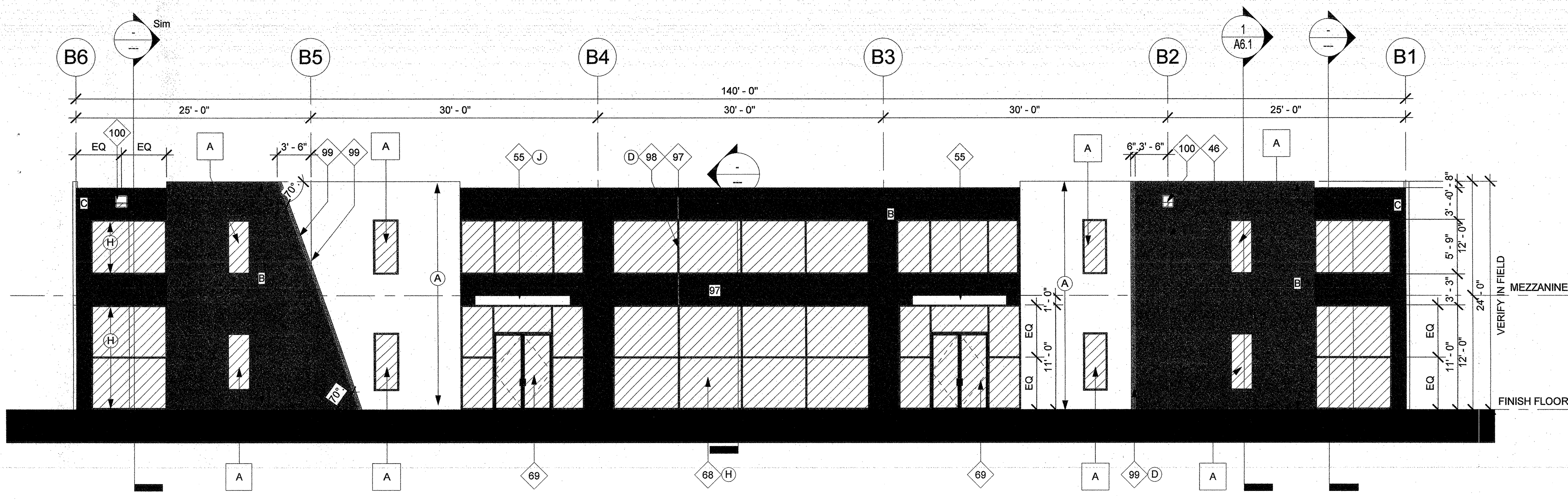
This issuance of a permit based on the approval of these plans shall not constitute approval or endorsement by the City of Costa Mesa of the construction or installation of any work shown on these plans. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable laws, codes and ordinances. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable laws, codes and ordinances. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable laws, codes and ordinances.

DRAWN BY: B.B.
HA&D JOB NO: A18-2012
DRAWING SCALE: AS NOTED

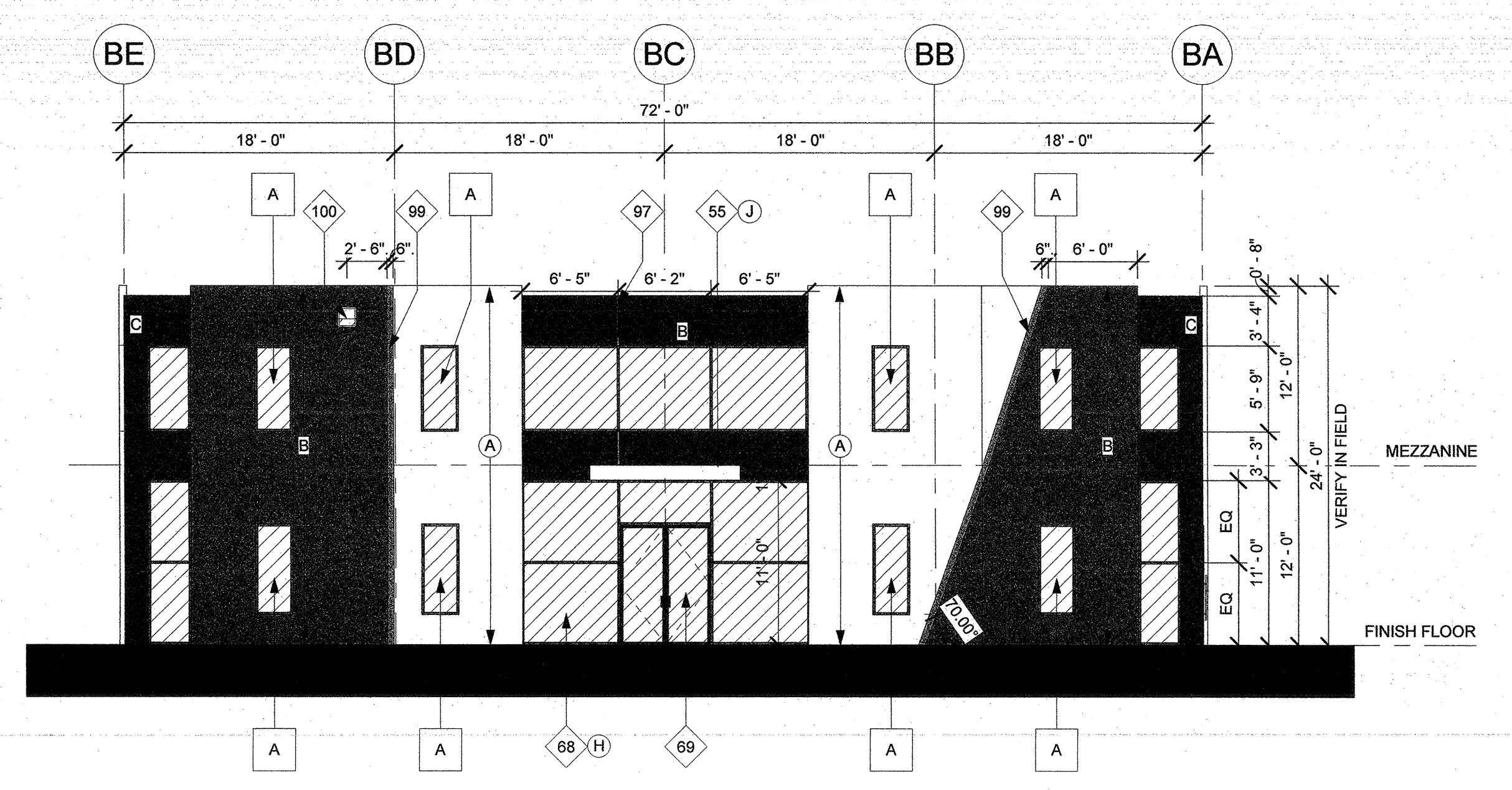
A3.3

BUILDING B
PROPOSED
ELEVATIONS

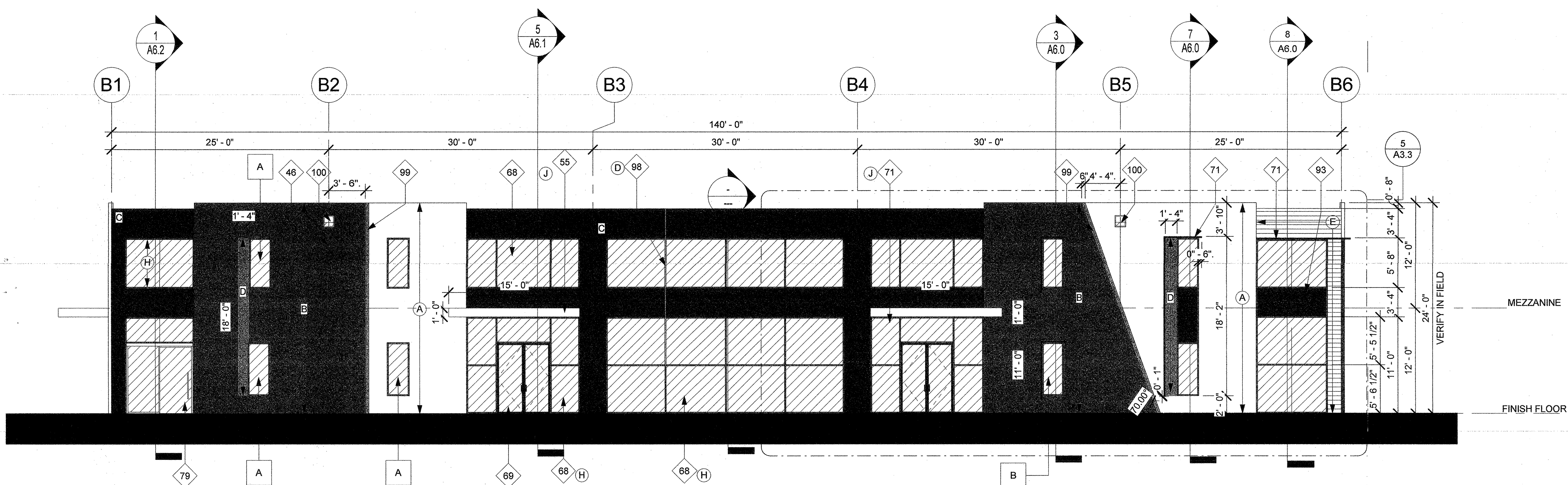
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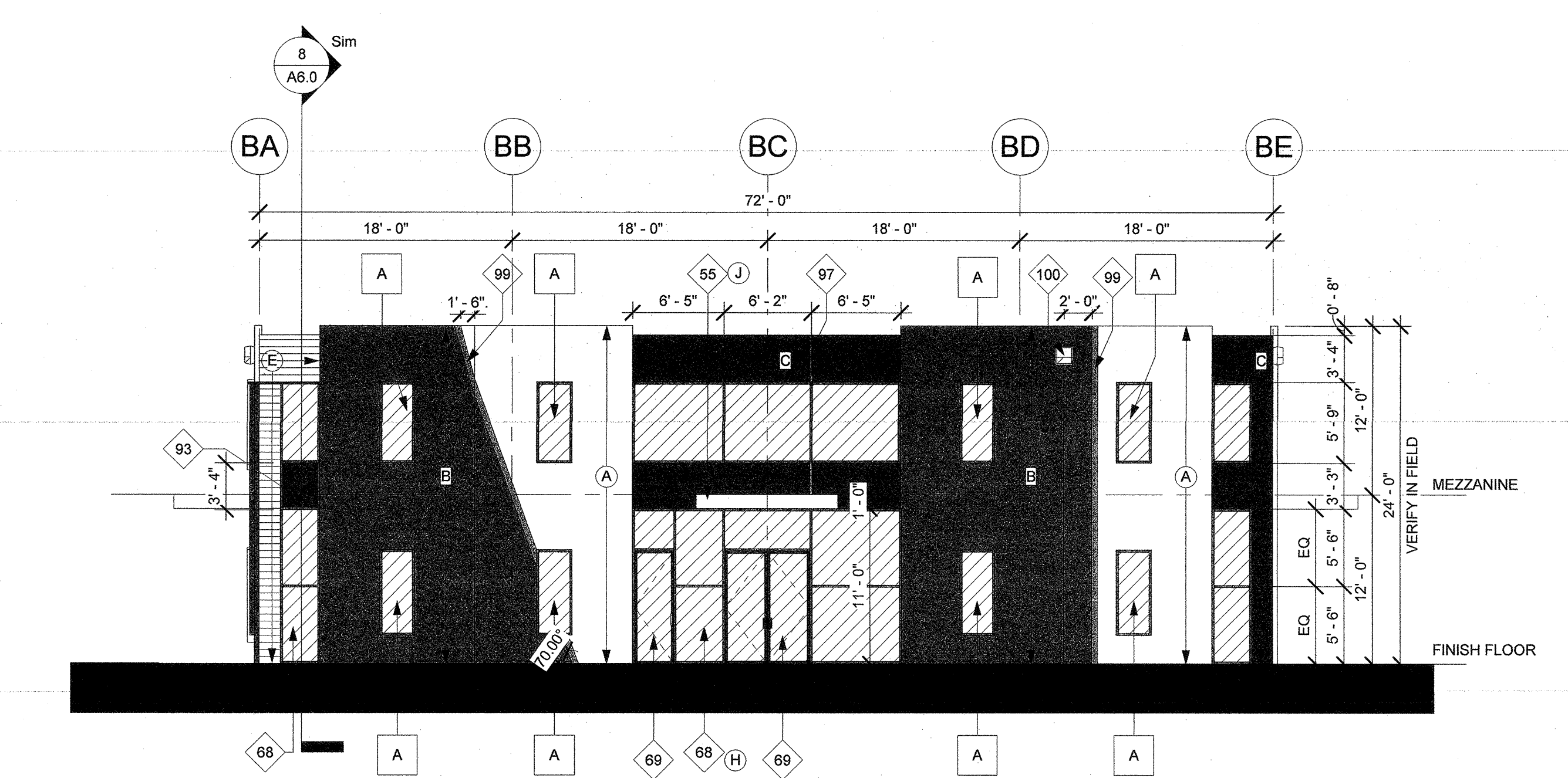
1 BLDG B NORTH ELEVATION
1/8" = 1'-0"



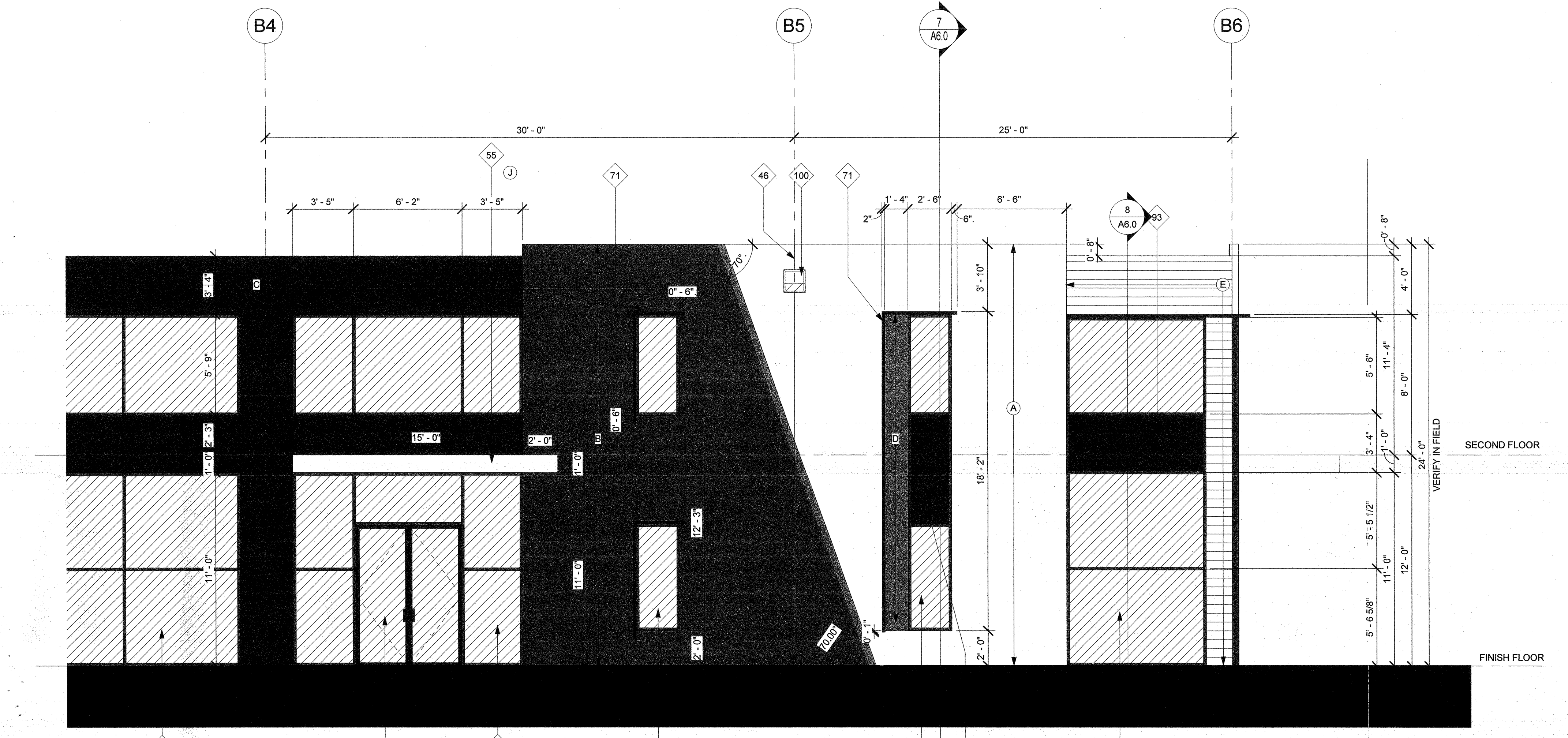
2 BLDG B WEST ELEVATION
1/8" = 1'-0"



3 BLDG B SOUTH ELEVATION
1/8" = 1'-0"



4 BLDG B EAST ELEVATION
1/8" = 1'-0"



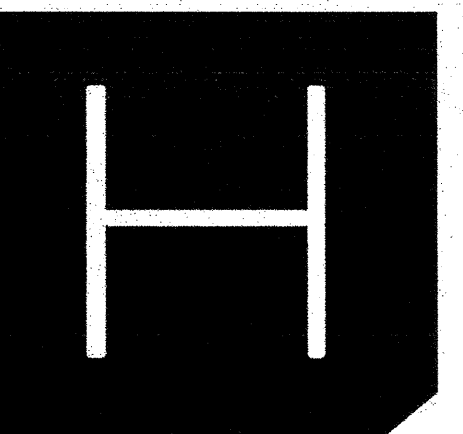
5 ENLARGED BLDG B SOUTH ELEVATION
1/4" = 1'-0"

WINDOW SCHEDULE	
A	WINDOW TYPE A TEMPERED GLASS DEMO EXISTING AND REPLACE WITH NEW. MATCH EXISTING OPENING. VERIFY SIZE IN FIELD
B	WINDOW TYPE B TEMPERED GLASS DEMO EXISTING AND REPLACE WITH NEW. MATCH EXISTING OPENING. VERIFY SIZE IN FIELD WINDOW WITH DECORATIVE BROW PER SECTIONS -
C	WINDOW TYPE C TEMPERED GLASS MATCH HEADER AND SILL WITH EXISTING OPENING PER ELEVATION. SURFACE MOUNTED
D	NEW WINDOW TYPE D TEMPERED GLASS. - X - MATCH SILL AND WIDTH OF THE EXISTING OPENING. SEE ELEVATIONS FOR HEIGHT.
WINDOW NOTES:	
1.	CONTRACTOR TO FIELD VERIFY ROUGH OPENING SIZE FOR WINDOWS AND STREFRONT
2.	TEMPERED GLASS ON THIS PROJECT IS TO BE LABELED "TEMPERED SAFETY GLASS" PER CBC 2408
3.	ALL GLASS ON THIS PROJECT SHALL COMPLY WITH THE I-24 GLAZING'S OVERALL FACTORS, -MAX U-FACTOR= 0.29 -MAX RSHGC= 0.39 -MIN VIT= 70
4.	BASED ON TABLE 140.3-C OF BUILDING ENERGY EFFICIENCY STANDARDS
5.	SUBMIT WINDOW FRAME AND GLAZING SHOP DRAWING TO ARCHITECT AND BUILDING DEP. FOR REVIEW AND APPROVAL.

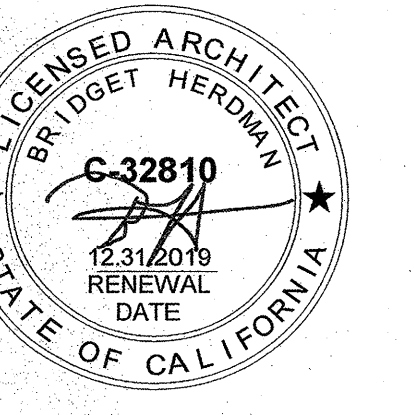
KEYNOTES	
46	(E) PANEL JOINT
55	NEW DECORATIVE BROW & SOLID CANOPY OVER DOORS. PROVIDE RECESSED 4" CAN LIGHTS IN SOLID CANOPY PER REP. CONTRACTOR TO FLASH & WATERSEAL BETWEEN CANOPY AND GLAZING/CONCRETE.
68	NEW STOREFRONT. SEE ELEVATIONS & EXTERIOR COLOR SCHEDULE. STOREFRONT TO BE DESIGNED TO RESIST WIND LOAD AS REQUIRED BY BUILDING CODES AND LOCAL JURISDICTION.
69	NEW EXTERIOR STOREFRONT DOOR. SEE EXTERIOR COLOR SCHEDULE & DOOR SCHEDULE FOR ADDITIONAL INFO.
71	DECORATIVE BREAK METAL BROW POWDER COATED TO MATCH MULLIONS. 2 1/2" X 10" BY GLAZING CONTRACTOR
79	(N) STOREFRONT SLIDING DOOR BY GLAZING CONTRACTOR
93	BREAK METAL. INFILL BY GLAZING CONTRACTOR, TO HIDE THE FLOOR JOISTS
97	2" THICK LINE TO BE PAINTED SW 6920 CENTER SAGE, ALIGNED WITH MULLIONS. SEE COLOR GUIDE
98	VERTICAL MULLION TO BE PAINTED SW 6920 CENTER SAGE IN FIELD. TO BE CONTINUOUS WITH THE GREEN LINE ABOVE
99	6" THICK LINE TO BE PAINTED SW 6920 CENTER SAGE. SEE ELEVATIONS FOR ANGLE
100	LED MOUNTED LED FIXTURE MOUNTED WITH BUILT IN MOTION SENSOR. SEE ELECTRICAL PLANS.

EXTERIOR COLOR SCHEDULE	
(A)	EXTERIOR PAINT COLOR: SW 7045 SHOU WHITE
(B)	EXTERIOR PAINT COLOR: SW 7019 GAUNTLET GRAY
(C)	EXTERIOR PAINT COLOR: SW 7059 IRON ORE
(D)	EXTERIOR PAINT COLOR: SW 6920 CENTER SAGE
(E)	COLOR: 6" ACOOYA WOOD SLAB WITH TWO COATS OF SANSIN ENVIROSTAIN COLOR ROASTED ALMOND WITH ONE COAT OF SEALER GC TO PROVIDE ALTERNATE BID USING REYSISTA 6"
(H)	STOREFRONT SOLARBAN 60 @ CLEAR + CLEAR & BRONZE ANODIZED MULLIONS
(I)	BOARD FORM CONCRETE ON THE SIDES, SAND FINISH ON THE SURFACE OF TREADS/ RISERS AND LANDINGS
(J)	SOLID CANOPY COLOR: WHITE COMPOSITE METAL PANEL

TYP PAINT NOTES:
PAINT MAN DOORS, GUARD WALLS, RAMP WALLS, STAIR WALLS, GUARD RAILS, ROOF DRAINS, AND LOUVERS TO MATCH ADJACENT BUILDING WALL U.N.O.



HERDMAN ARCHITECTURE + DESIGN



16201 SCIENTIFIC WAY
IRVINE, CA 92618
TEL 714.389.2800
INFO@HERDMAN-AD.COM

PROJECT NAME

660 BAKER EXTERIOR RENOVATION

660 BAKER
COSTA MESA, CA

CLIENT



841 APOLLO STREET, SUITE
334 EL SEGUNDO, CA 90245

PROJECT TEAM

GENERAL CONTRACTOR
SMITH AND SEVERSON BUILDER

STRUCTURAL ENGINEER
GRIMM + CHEN STRUCTURAL ENG. INC.

MECHANICAL ENGINEER

PLUMBING ENGINEER

ELECTRICAL ENGINEER
RPM ENGINEERS, INC.
CIVIL
MFKRESSLER

DRAWING INFO

ID	DATE	DESCRIPTION
1	09.21.2018	1ST BUILDING SUBMITTAL
3	11.09.2018	3RD BUILDING SUBMITTAL
6	12.11.2019	4TH BUILDING SUBMITTAL

RECD: [Signature]
CITY OF COSTA MESA
SCOTT FARRAS & ASSOCIATES, INC.

Issuance of a building permit is pending approval of applicable City Agencies.

This issuance or granting of a permit based on approval of these plans shall not constitute a permit or ordinance. No person is authorized to violate or attempt to violate any applicable codes or ordinances. The person is liable to the authority to violate or attempt to violate any applicable codes shall be void.

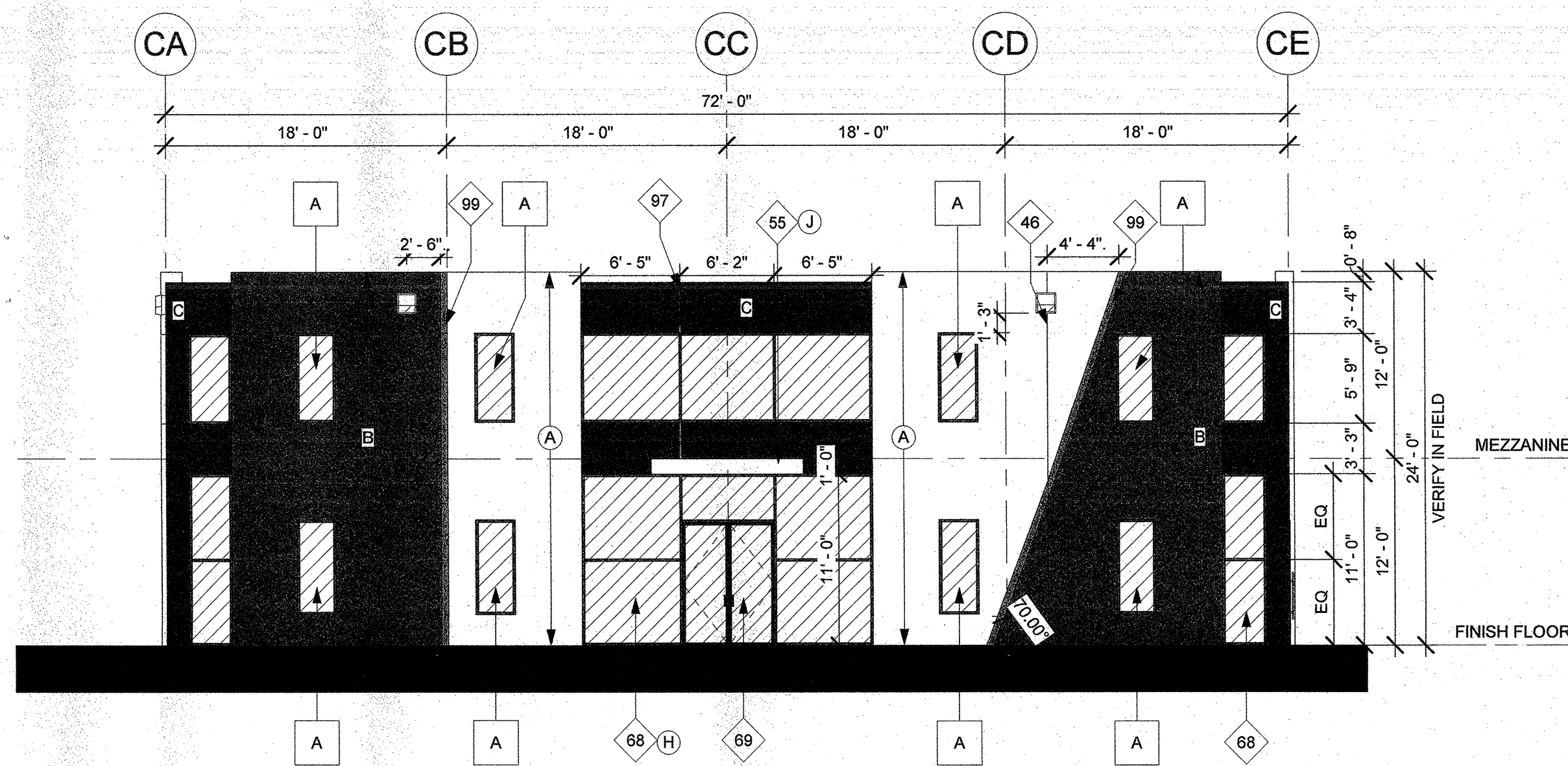
DRAWN BY: B.B.
H&AD JOB NO: A18-2012
DRAWING SCALE: AS NOTED

SHEET

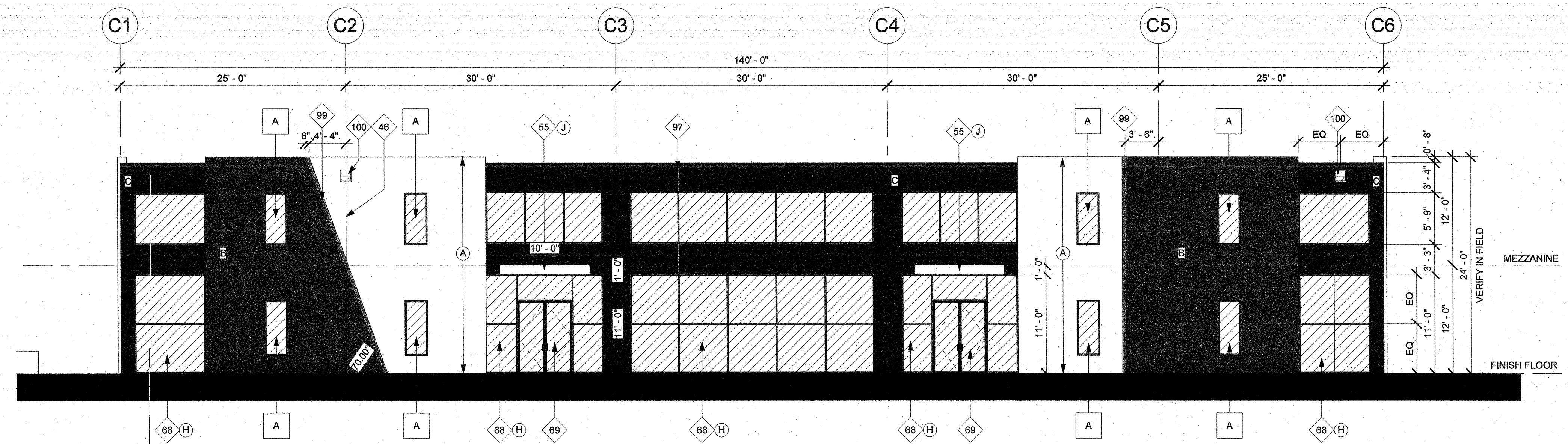
A4.3

BUILDING C PROPOSED ELEVATIONS

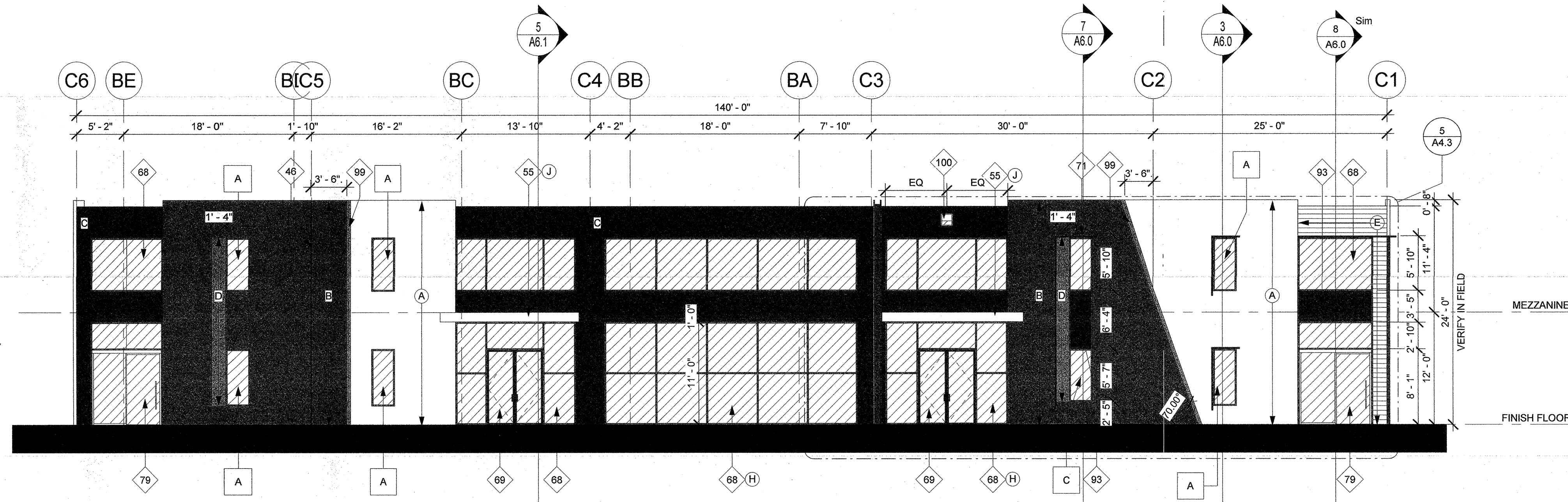
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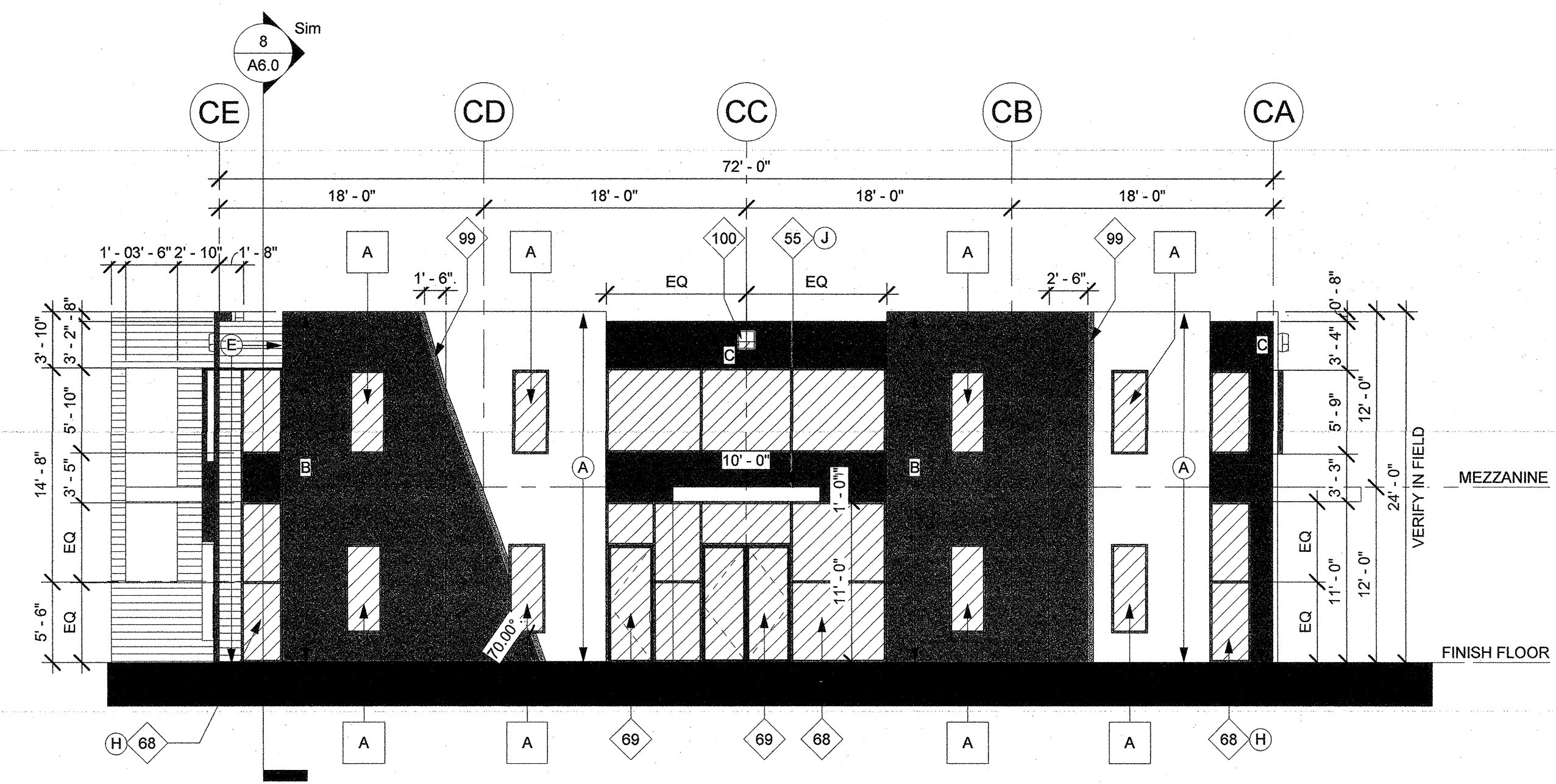
1 BLDG C NORTH ELEVATION
1/8" = 1'-0"



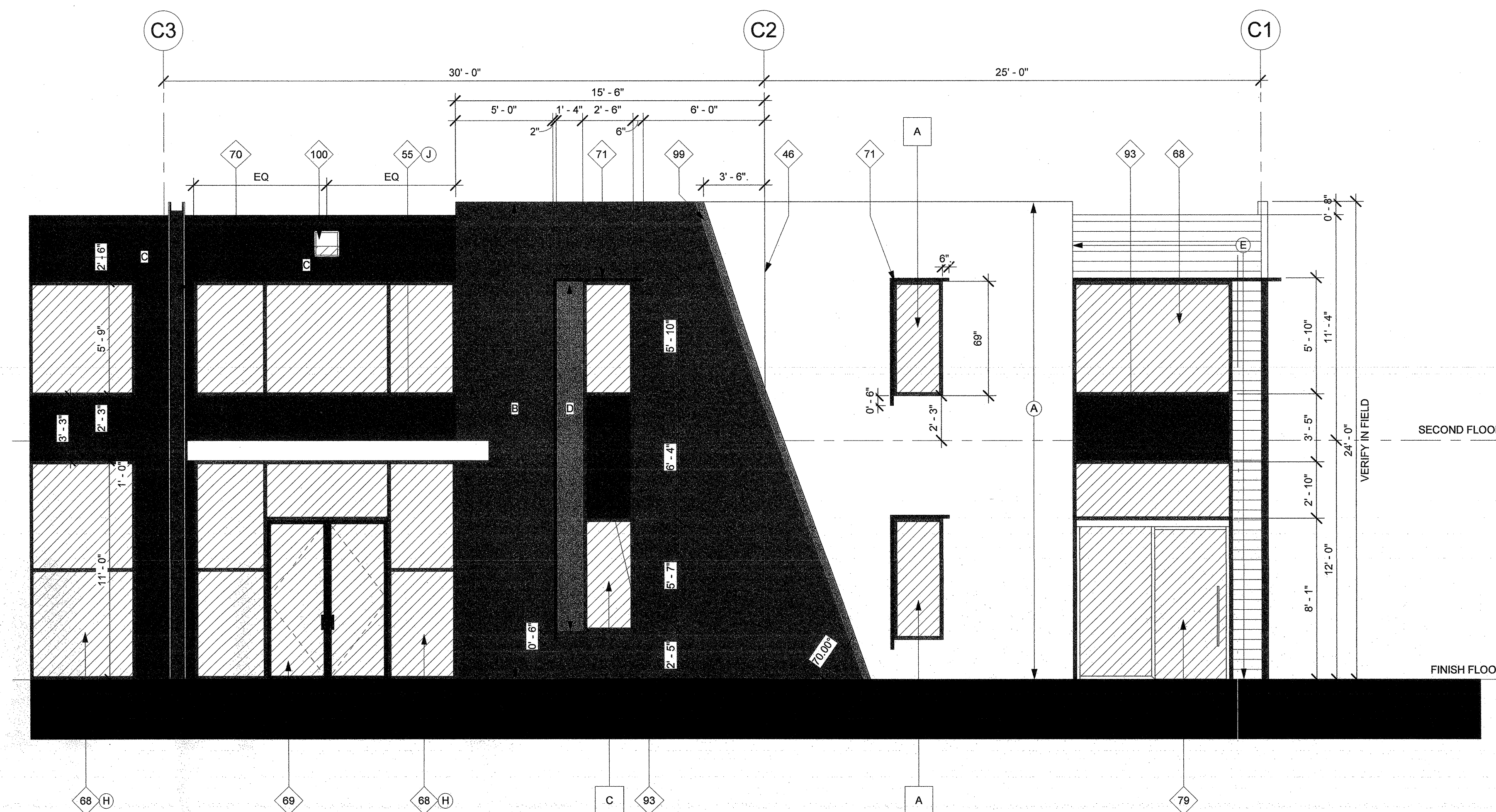
2 BLDG C EAST ELEVATION
1/8" = 1'-0"



3 BLDG C WEST ELEVATION
1/8" = 1'-0"



4 BLDG C SOUTH ELEVATION
1/8" = 1'-0"



5 ENLARGED BLDG C WEST ELEVATION
1/4" = 1'-0"

KEYNOTES

- 46 (E) PANEL JOINT
- 55 NEW DECORATIVE BROW & SOLID CANOPY OVER DOORS. PROVIDE RECESSED 4" CAN LIGHTS IN SOLID CANOPY PER REP. CONTRACTOR TO FLASH & WATERSEAL BETWEEN CANOPY AND GLAZING/CONCRETE.
- 68 NEW STOREFRONT. SEE ELEVATIONS & EXTERIOR COLOR SCHEDULE. STOREFRONT TO BE DESIGNED TO RESIST WIND LOAD AS REQUIRED BY BUILDING CODES AND LOCAL JURISDICTION.
- 69 NEW EXTERIOR STOREFRONT DOOR. SEE EXTERIOR COLOR SCHEDULE & DOOR SCHEDULE FOR ADDITIONAL INFO.
- 70 (N) DECORATIVE FIN. SEE STRUCTURAL DWGS.
- 71 DECORATIVE BREAK METAL BROW POWDER COATED TO MATCH MULLIONS. 2 1/2" X 10" BY GLAZING CONTRACTOR
- 79 (N) STOREFRONT SLIDING DOOR BY GLAZING CONTRACTOR
- 93 BREAK METAL INFILL BY GLAZING CONTRACTOR, TO HIDE THE FLOOR JOISTS.
- 97 2" THICK LINE TO BE PAINTED SW 6920 CENTER SAGE, ALIGNED WITH MULLIONS, SEE COLOR GUIDE
- 99 6" THICK LINE TO BE PAINTED SW 6920 CENTER SAGE. SEE ELEVATIONS FOR ANGLE
- 100 MOUNTED LED FIXTURE MOUNTED WITH BUILT IN MOTION SENSOR. SEE ELECTRICAL PLANS.

LEGEND

VISION GLAZING: [Symbol]

NOTE: SINGLE PANE GLAZING PAINT FACE OF CONCRETE PANEL BEHIND BLACK & PROVIDE AIR HOLES. NO SPANDREL COATING REQUIRED.

NOTE: ALL EXTERIOR GLAZING SHALL BE TEMPERED INCLUDING SPANDREL GLAZING.

EXTERIOR COLOR SCHEDULE

- A EXTERIOR PAINT COLOR: SW 7042 SHOJI WHITE
- B EXTERIOR PAINT COLOR: SW 7019 GAUNTLET GRAY
- C EXTERIOR PAINT COLOR: SW 7069 IRON ORE
- D EXTERIOR PAINT COLOR: SW 6920 CENTER STAGE
- E COLOR: 6" ACOOYA WOOD SLAB WITH TWO COATS OF SANSIN ENVIROSTAIN COLOR ROASTED ALMOND WITH ONE COAT OF SEALER. C/C TO PROVIDE ALTERNATE BID USING REYSISSTA 6"
- H STOREFRONT SOLARBAN 60 @ CLEAR + CLEAR & BRONZE ANODIZED MULLIONS
- I BOARD FORM CONCRETE ON THE SIDES, SAND FINISH ON THE SURFACE OF TREADS/ RISERS AND LANDINGS.
- J SOLID CANOPY COLOR: WHITE COMPOSITE METAL PANEL

WINDOW SCHEDULE

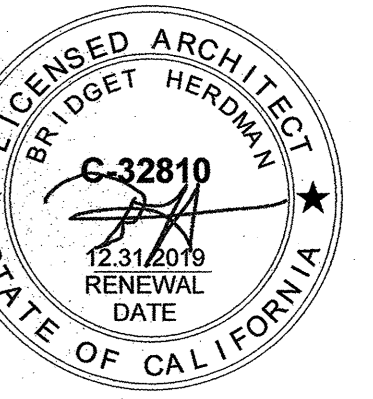
- A WINDOW TYPE A TEMPERED GLASS DEMO EXISTING AND REPLACE WITH NEW, MATCH EXISTING OPENING, VERIFY SIZE IN FIELD
- B WINDOW TYPE B TEMPERED GLASS DEMO EXISTING AND REPLACE WITH NEW, MATCH EXISTING OPENING, VERIFY SIZE IN FIELD WINDOW WITH DECORATIVE BROW PER SECTIONS --
- C WINDOW TYPE C TEMPERED GLASS MATCH HEADER AND SILL WITH EXISTING OPENING PER ELEVATION, SURFACE MOUNTED
- D NEW WINDOW TYPE D TEMPERED GLASS, --X-- MATCH SILL AND WIDTH OF THE EXISTING OPENING, SEE ELEVATIONS FOR HEIGHT.

WINDOW NOTES:

1. CONTRACTOR TO FIELD VERIFY ROUGH OPENING SIZE FOR WINDOWS AND STOREFRONT
2. TEMPERED GLASS ON THIS PROJECT IS TO BE LABELED "TEMPERED SAFETY GLASS" PER CBC 2406
3. ALL GLASS ON THIS PROJECT SHALL COMPLY WITH THE T-24 GLAZING'S OVERALL FACTORS:
-MAX U-FACTOR= 0.29
-MAX RSHGC=0.39
-MIN VT=0.70
BASED ON TABLE 140.3-C OF BUILDING ENERGY EFFICIENCY STANDARDS
SUBMIT WINDOW FRAME AND GLAZING SHOP DRAWING TO ARCHITECT AND BUILDING DEP. FOR REVIEW AND APPROVAL.
- 5.



HERDMAN
ARCHITECTURE + DESIGN



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841 APOLLO STREET, SUITE
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PLUMBING ENGINEER

ELECTRICAL ENGINEER

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CIVIL

MFKESSLER

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RECOMMENDED FOR APPROVAL
CITY OF COSTA MESA
SCOTT FAZERAK & ASSOCIATES, INC.

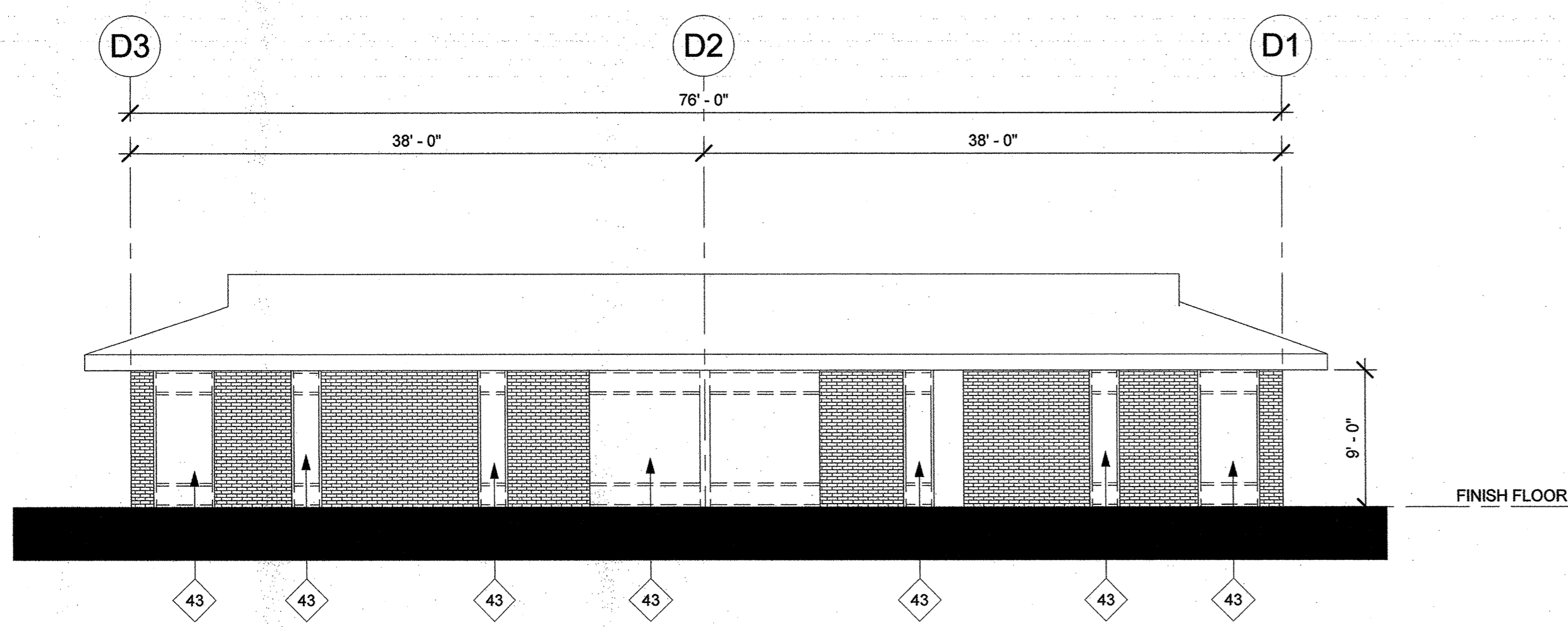
BY	DATE
Issue of a building permit is providing approval of applicable City Agencies	
This issuance or granting of a permit based on these plans shall not be construed as approval of any other laws, codes, ordinances or provisions. No permit presumed to have been issued or granted shall be voided or cancelled by the provisions of such laws, codes, ordinances or provisions.	

DRAWN BY: B.B.
H-ADD JOB NO: A18-2012
DRAWING SCALE: AS NOTED

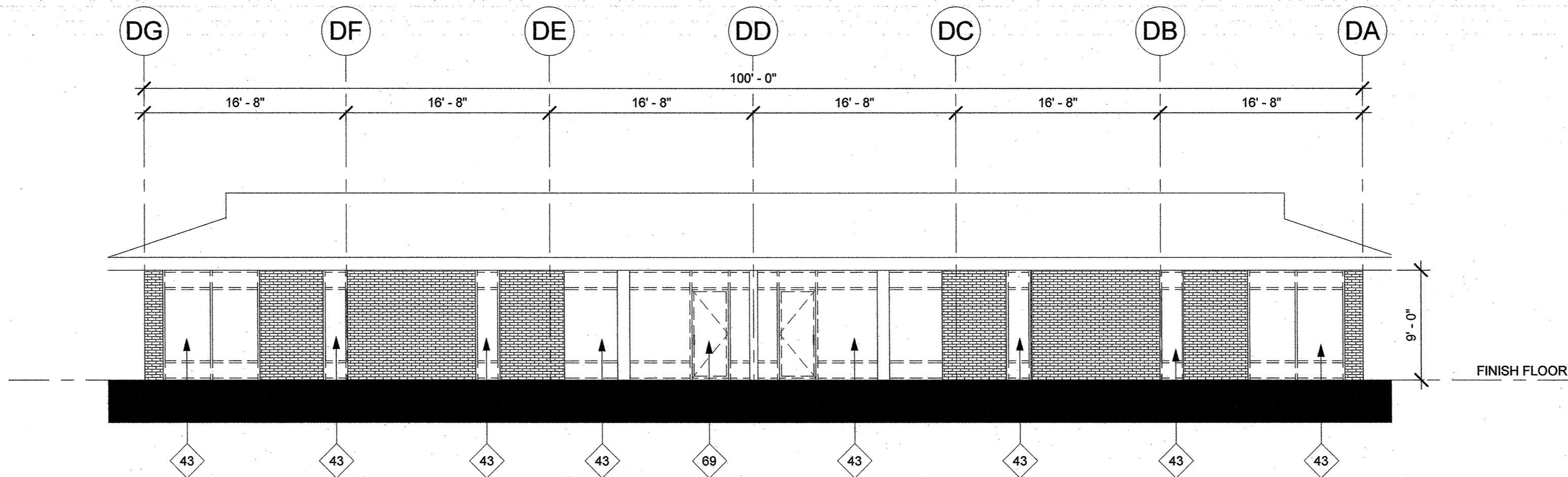
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A5.2

**BUILDING D
ELEVATIONS**

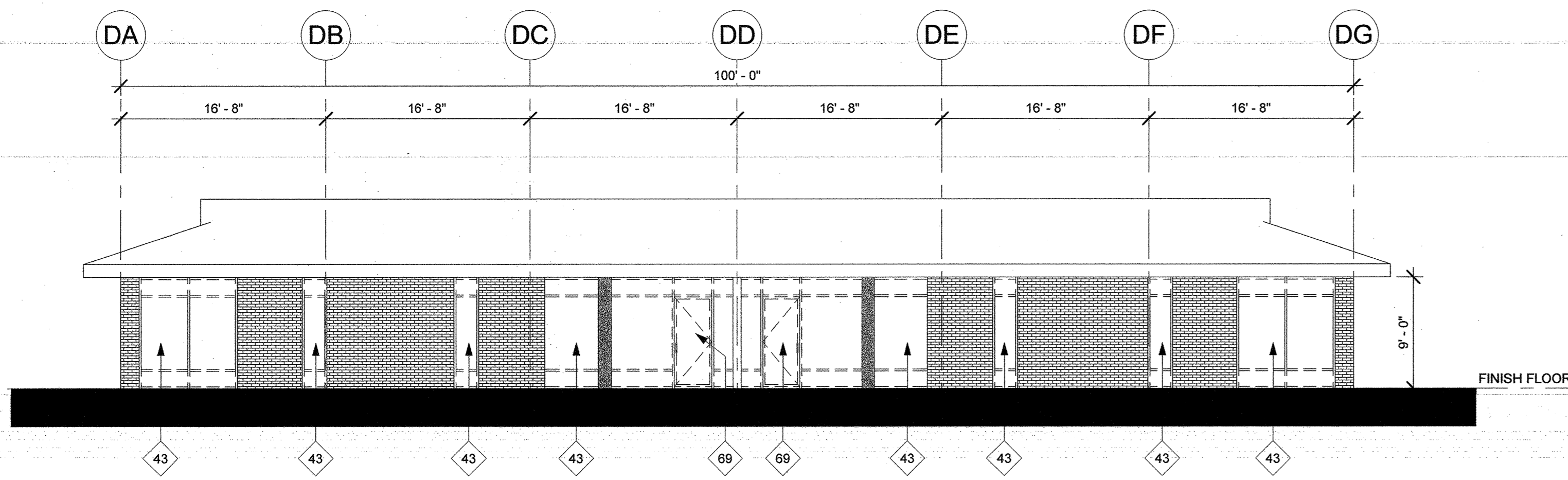
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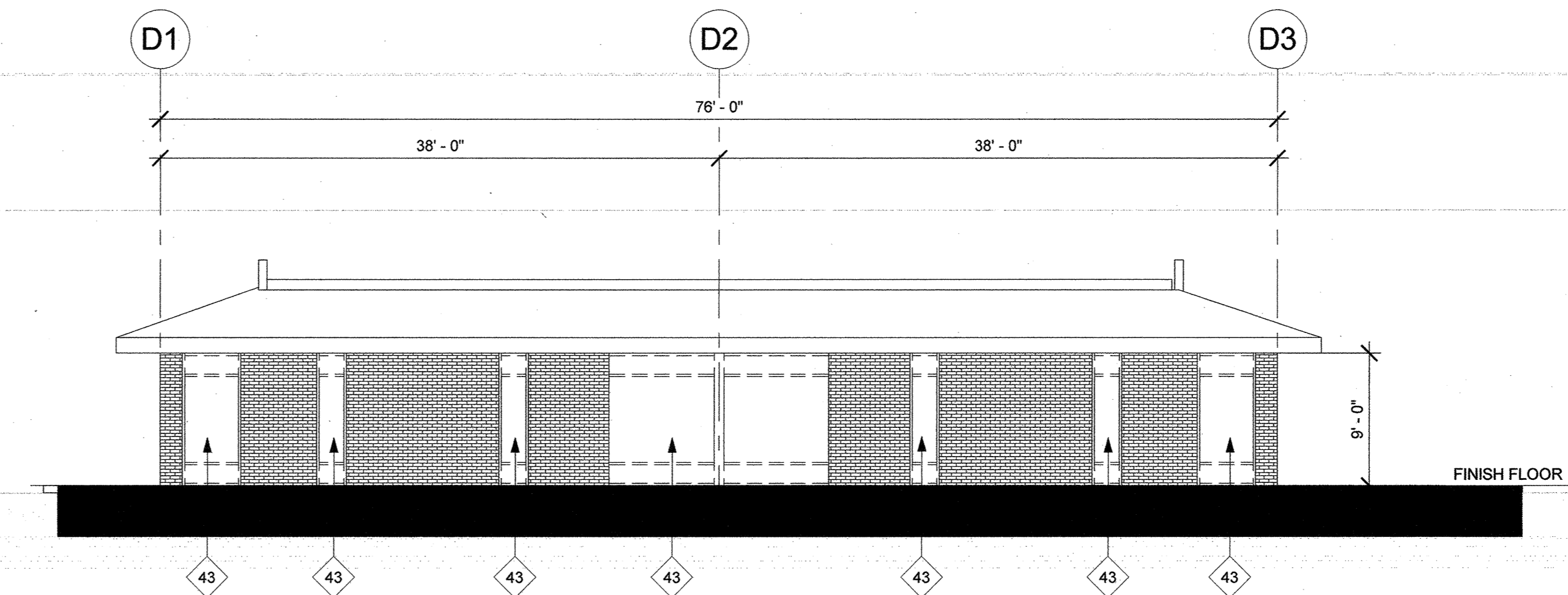
1 BLDG D DEMO NORTH ELEVATION
1/8" = 1'-0"



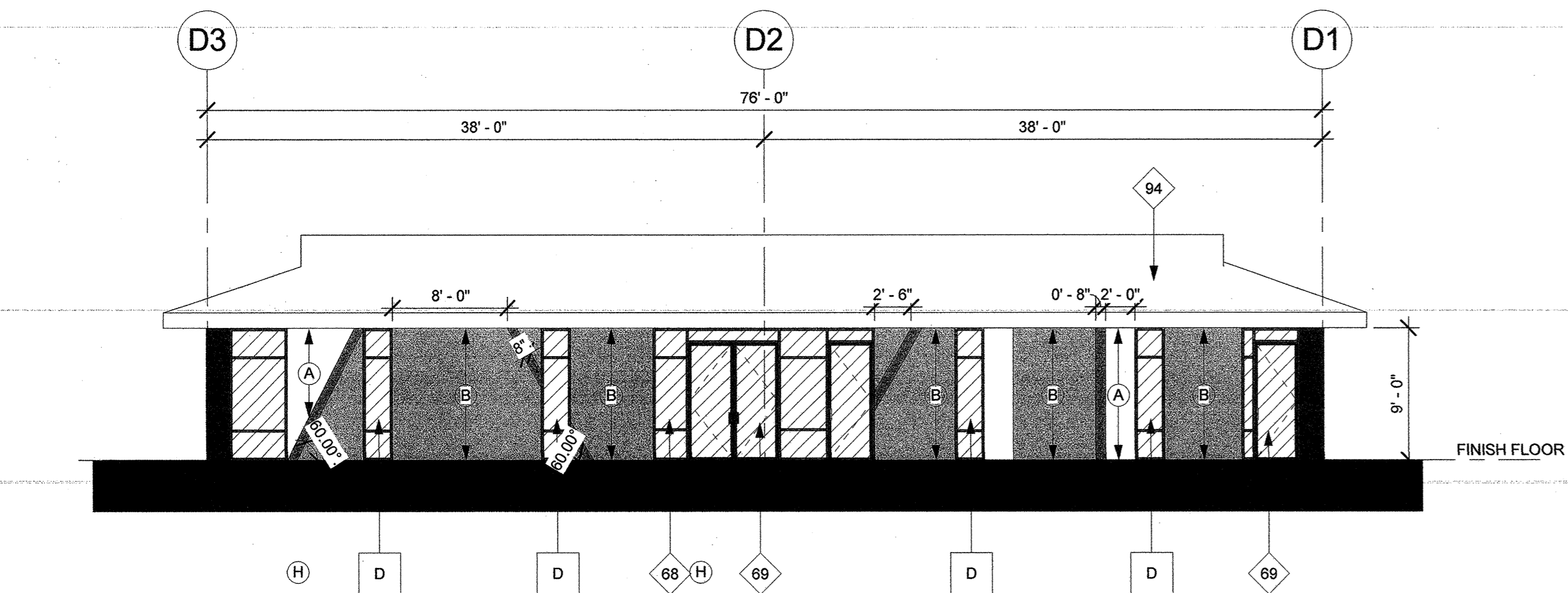
2 BLDG D DEMO EAST ELEVATION
1/8" = 1'-0"



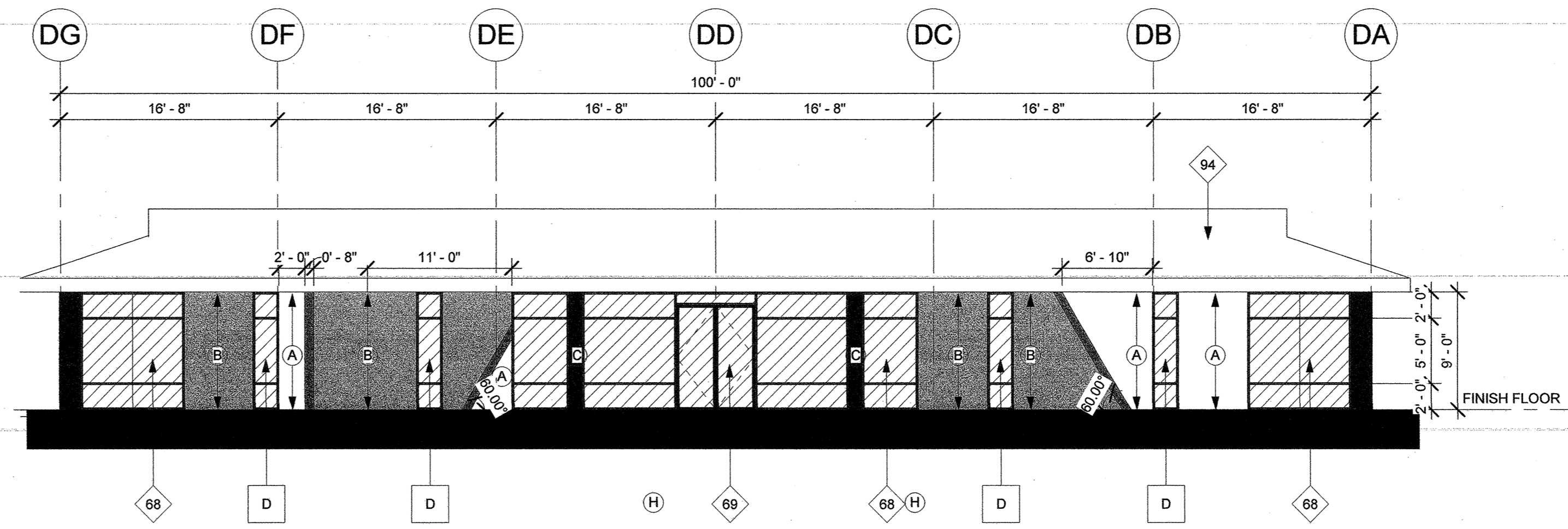
3 BLDG D DEMO WEST ELEVATION
1/8" = 1'-0"



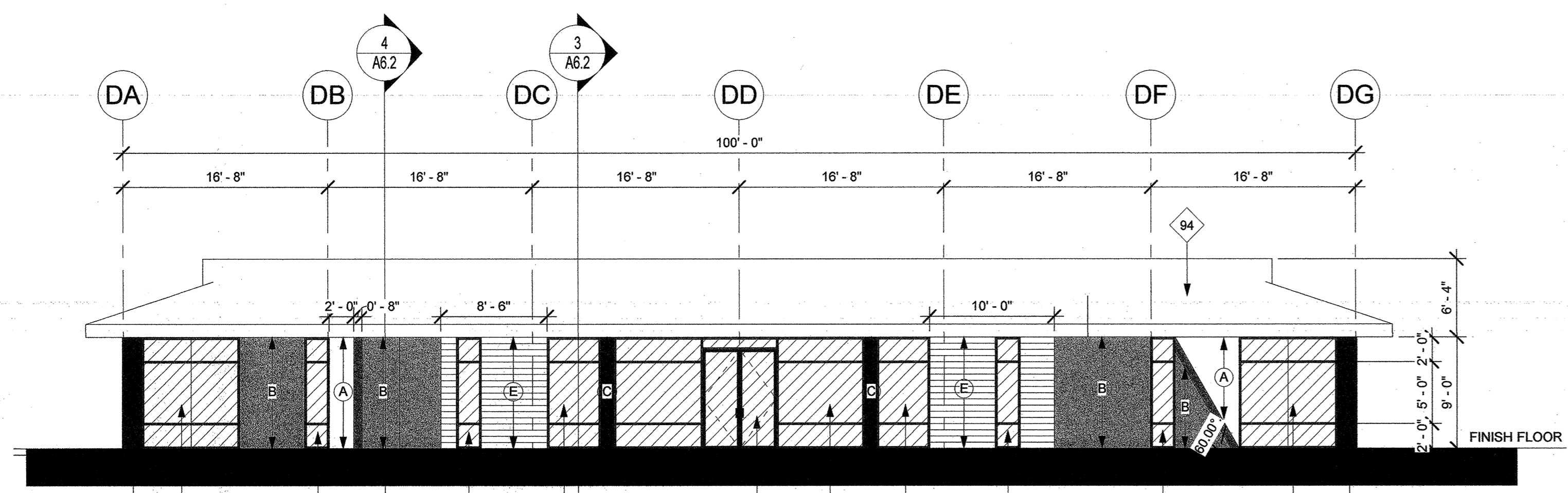
4 BLDG D DEMO SOUTH ELEVATION
1/8" = 1'-0"



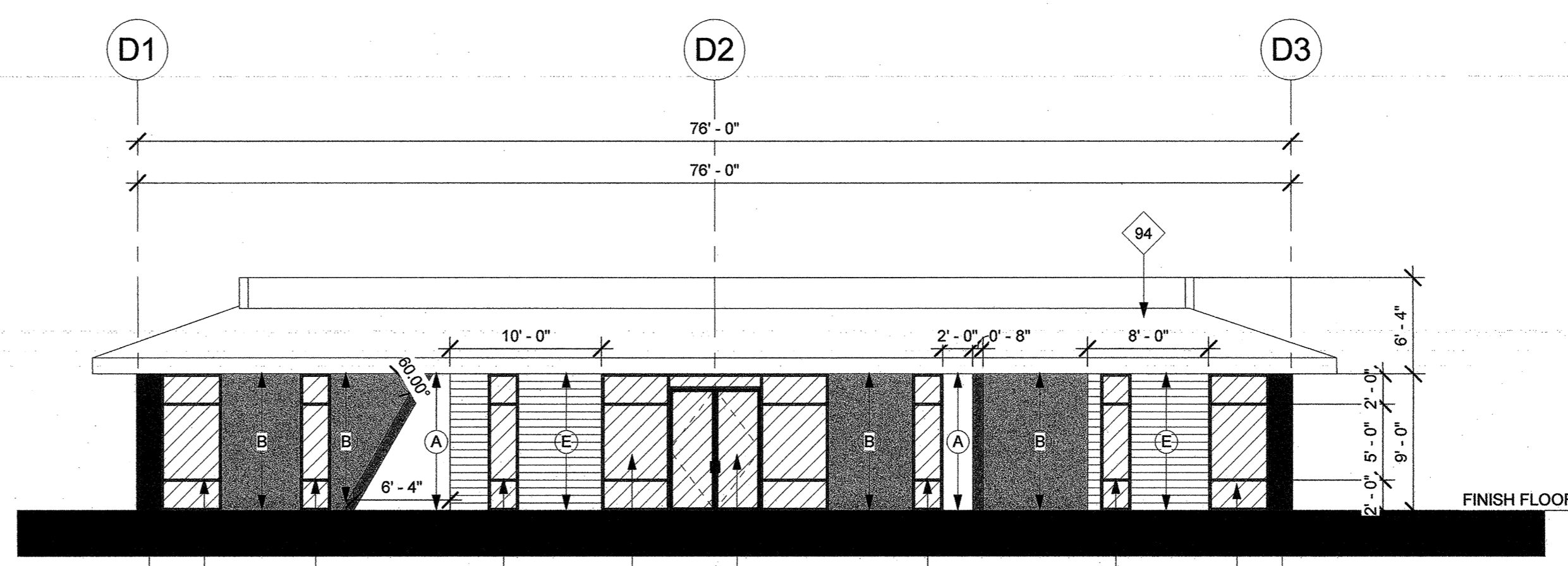
5 BLDG D NORTH ELEVATION
1/8" = 1'-0"



6 BLDG D EAST ELEVATION
1/8" = 1'-0"



7 BLDG D WEST ELEVATION
1/8" = 1'-0"



8 BLDG D SOUTH ELEVATION
1/8" = 1'-0"

KEYNOTES

- 43 DEMO & REMOVE EXISTING STOREFRONT. REPLACE AS SHOWN
- 68 NEW STOREFRONT. SEE ELEVATIONS & EXTERIOR COLOR SCHEDULE. STOREFRONT TO BE DESIGNED TO RESIST WIND LOAD AS REQUIRED BY BUILDING CODES AND LOCAL JURISDICTION.
- 69 NEW EXTERIOR STOREFRONT DOOR. SEE EXTERIOR COLOR SCHEDULE & DOOR SCHEDULE FOR ADDITIONAL INFO.
- 94 EXISTING MANSARD ROOF TO REMAIN. REPLACE OLD ROOF SHINGLES WITH STANDING SEEM METAL ROOFING BY PAC-CLAD IN STYLE TIT-LOC, GRAPHITE OR BLACK COLOR.
- 95 BREAK METAL TO BE ATTACHED TO EXISTING CONCRETE PANEL BY SHEET METAL CONTRACTOR AND FURRED OUT AS NEEDED.

WINDOW SCHEDULE

- A WINDOW TYPE A TEMPERED GLASS DEMO EXISTING AND REPLACE WITH NEW. MATCH EXISTING OPENING. VERIFY SIZE IN FIELD
- B WINDOW TYPE B TEMPERED GLASS DEMO EXISTING AND REPLACE WITH NEW. MATCH EXISTING OPENING. VERIFY SIZE IN FIELD WINDOW WITH DECORATIVE BROW PER SECTIONS
- C WINDOW TYPE C TEMPERED GLASS MATCH HEADER AND SILL WITH EXISTING OPENING PER ELEVATION. SURFACE MOUNTED
- D NEW WINDOW TYPE D TEMPERED GLASS - X - MATCH SILL AND WIDTH OF THE EXISTING OPENING. SEE ELEVATIONS FOR HEIGHT.

WINDOW NOTES:

- CONTRACTOR TO FIELD VERIFY ROUGH OPENING SIZE FOR WINDOWS AND STOREFRONT
- TEMPERED GLASS ON THIS PROJECT IS TO BE LABELED "TEMPERED SAFETY GLASS" PER CBC 2408
- ALL GLASS ON THIS PROJECT SHALL COMPLY WITH THE T-24 GLAZING'S OVERALL FACTORS:
- MAX U-FACTOR= 0.29
- MAX GSHGC= 0.39
- MIN VT= 0.70
BASED ON TABLE 140.3-C OF BUILDING ENERGY EFFICIENCY STANDARDS
- SUBMIT WINDOW FRAME AND GLAZING SHOP DRAWING TO ARCHITECT AND BUILDING DEP. FOR REVIEW AND APPROVAL

LEGEND

VISION GLAZING: [Hatched Pattern]

NOTE: SINGLE PANE GLAZING PAINT FACE OF CONCRETE PANEL BEHIND BLACK & PROVIDE AIR HOLES. NO SPANDREL COATING REQUIRED.

NOTE: ALL EXTERIOR GLAZING SHALL BE TEMPERED INCLUDING SPANDREL GLAZING.

EXTERIOR COLOR SCHEDULE

- (A) EXTERIOR PAINT COLOR: SW 7042 SHOJI WHITE
- (B) EXTERIOR PAINT COLOR: SW 7019 GAUNTLET GRAY
- (C) EXTERIOR PAINT COLOR: SW 7069 IRON ORE
- (D) EXTERIOR PAINT COLOR: SW 6920 CENTER STAGE
- (E) COLOR: 8" ACOYUA WOOD SLAB WITH TWO COATS OF SANSIN ENVIROSTAIN COLOR ROASTED ALMOND WITH ONE COAT OF SEALER GC TO PROVIDE ALTERNATE BID USING REYSISTA 6"
- (H) STOREFRONT SOLARBAN 60 @ CLEAR + CLEAR & BRONZE ANODIZED MULLIONS
- (I) BOARD FORM CONCRETE ON THE SIDES. SAND FINISH ON THE SURFACE OF TREADS/ RISERS AND LANDINGS
- (J) SOLID CANOPY COLOR: WHITE COMPOSITE METAL PANEL

TYP PAINT NOTES:
PAINT MAN DOORS, GUARD WALLS, RAMP WALLS, STAIR WALLS, GUARD RAILS, ROOF DRAINS, AND LOUVERS TO MATCH ADJACENT BUILDING WALL U.I.D.