

PROJECT TEAM

CIVIL ENGINEERING / SURVEYOR:
ITF & ASSOCIATES
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EMAIL: JEFF@ITF-ASSOCIATES.COM
CONTACT: YEFIM "JEFF" TSAI, YUK PRINCIPAL

SOILS:
ASSOCIATED SOILS ENGINEERING, INC.
2860 WALNUT AVENUE
SIGNAL HILL, CA 90755
TEL: (562) 426-7190
FAX: (562) 426-1842
CONTACT: LAWRENCE J.D. CHANG

CALGREEN & ENERGY COMPLIANCE:
RICK MAURER TITLE 24, INC.
7544 E. SADDLEHILL TRAIL
ORANGE, CA 92669
(714) 771-1507
CONTACT: RICK MAURER 502290 C20

OWNER/ APPLICANT:
1022 W. WILSON, LLC
1536 Vivian LANE
NEWPORT BEACH CA 92660
CONTACT: GRANT BIXBY (949) 977-0111 / GRANT@BIXBYRESIDENTIAL.COM

ARCHITECT:
BRYANT PALMER SOTO
2601 AIRPORT DRIVE SUITE 310
TORRANCE, CALIFORNIA 90505
(310) 326-9111, EXT 120
CONTACT: KEITH PALMER AIA C11096

STRUCTURAL ENGINEERING:
PHILIP G. SOMA, JR. PE, PRESIDENT
STRUCTURES DESIGN GROUP, INC.,
252 S BRENTWOOD PL
ANAHEIM, CA 92804
(714)313-4747
CONTACT: PHILIP G. SOMA PE 46231

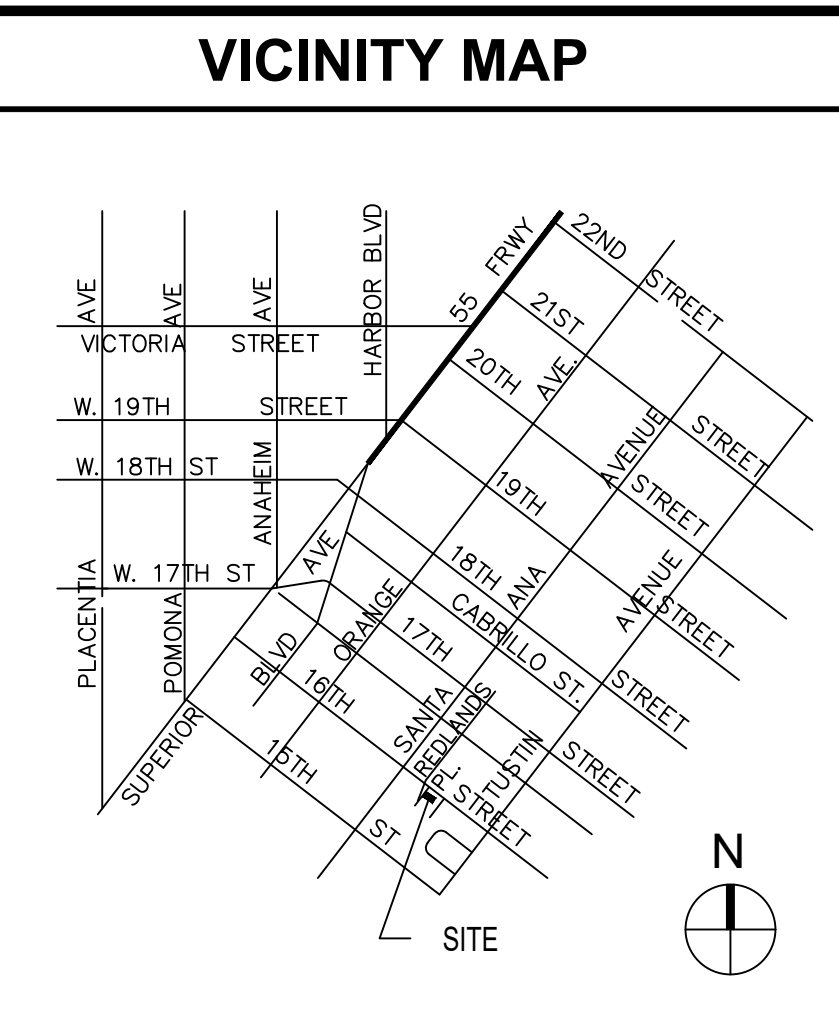
LANDSCAPE ARCHITECT:
BGB DESIGN GROUP
3185-C1 AIRWAY AVENUE
COSTA MESA, CA 92626
(714) 545-2898
CONTACT: ARTHUR GUY

CODE DATA

ALL WORK TO CONFORM TO:
2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA RESIDENTIAL CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA GREEN BUILDING CODE
2022 CALIFORNIA ENERGY EFFICIENCY STANDARDS (T-24)
CURRENT CITY OF COSTA MESA REGULATIONS AND ORDINANCES

OCCUPANCY: GROUP R - 3
CONSTRUCTION TYPE: II B
STORIES: 2

AUTOMATIC FIRE SPRINKLERS REQUIRED IN ACCORDANCE WITH NFPA 13 D AND CBC 903.3.1.3 SHALL BE PROVIDED IN LIEU OF ON SITE TURN AROUND FOR FIRE LANE AS REQUIRED BY COSTA MESA FIRE DEPARTMENT. DEFERRED SUBMITTAL & APPROVAL REQUIRED PRIOR TO INSTALLATION.



PROJECT DESCRIPTION

DEMOLISH AN EXISTING SINGLE-FAMILY RESIDENCE (SFR) AND DETACHED GARAGE/WORKSHOP, CREATE TWO SIDE-BY-SIDE LOTS, AND BUILD TWO NEW SFRS WITH THEIR OWN ADDRESSES AND APNS.

NOTE: DEVELOPMENT CRITERIA WILL BE IN ACCORDANCE WITH THE SMALL LOT ORDINANCE

PROJECT DATA

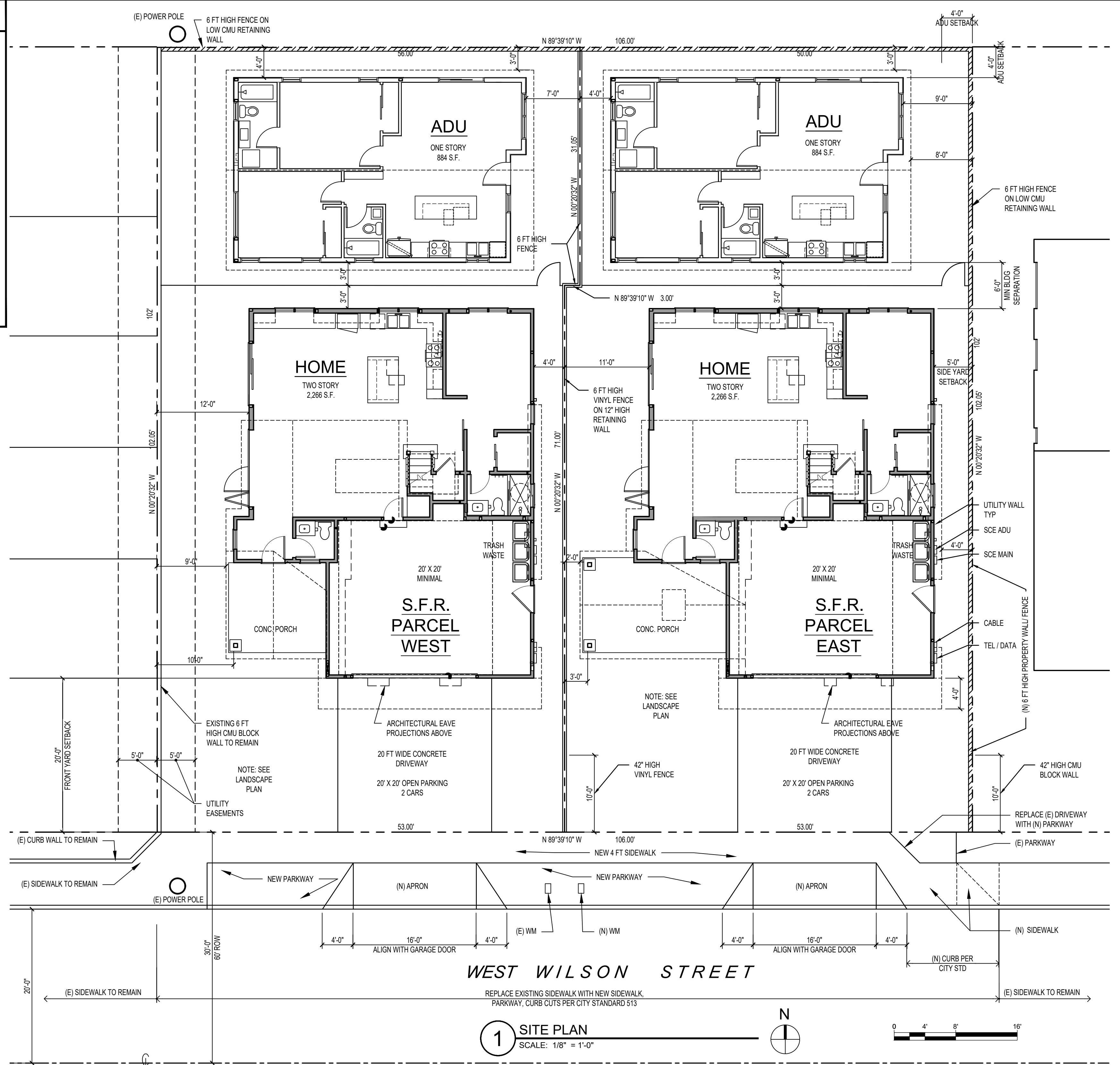
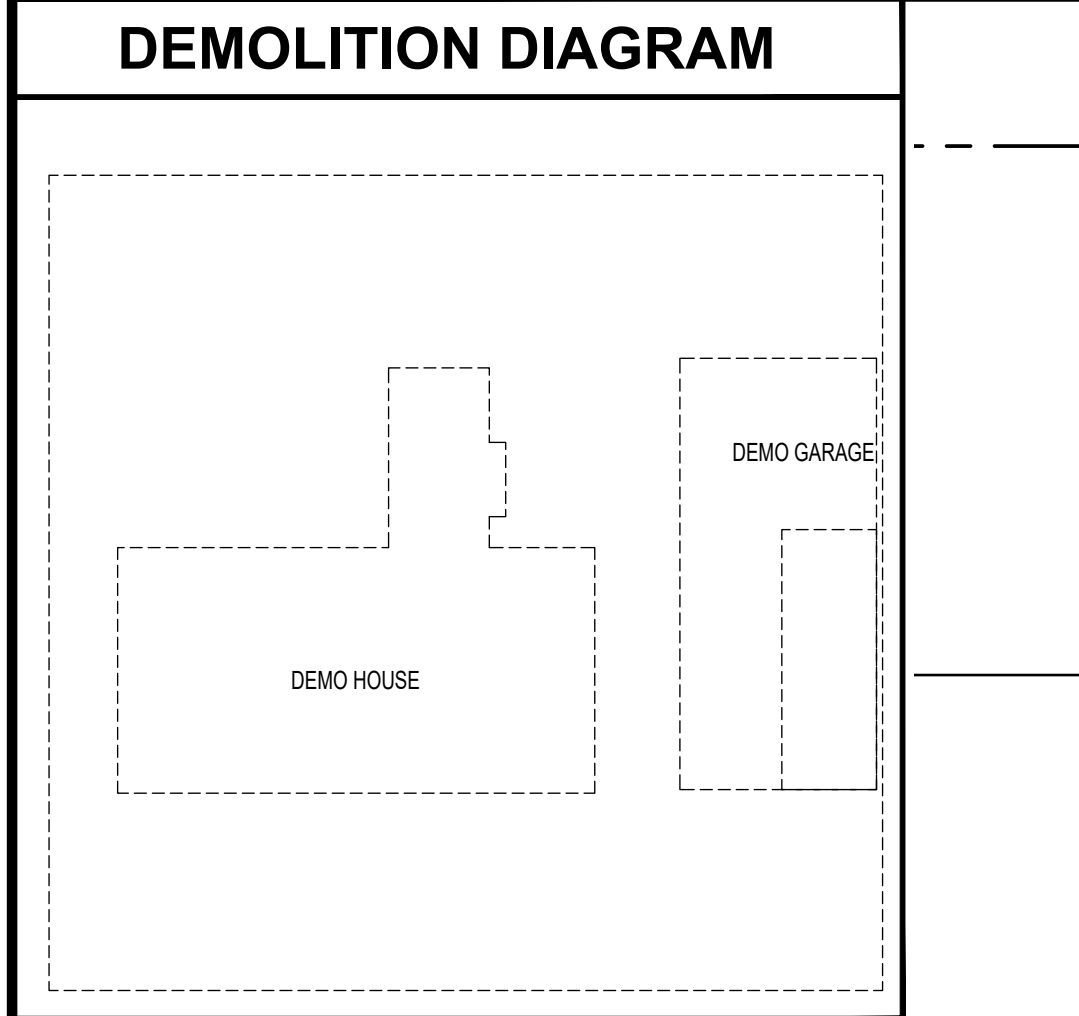
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|----------------------|-----------------------------|
| LOT AREA: | 10,817 S.F. (.25 ACRES) |
| PARCEL EAST AREA: | 5,315 S.F. |
| PARCEL WEST AREA: | 5,502 S.F. |
| PARCEL NUMBER (APN): | 422-051-05 |
| LAND USE: | RESIDENTIAL, MULTI-FAMILY |
| TOTAL BUILDING AREA: | 3,150 S.F. X 2 = 6,300 S.F. |

Architect:

ATTACHMENT 7

BPS

Bryant Palmer Soto Inc.
Neil Stanton Palmer ARCHITECTS / Jack K. Bryant ENGINEERS
2001 Airport Drive, Suite 310, Torrance, CA 90505
Telephone: (310) 326-9111
Fax: (310) 325-0271



PROPOSED FLOOR AREA EAST UNIT SUMMARY:

| | | | |
|-----------------|------------|-------------------|-----------------------------|
| 1ST FLR | 2ND FLR | TOTAL | |
| SFR: 1,084 S.F. | 1,182 S.F. | 2,266 S.F. | 4BR / 3.5 B |
| ADU: 884 S.F. | | 884 S.F. | 2BR / 2B |
| TOTAL: | | 3,150 S.F. | PLUS 580 S.F. GARAGE |

PROPOSED FLOOR AREA WEST UNIT SUMMARY:

| | | | |
|-----------------|------------|-------------------|-----------------------------|
| 1ST FLR | 2ND FLR | TOTAL | |
| SFR: 1,084 S.F. | 1,182 S.F. | 2,266 S.F. | 4BR / 3.5 B |
| ADU: 884 S.F. | | 884 S.F. | 2BR / 2B |
| TOTAL: | | 3,150 S.F. | PLUS 580 S.F. GARAGE |

PARCEL EAST PARKING SUMMARY:

| | |
|------------------------------|----------------------------|
| ENCLOSED PARKING SPACES | 2 (20X20 MIN) |
| OPEN PARKING SPACES | 2 (400 S.F. 7.5% LOT AREA) |
| TOTAL PARKING SPACES: | 4 |

PARCEL WEST PARKING SUMMARY:

| | |
|------------------------------|----------|
| ENCLOSED PARKING SPACES | 2 |
| OPEN PARKING SPACES | 2 |
| TOTAL PARKING SPACES: | 4 |

OPEN SPACE OVERALL: 45.8% 4,958 / 10,817

OPEN SPACE EAST: 45.4% 2,415 / 5,315

OPEN SPACE WEST: 46.4% 2,553 / 5,502

DRAWING INDEX

ARCHITECTURE

- A-1.0 SITE PLAN
- A-2.1 FIRST FLOOR PLAN - EAST HOUSE
- A-2.2 FIRST FLOOR PLAN - WEST HOUSE
- A-3.1 SECOND FLOOR PLAN - EAST HOUSE
- A-3.2 SECOND FLOOR PLAN - WEST HOUSE
- A-4.1 ROOF PLAN - EAST HOUSE
- A-4.2 ROOF PLAN - WEST HOUSE
- A-5.1 EXTERIOR ELEVATIONS - EAST HOUSE
- A-5.2 EXTERIOR ELEVATIONS - WEST HOUSE
- A-6.0 ADU FIRST FLOOR PLAN AND ELEVATIONS
- A-7.0 LINE OF SIGHT STUDY
- A-7.1 OPEN SPACE STUDY

LANDSCAPE

- L1.1 WEST LOT LANDSCAPE PLAN
- L1.2 EAST LOT LANDSCAPE PLAN

CIVIL

- 1 TITLE SHEET, GRADING NOTES, ETC.
- 2 GRADING PLAN, SECTIONS, DETAILS, ETC.
- 3 EROSION CONTROL PLAN
- 4 DEMOLITION PLAN / SURVEY
- 5 SOILS REPORT RECOMMENDATIONS

Builder:

Project:

2 HOMES & 2 ADU
SMALL LOT ORDINANCE

1022 W. WILSON STREET
COSTA MESA, CA 92627

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Job No.: 02-1173-001
CADD File: K:\02-1173-001 1022 WILSON COSTA MESA\CADD\SHEETS\A-1.0 SITE PLAN.DWG
Project Start Date: 09-20-2023
Drawn By: DC
Checked By: KP
Scale: AS NOTED

Drawing Title

SITE PLAN

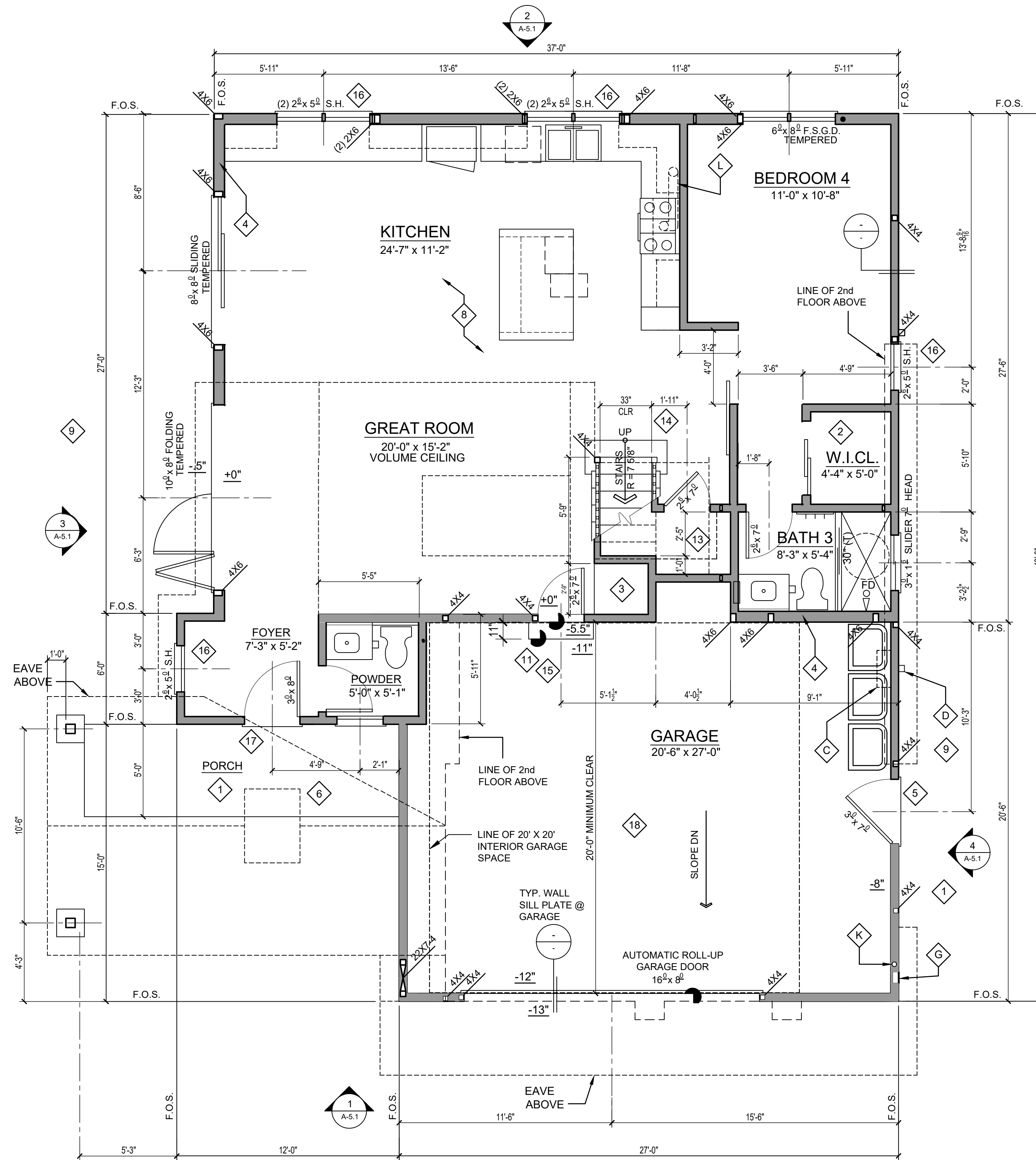
LEGAL DESCRIPTION

LOT 20 OF TRACK NO. 402, IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 19, PAGE 23, MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY

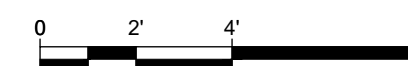
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A-1.0

PLOT DATE: March 1, 2024 K:\02-1173-001 1022 WILSON COSTA MESA\CAD\SHEETS\A-2.1 1ST FLR PLAN E.DWG



1 FIRST FLOOR PLAN (EAST HOUSE)
SCALE: 1/4" = 1'-0"



KEY NOTES

- 1 FRONT PORCH
- 2 SHELF & POLE
- 3 ROLL OUT SHELVES
- 4 DOT HATCH INDICATES 2 x 6 WALL
- 5 3/4" THRESHOLD MAX
- 6 2% MIN SLOPE DOWN
- 7 CEMENT, FIBER CEMENT OR GLASS MAT GYPSUM BACKERS SHALL BE USED AS A BASE FOR WALL TILES IN TUB AND SHOWER AREAS CBC 2509.2
- 8 FLOOR SPEC TO BE DETERMINED
- 9 7" RISER MAX
- 10 3'-0" x 8'-0" DOOR SO MOUNTED THAT THE CLEAR WIDTH OF EXIT WAY IS NOT LESS THAN 32". THIS DOOR SHALL ALSO HAVE A .5 INCH MAX THRESHOLD. CBC 1008.1.6
- 11 7.75" MAX. OFFSET CBC 1009.3
- 12 SEE TITLE-24 FOR CONTINUOUS FAN SPECIFICATION BASED ON 2008 CODE
- 13 STORAGE SHELVES UNDER STAIRS BY OTHERS
- 14 SEE 1/A-3 FOR SMOKE DETECTOR NOTES AND LOCATION
- 15 DOOR TO BE SELF-CLOSING, SELF-LATCHING, TIGHT FITTING, SOLID WOOD 1-3/8" THICK DOOR OR 20 MINUTE RATED DOOR AT OPENING TO DWELLING CRC R302.5.1
- 16 S.H. = SINGLE HUNG VERTICAL SLIDING 1C/A-15
- 17 LANDINGS OR FLOORS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1-1/2" INCHES LOWER THAN THE TOP OF THE THRESHOLD
- 18 1 HOUR 5/8" TYPE 'X' GYP BOARD ON WALLS & CEILING AT ENTIRE GARAGE. CRC TABLE R302.6
- A HOSE BIBS MUST HAVE APPROVED ANTI-SIPHON DEVICE. CPC 603.3 TYP
- B TELEPHONE PANEL
- C LOCATION OF TANKLESS HOT WATER HEATER W/ DIRECT VENT THRU WALL. BOTTOM OF W.H. @ 60" TO 72" A.F.F., V.I.F.
- D GAS METER
- E 6" DIA CONCRETE FILLED STEEL BOLLARD
- F LOCATION OF 200 AMP ELECTRICAL SERVICE AND PANEL. PROVIDE UFER OR OTHER APPROVED GROUND PER CEC 250.
- G A/C ELEC
- H FIRE RISER LOCATION
- J RANGE HOOD VENT DUCT
- K REFRIGERANT LINES, SEE MECH DWGS
- L ADD CONDUIT & STUB OUT AS REQ'D TO FUTURE CONDENSER LOCATION
- M CABLE PANEL

Architect :



Bryant Palmer Soto Inc.
Neil Stanton Palmer ARCHITECTS / Jack K. Bryant ENGINEERS
2001 Airport Drive, Suite 310, Torrance, CA 90505
Telephone: (310) 326-9111
Fax: (310) 325-0271

Builder :

Project :

**2 HOMES & 2 ADU
SMALL LOT ORDINANCE**

1022 W. WILSON STREET
COSTA MESA, CA 92627

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Job No.: 02-1173-001

CADD File: K:\02-1173-001 1022 WILSON COSTA MESA\CAD\SHEETS\A-2.1 1ST FLR PLAN E.DWG

Project Start Date: 09-20-2023

Drawn By: DC

Checked By: KP

Scale: AS NOTED

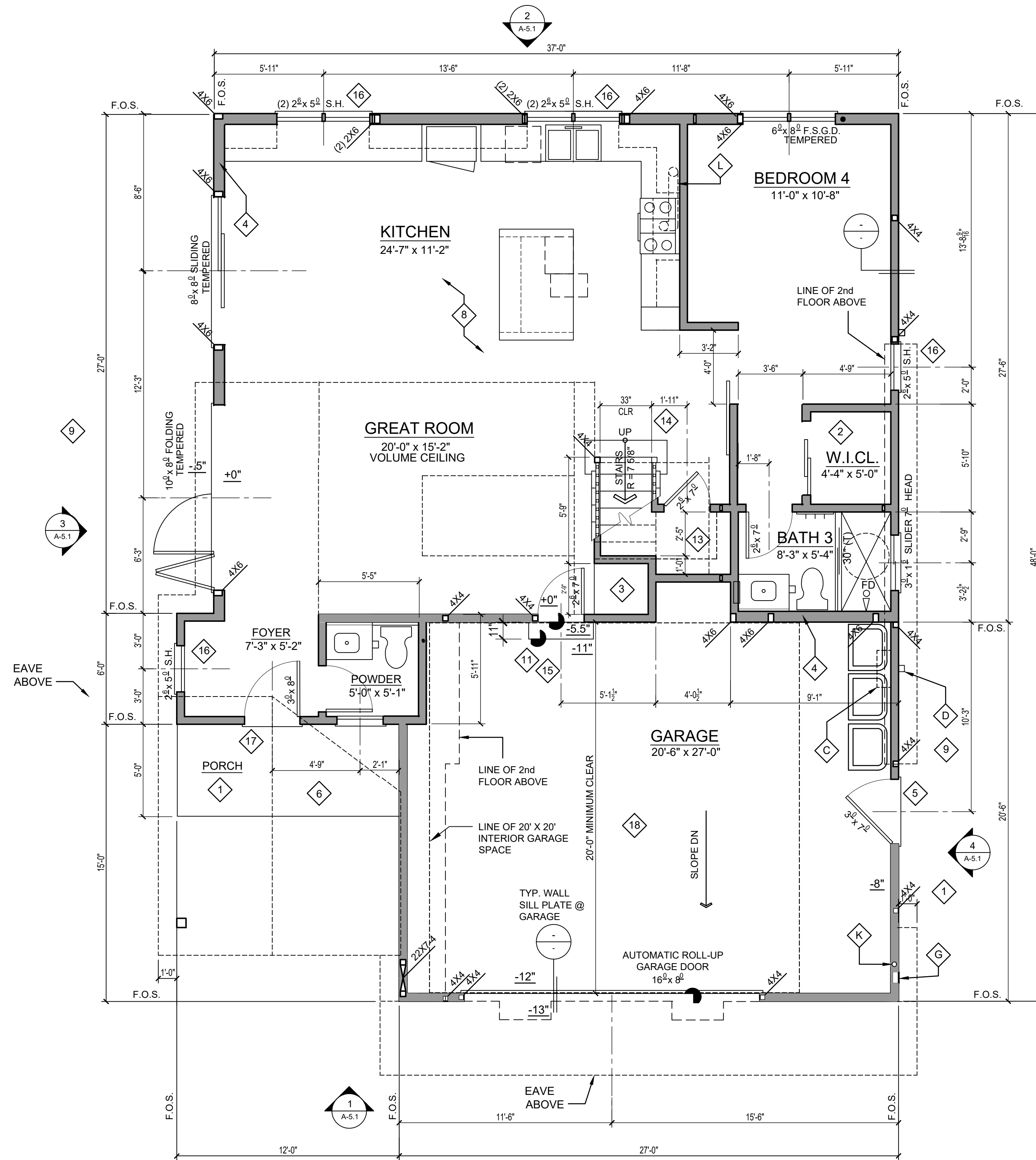
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**FIRST FLOOR PLAN
(EAST HOUSE)**

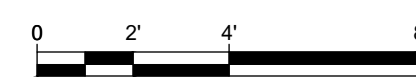
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A-2.1

PLOT DATE: March 1, 2024 K:\02-1173-001 1022 WILSON COSTA MESA\CAD\SHEETS\A-2.2 1ST FLR PLAN W.DWG



1 FIRST FLOOR PLAN (WEST HOUSE)
SCALE: 1/4" = 1'-0"



KEY NOTES

- 1 FRONT PORCH
- 2 SHELF & POLE
- 3 ROLL OUT SHELVES
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- 5 3/4" THRESHOLD MAX
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- B TELEPHONE PANEL
- C LOCATION OF TANKLESS HOT WATER HEATER W/ DIRECT VENT THRU WALL. BOTTOM OF W.H. @ 60" TO 72" A.F.F., V.I.F.
- D GAS METER
- E 6" DIA CONCRETE FILLED STEEL BOLLARD
- F LOCATION OF 200 AMP ELECTRICAL SERVICE AND PANEL. PROVIDE UFER OR OTHER APPROVED GROUND PER CEC 250.
- G A/C ELEC
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- K REFRIGERANT LINES, SEE MECH DWGS
- L ADD CONDUIT & STUB OUT AS REQ'D TO FUTURE CONDENSER LOCATION
- M CABLE PANEL

Architect : **BPS**
Bryant Palmer Soto Inc.
 Neil Stanton Palmer ARCHITECTS / Jack K. Bryant ENGINEERS
 2001 Airport Drive, Suite 310, Torrance, CA 90505
 Telephone: (310) 326-9111
 Fax: (310) 325-0271

Builder :

Project : **2 HOMES & 2 ADU
 SMALL LOT ORDINANCE**
 1022 W. WILSON STREET
 COSTA MESA, CA 92627

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| Job No.: | 02-1173-001 |
| CADD File: | K:\02-1173-001 1022 WILSON COSTA MESA\CAD\SHEETS\A-2.2 1ST FLR PLAN W.DWG |
| Project Start Date: | 09-20-2023 |
| Drawn By: | DC |
| Checked By: | KP |
| Scale: | AS NOTED |

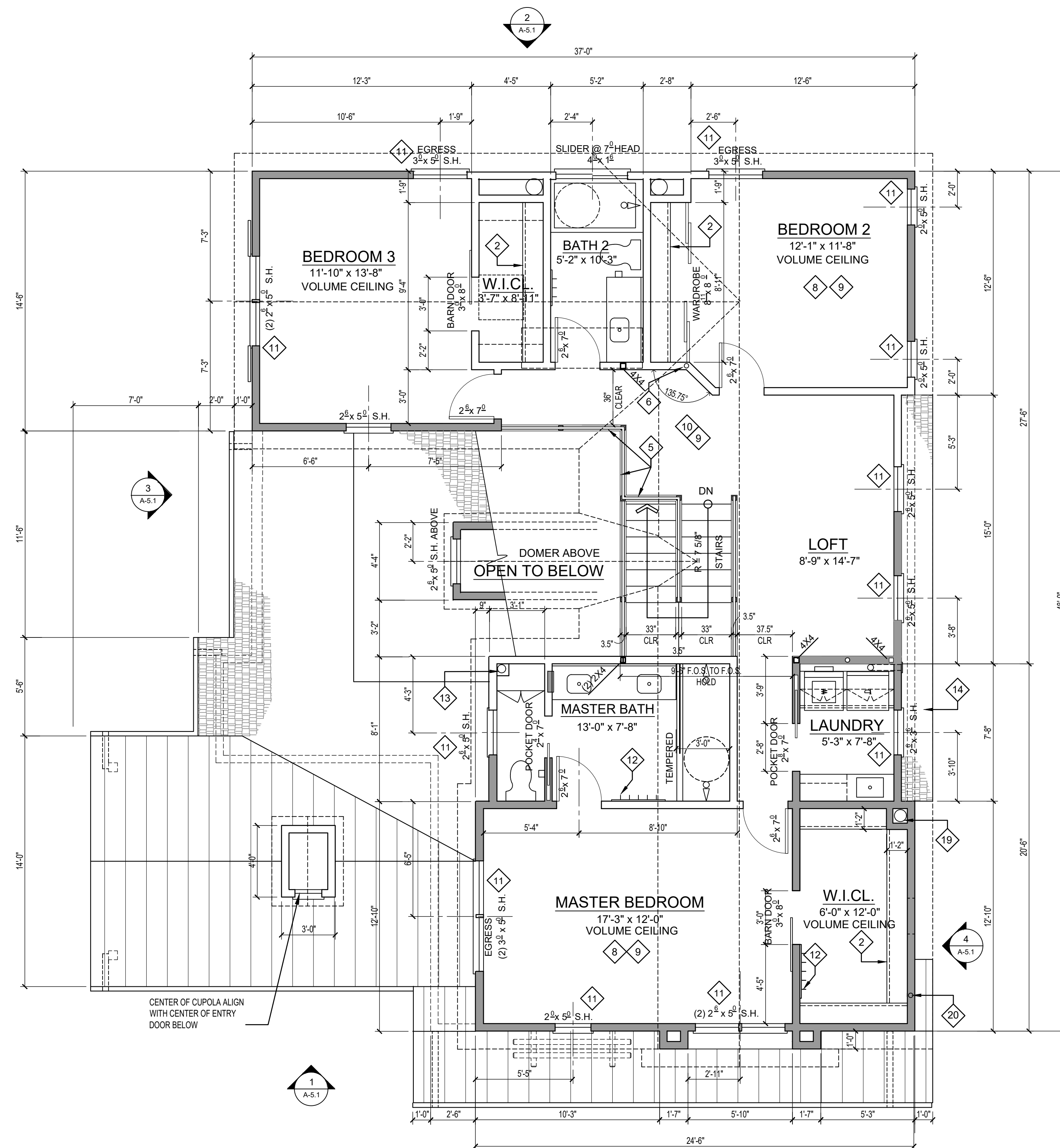
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**FIRST FLOOR PLAN
 (WEST HOUSE)**

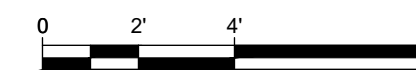
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A-2.2

PLOT DATE: March 1, 2024 K:\02-1173-001 1022 WILSON COSTA MESA\CAD\SHEETS\A-3.1 2ND FLR PLAN E.DWG



1 SECOND FLOOR PLAN (EAST HOUSE)
SCALE: 1/4" = 1'-0"



KEY NOTES

- 1 30" x 30" ATTIC ACCESS WITH 30" MINIMUM HEADROOM. CBC 1209.2 WITH WEATHER STRIPS TO PREVENT BACK DRAFT. FOR LOCATION OF 30" HEADROOM SPACE SEE
- 2 SINGLE SHELF & POLE
- 3 8'-0" H. JAMBLESS CLOSET DOORS. FIELD MEASURE. PROVIDE BLOCKING AS REQUIRED. PROVIDE 1 x 4 WOOD @ JAMB CONDITION AS REQUIRED.
- 4 ATTIC VENT, SEE
- 5 42" HIGH RAIL
- 6 CONDUIT CHASE
- 7 14" x 14" CONTROL WIRE ACCESS PANEL
- 8 WHERE THE OPENING OF THE SILL PORTION OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72" ABOVE FIN. GRADE THE LOWEST PART OF THE CLR. OPENING OF THE WINDOW SHALL BE 24" ABOVE THE FIN. FLOOR SURFACE OF THE ROOM.
- 9 SEE 2 FOR SMOKE DETECTOR NOTES AND LOCATION
- 10 CARPET. SPEC TO FOLLOW
- 11 S.H. = SINGLE HUNG VERTICAL SLIDING
- 12 WALL MOUNT COAT HOOKS
- 13 GYP BD OVER FURR. CHANNELS OVER 6" Ø RANGE HOOD VENT DUCT
- 14 12" MAX EAVE WITHIN 5'-0" OF PROPERTY LINE
- 15 18" DEEP x 24" WIDE SHELVES
- 16 18" DEEP WRAP AROUND SHELVES
- 17 DOUBLE POLE @ 3'-2" & 6'-4" AND SHELF @ 6'-8"
- 18 PROVIDE ESCAPE WINDOW WITH MINIMUM CLEAR 24 INCH HEIGHT & 20 INCH WIDTH, 5.7 S.F. MIN NET CLEAR OPENING AND A SILL HEIGHT NOT OVER 44 INCHES ABOVE FLOOR. THE NET CLEAR OPENING DIMENSIONS SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING. CBC 1026.2
- 19 MECHANICAL CHASE
- 20 REFRIGERANT LINES

Architect :



Bryant Palmer Soto Inc.
Neil Stanton Palmer ARCHITECTS / Jack K. Bryant ENGINEERS
2001 Airport Drive, Suite 310, Torrance, CA 90505
Telephone: (310) 326-9111
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Builder :

Project :

**2 HOMES & 2 ADU
SMALL LOT ORDINANCE**

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COSTA MESA, CA 92627

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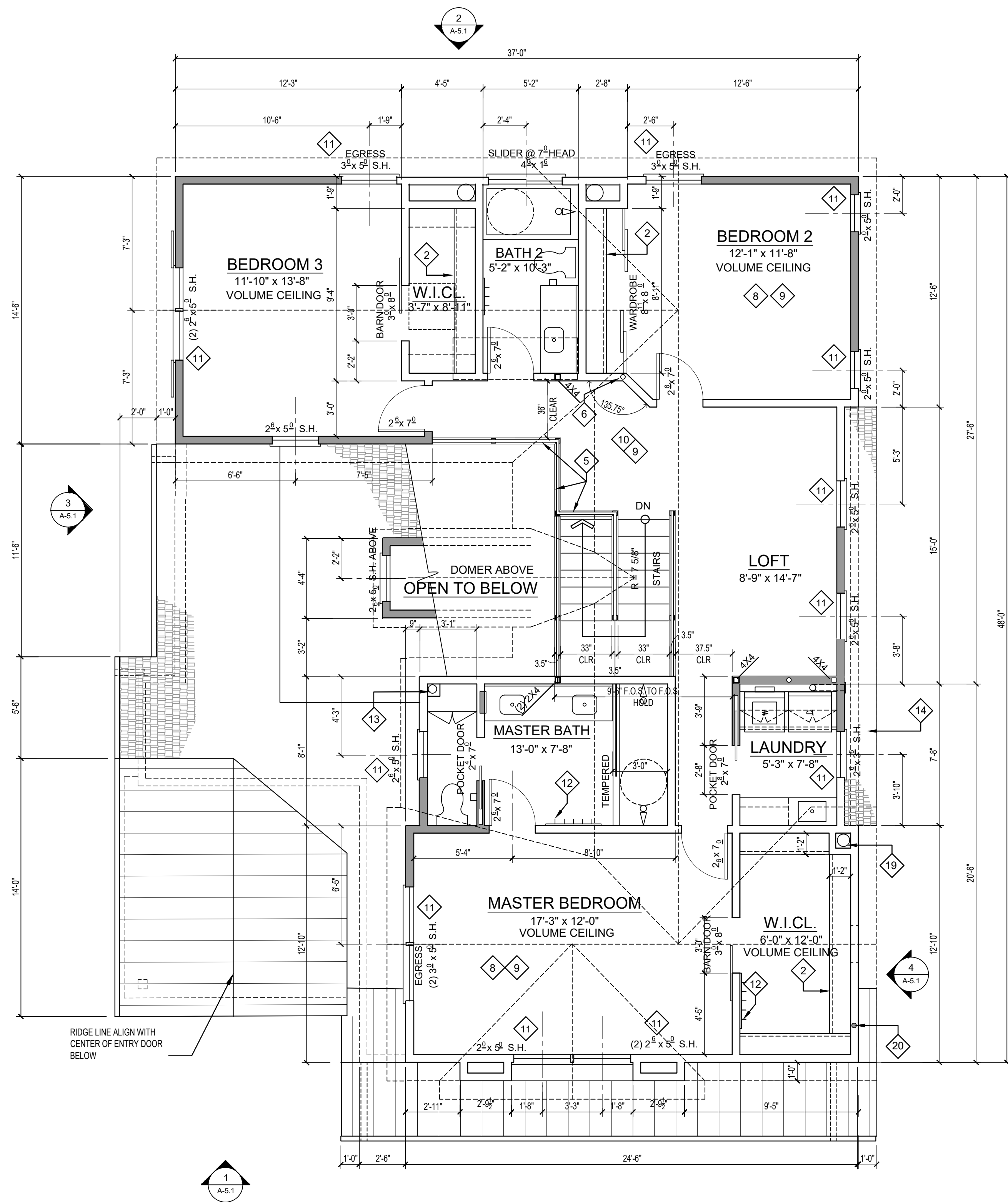
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**SECOND FLOOR
PLAN
(EAST HOUSE)**

Sheet

A-3.1

PLOT DATE: March 1, 2024 K:\02-1173-001 1022 WILSON COSTA MESA\CAD\SHEETS\A-3.2 2ND FLR PLAN W.DWG



1 SECOND FLOOR PLAN (WEST HOUSE)
SCALE: 1/4" = 1'-0"



KEY NOTES

- 1 30" x 30" ATTIC ACCESS WITH 30" MINIMUM HEADROOM. CBC 1209.2 WITH WEATHER STRIPS TO PREVENT BACK DRAFT. FOR LOCATION OF 30" HEADROOM SPACE SEE (2) A-7
- 2 SINGLE SHELF & POLE
- 3 8'-0" H. JAMBLESS CLOSET DOORS. FIELD MEASURE. PROVIDE BLOCKING AS REQUIRED. PROVIDE 1 x 4 WOOD @ JAMB CONDITION AS REQUIRED.
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- 9 SEE (2) A-8 FOR SMOKE DETECTOR NOTES AND LOCATION
- 10 CARPET. SPEC TO FOLLOW
- 11 S.H. = SINGLE HUNG VERTICAL SLIDING (1C) A-15
- 12 WALL MOUNT COAT HOOKS
- 13 GYP BD OVER FURR. CHANNELS OVER 6" Ø RANGE HOOD VENT DUCT
- 14 12" MAX EAVE WITHIN 5'-0" OF PROPERTY LINE
- 15 18" DEEP x 24" WIDE SHELVES
- 16 18" DEEP WRAP AROUND SHELVES
- 17 DOUBLE POLE @ 3'-2" & 6'-4" AND SHELF @ 6'-8"
- 18 PROVIDE ESCAPE WINDOW WITH MINIMUM CLEAR 24 INCH HEIGHT & 20 INCH WIDTH, 5.7 S.F. MIN NET CLEAR OPENING AND A SILL HEIGHT NOT OVER 44 INCHES ABOVE FLOOR. THE NET CLEAR OPENING DIMENSIONS SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING. CBC 1026.2
- 19 MECHANICAL CHASE
- 20 REFRIGERANT LINES

Architect :

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Neil Stanton Palmer ARCHITECTS / Jack K. Bryant ENGINEERS
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1022 W. WILSON STREET
COSTA MESA, CA 92627

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Stamp

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| Job No.: | 02-1173-001 |
| CADD File: | K:\02-1173-001 1022 WILSON COSTA MESA\CAD\SHEETS\A-3.2 2ND FLR PLAN W.DWG |
| Project Start Date: | 09-20-2023 |
| Drawn By: | DC |
| Checked By: | KP |
| Scale: | AS NOTED |

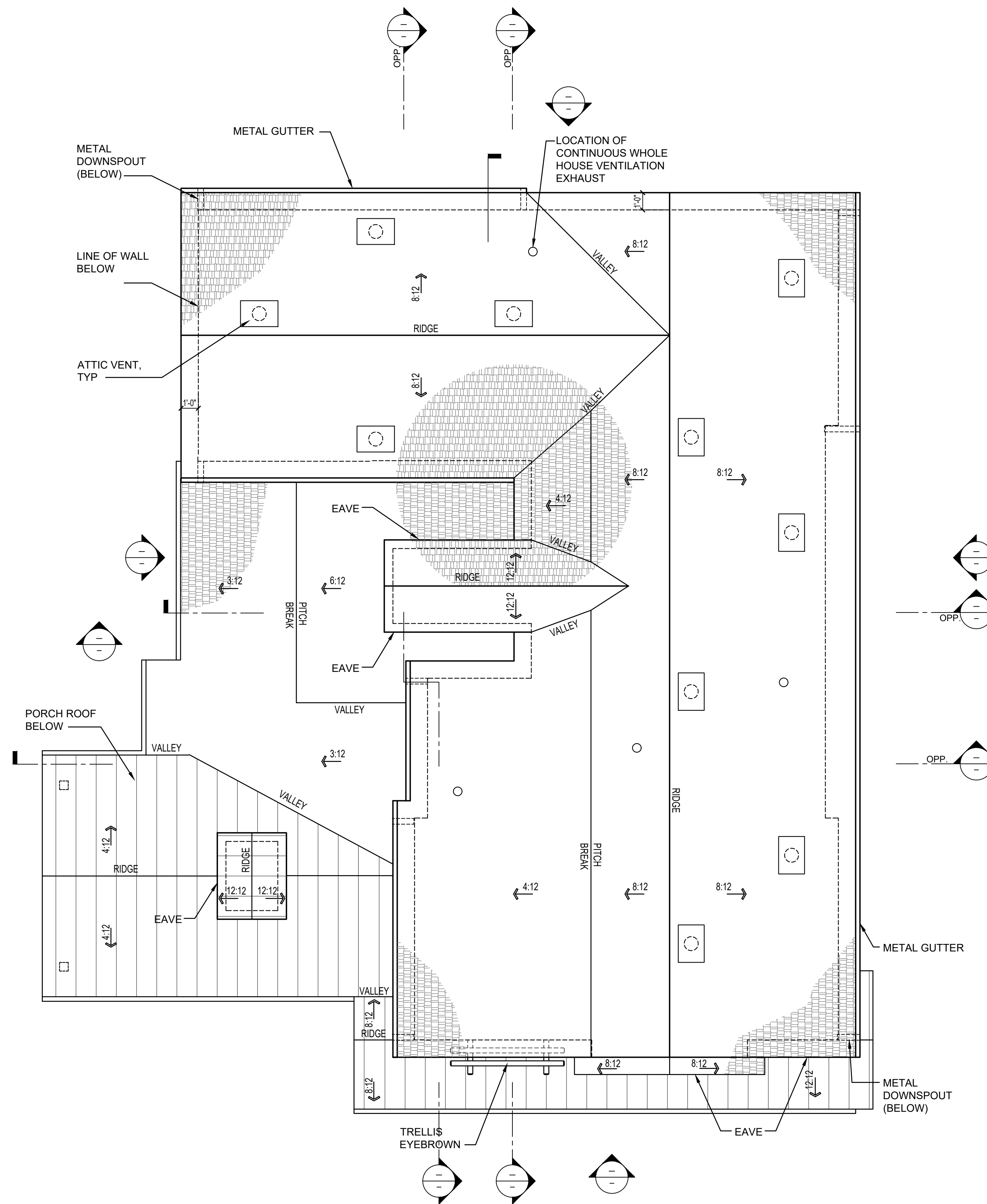
Drawing Title

**SECOND FLOOR
PLAN
(WEST HOUSE)**

Sheet

A-3.2

PLOT DATE: March 4, 2024 K:\02-1173-001 1022 WILSON COSTA MESA\CAD\SHEETS\A-4.1 ROOF PLAN E.DWG



1 ROOF PLAN (EAST HOUSE)
SCALE: 1/4" = 1'-0"



Architect :



Bryant Palmer Soto Inc.
Neil Stanton Palmer ARCHITECTS / Jack K. Bryant ENGINEERS
2001 Airport Drive, Suite 310, Torrance, CA 90505
Telephone: (310) 326-9111
Fax: (310) 325-0271

Builder :

Project :

**2 HOMES & 2 ADU
SMALL LOT ORDINANCE**

1022 W. WILSON STREET
COSTA MESA, CA 92627

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Job No.: 02-1173-001
CADD File: K:\02-1173-001 1022 WILSON COSTA MESA\CAD\SHEETS\A-4.1 ROOF PLAN E.DWG
Project Start Date: 09-20-2023
Drawn By: DC
Checked By: KP
Scale: AS NOTED

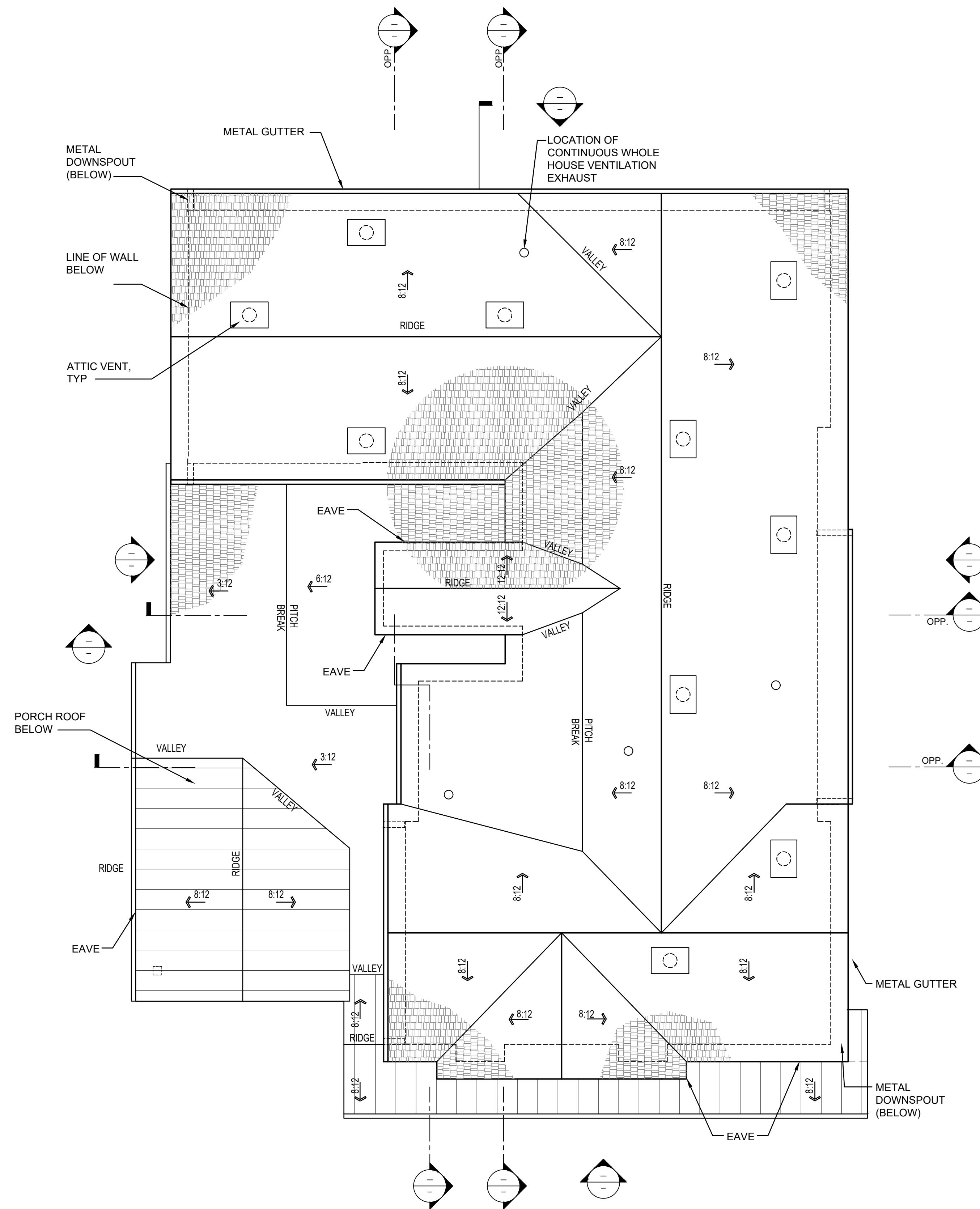
Drawing Title

**ROOF PLAN
(EAST HOUSE)**

Sheet

A-4.1

PLOT DATE: March 4, 2024 K:\02-1173-001 1022 WILSON COSTA MESA\CAD\SHEETS\A-4.2 ROOF PLAN W.DWG



1 ROOF PLAN (WEST HOUSE)
SCALE: 1/4" = 1'-0"

Architect :



Bryant Palmer Soto Inc.

Neil Stanton Palmer ARCHITECTS / Jack K. Bryant ENGINEERS
2001 Airport Drive, Suite 310, Torrance, CA 90505
Telephone: (310) 326-9111
Fax: (310) 325-0271

Builder :

Project :

**2 HOMES & 2 ADU
SMALL LOT ORDINANCE**

1022 W. WILSON STREET
COSTA MESA, CA 92627

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Job No.: 02-1173-001

CADD File: K:\02-1173-001 1022 WILSON COSTA MESA\CAD\SHEETS\A-4.2 ROOF PLAN W.DWG

Project Start Date: 09-20-2023

Drawn By: DC

Checked By: KP

Scale: AS NOTED

Drawing Title

**ROOF PLAN
(WEST HOUSE)**

Sheet

A-4.2

Builder :

Project :
2 HOMES & 2 ADU
SMALL LOT ORDINANCE
 1022 W. WILSON STREET
 COSTA MESA, CA 92627

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REVISIONS

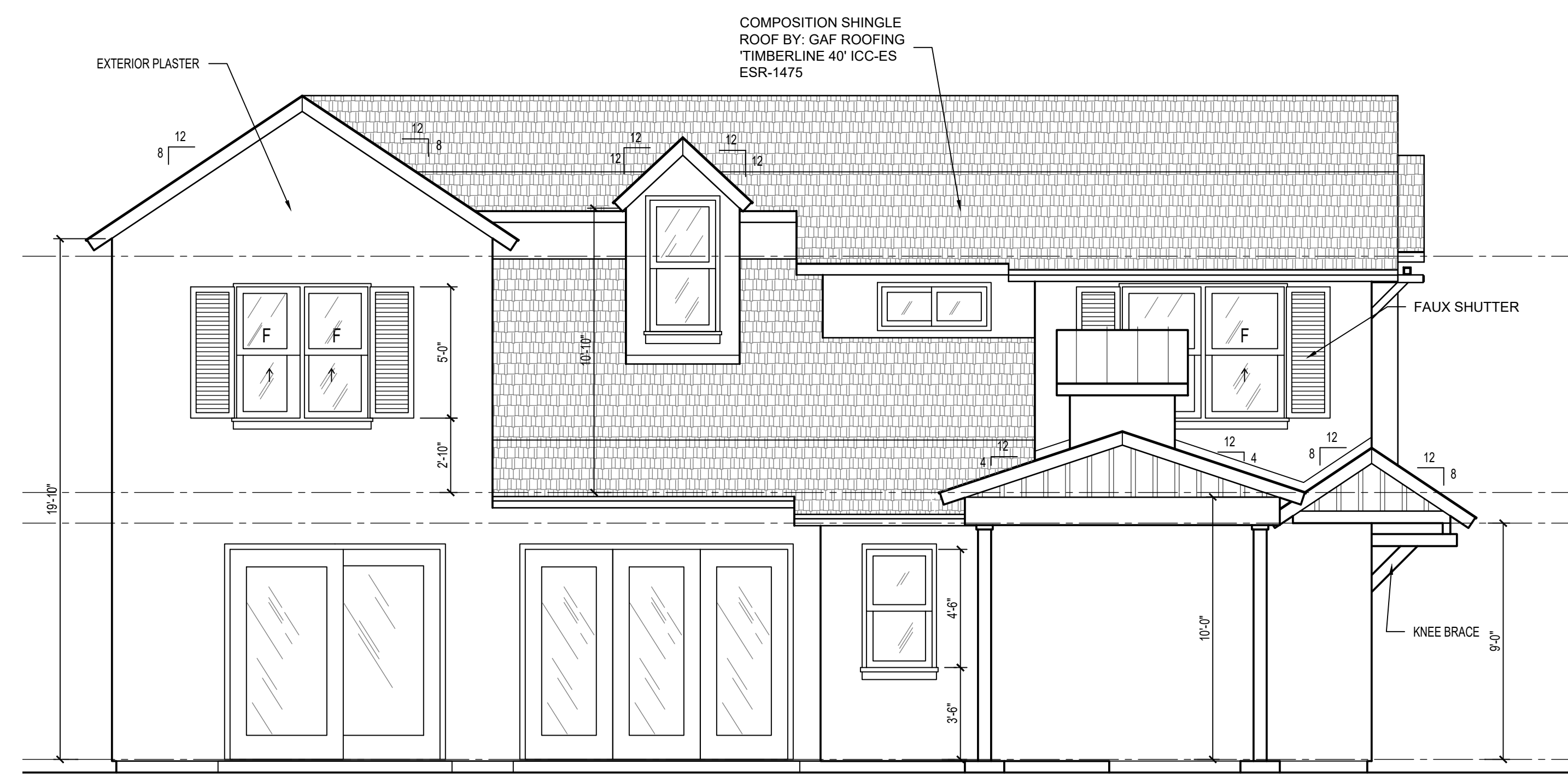
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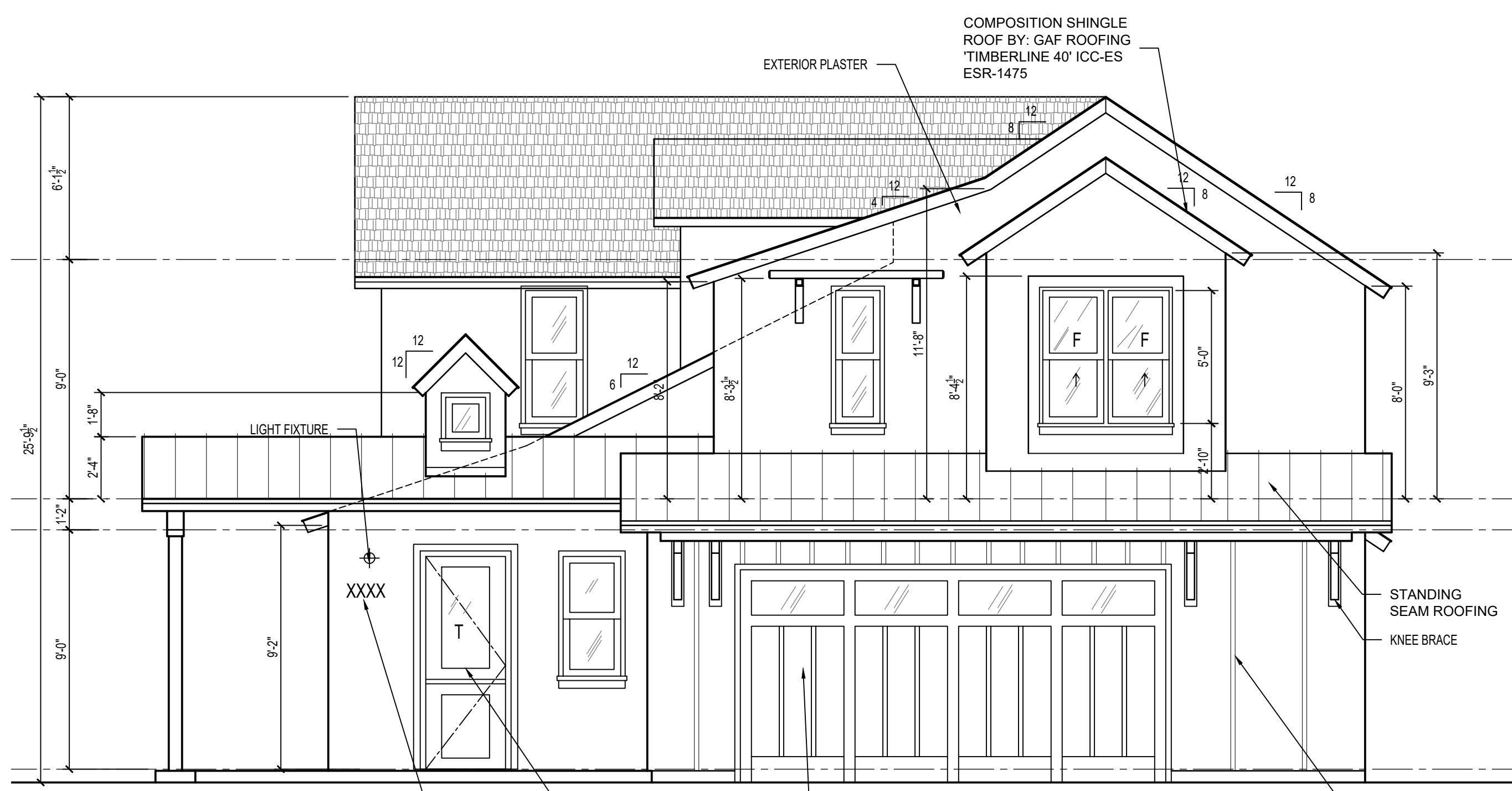
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 Project Start Date: 09-20-2023
 Drawn By: DC
 Checked By: KP
 Scale: AS NOTED

Drawing Title
EXTERIOR ELEVATIONS
(EAST HOUSE)

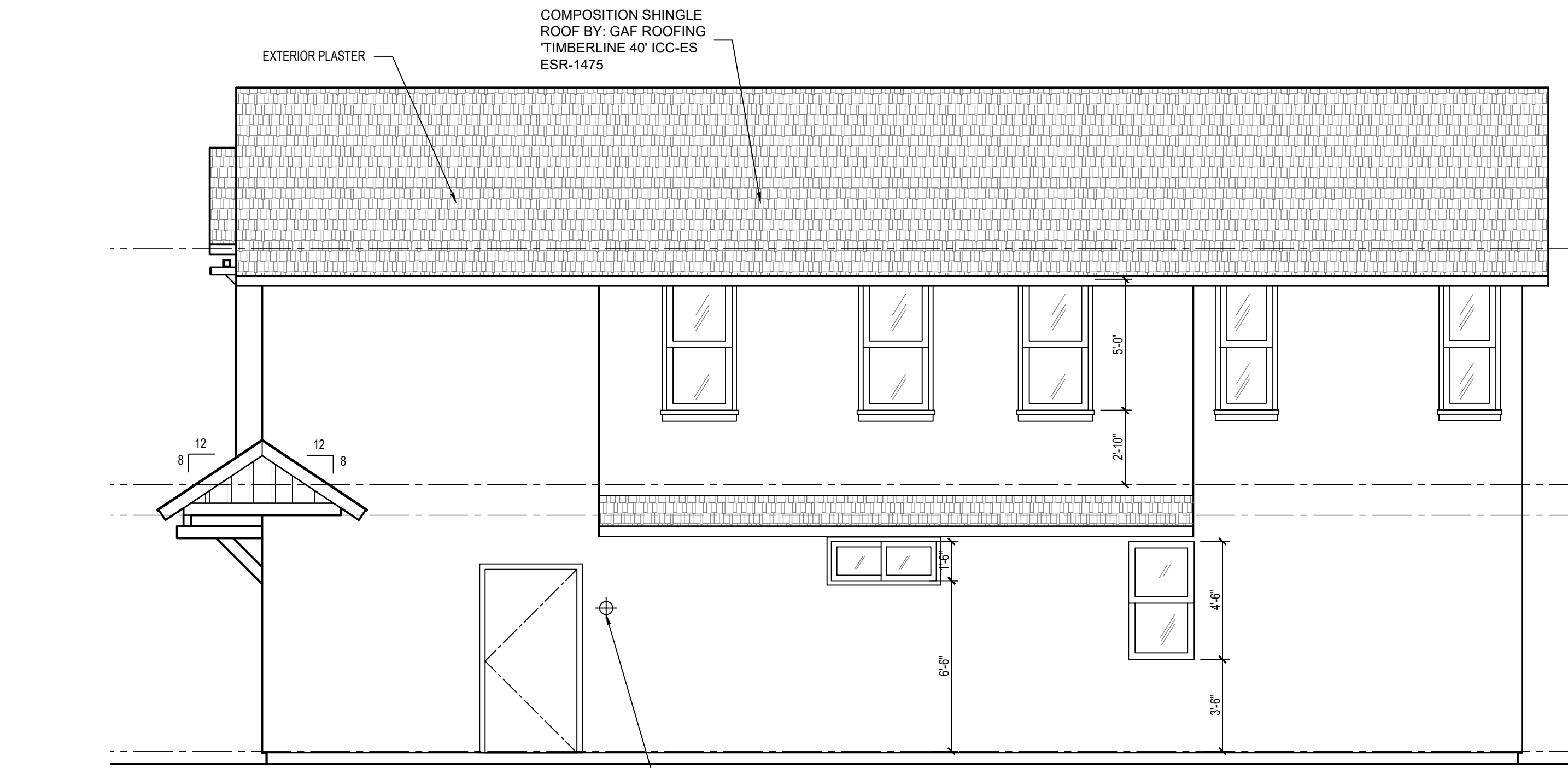
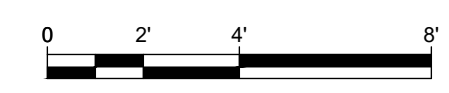
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A-5.1



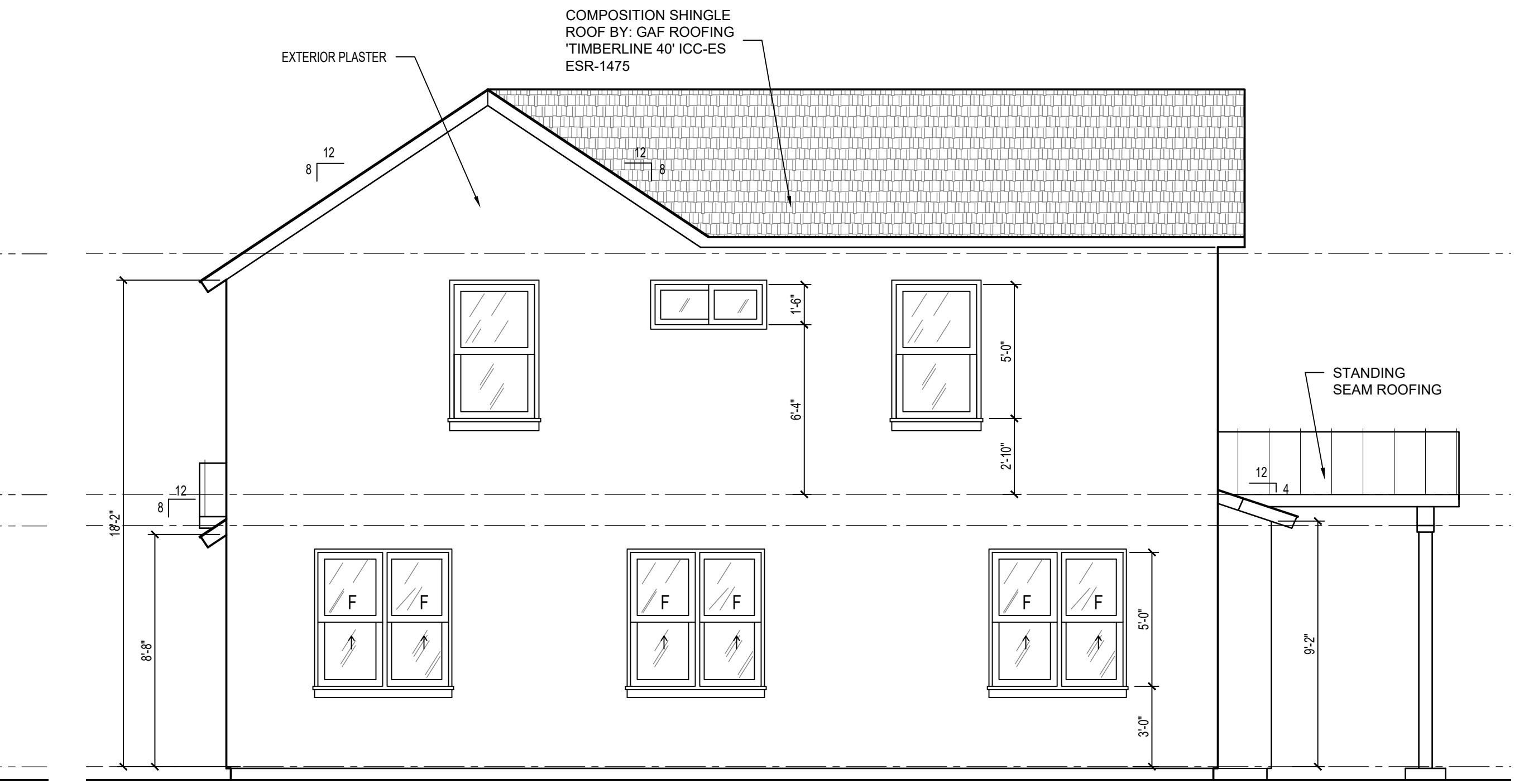
3 WEST ELEVATION
 SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



4 EAST ELEVATION
 SCALE: 1/4" = 1'-0"



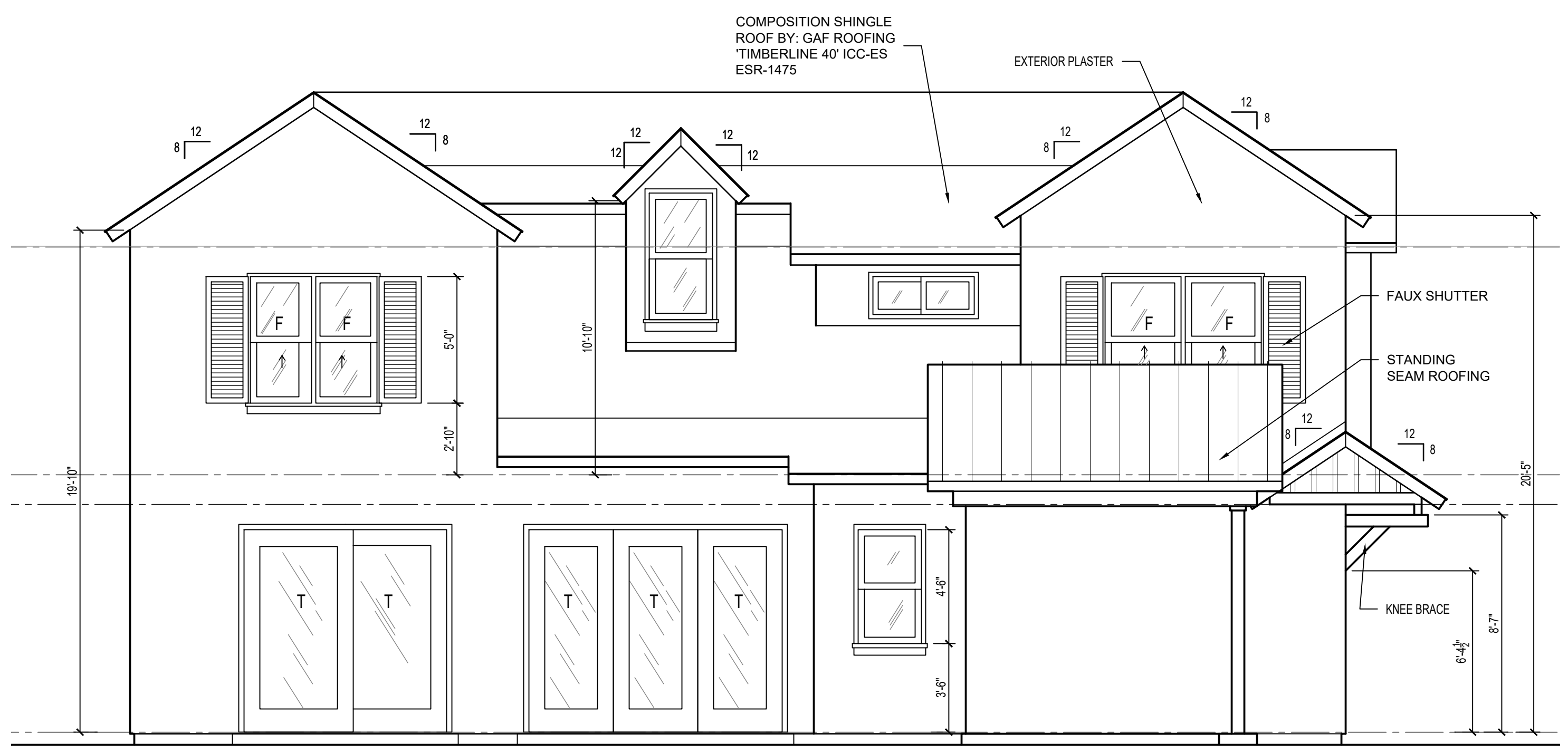
2 NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

PLOT DATE: March 1, 2024 K:\02-1173-001\1022 WILSON COSTA MESA\CAD\SHEETS\A-5.1 EXT ELEV E.DWG

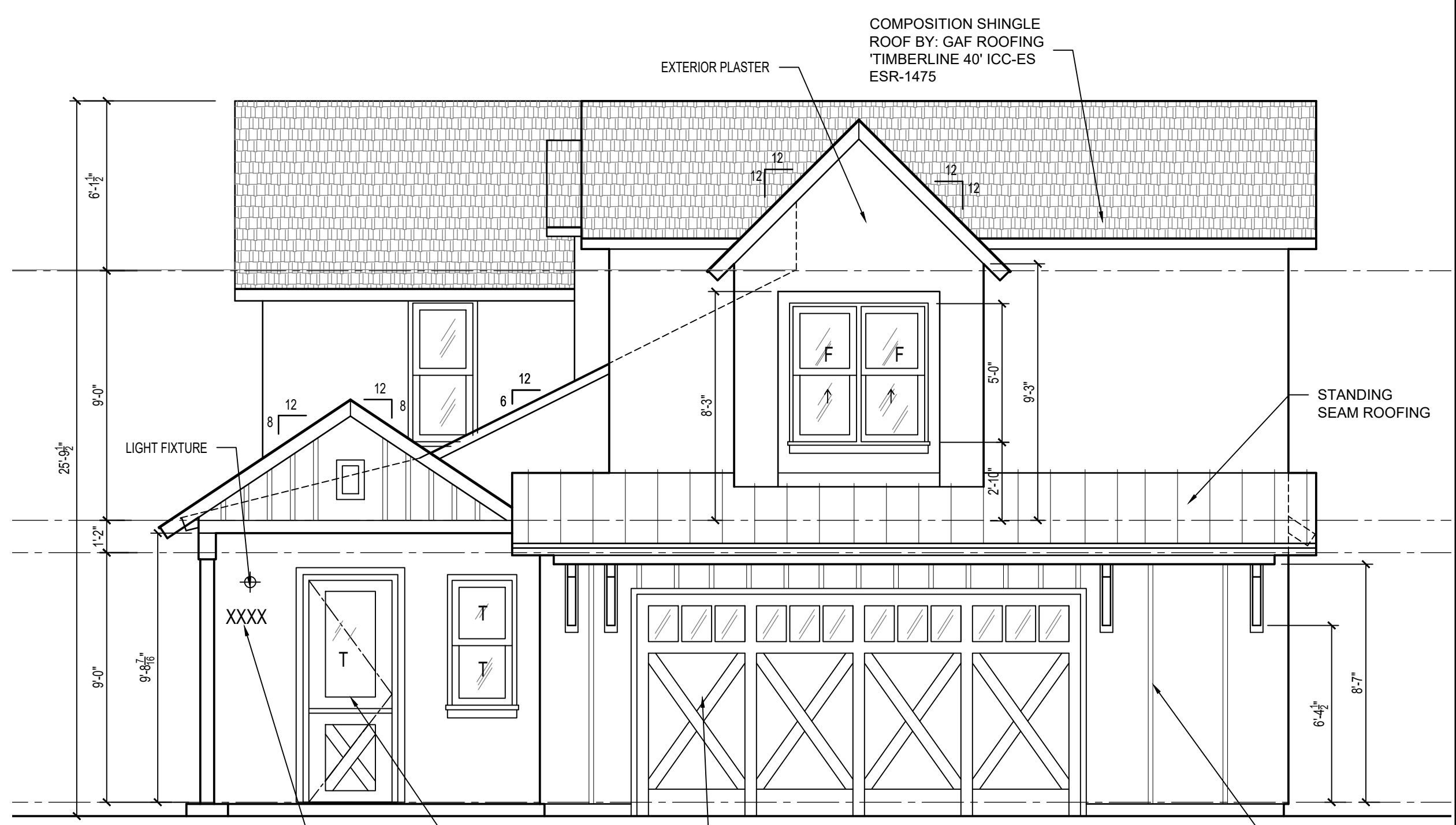
Builder :
 Project :

2 HOMES & 2 ADU
SMALL LOT ORDINANCE
 1022 W. WILSON STREET
 COSTA MESA, CA 92627

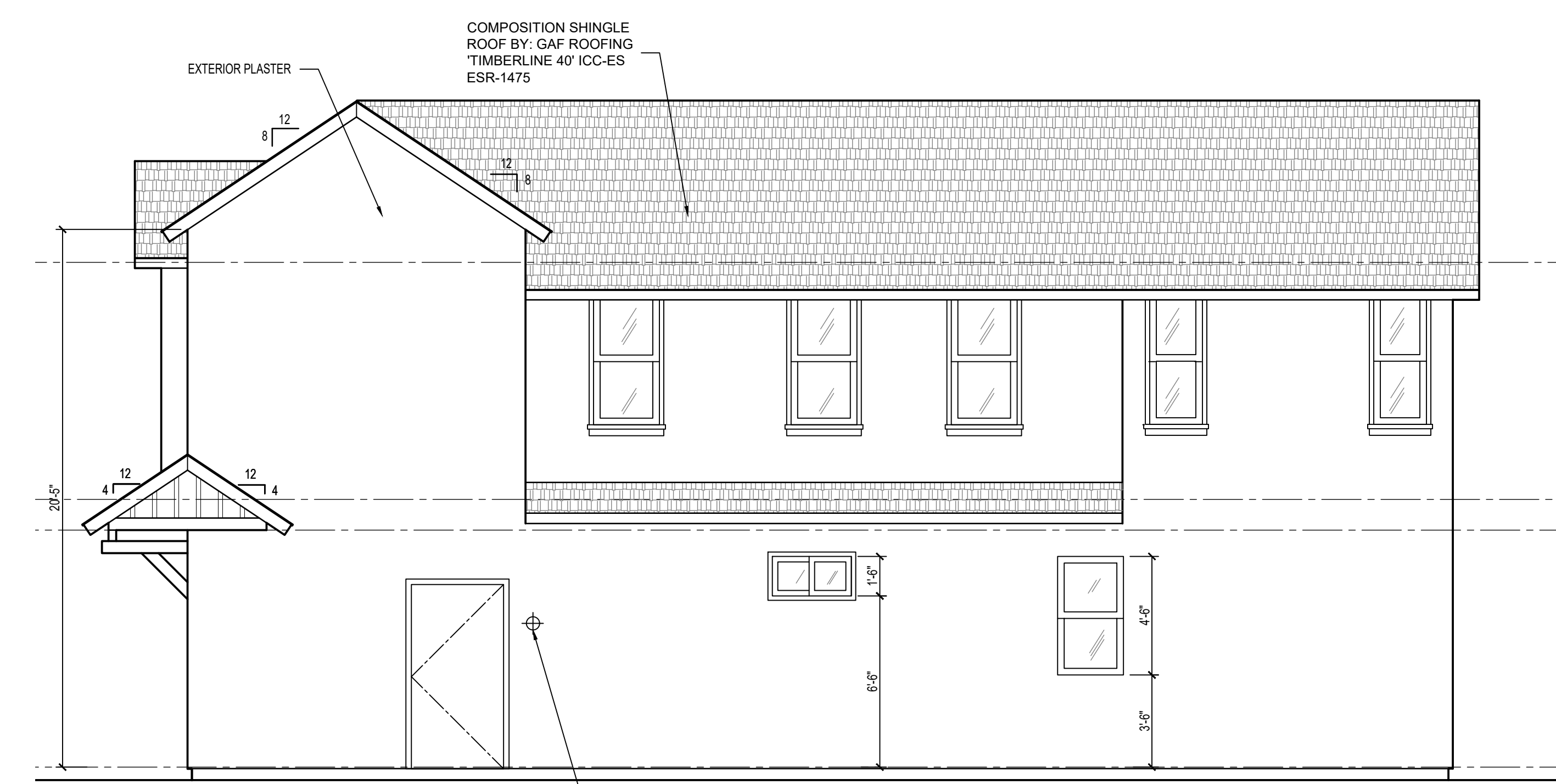
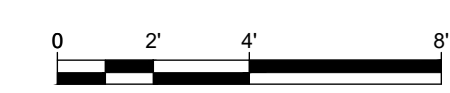
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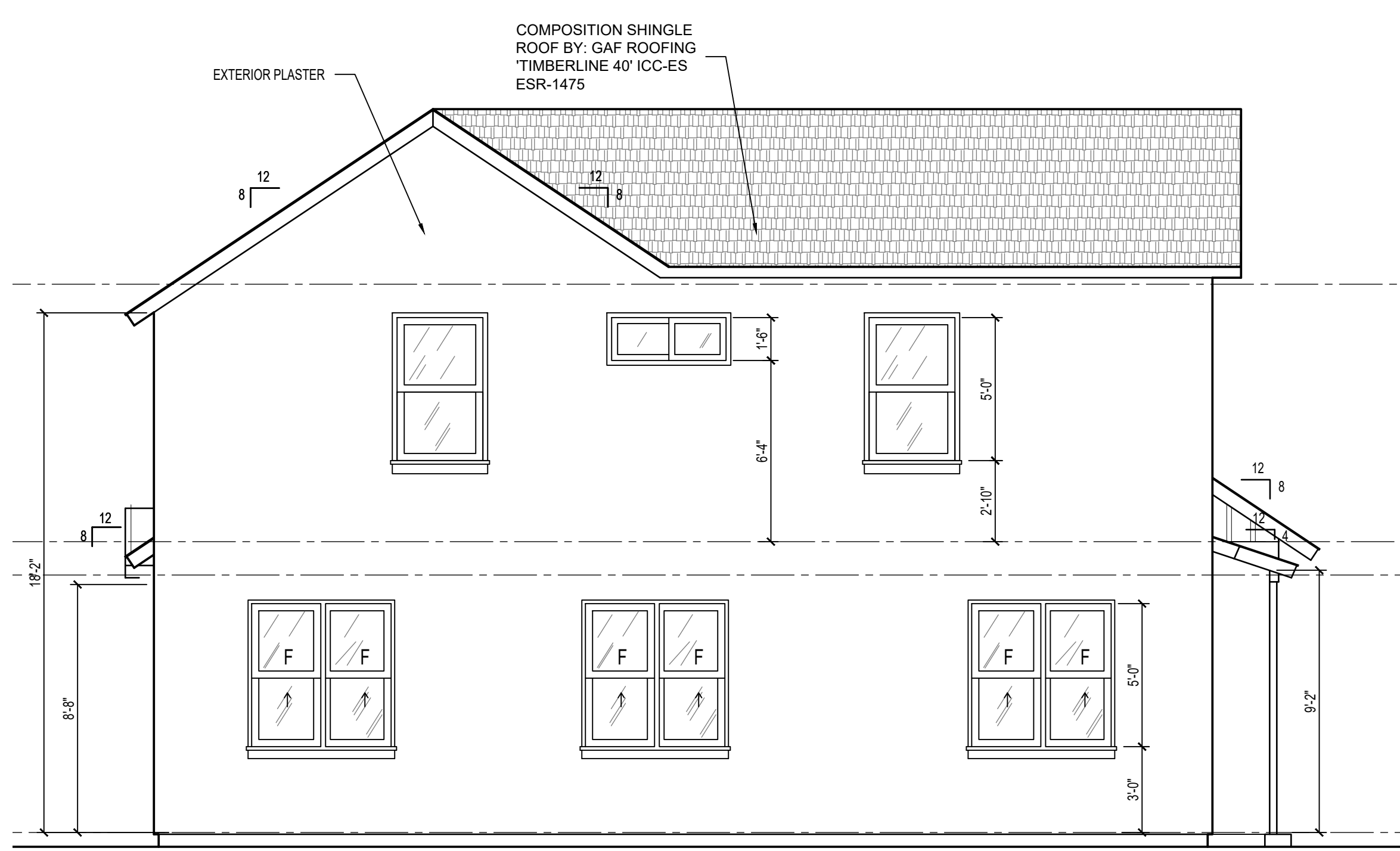
3 WEST ELEVATION
 SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



4 EAST ELEVATION
 SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

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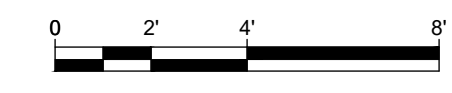
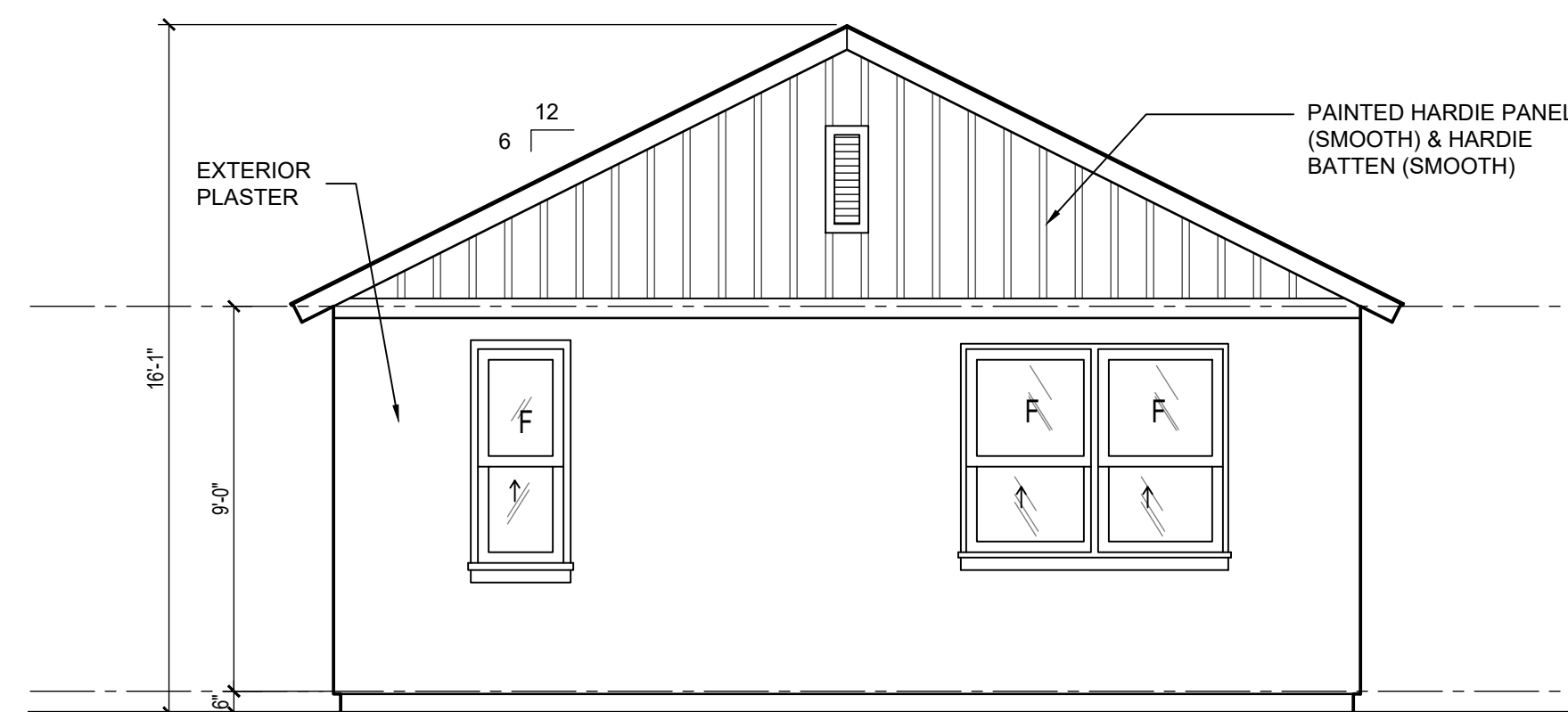
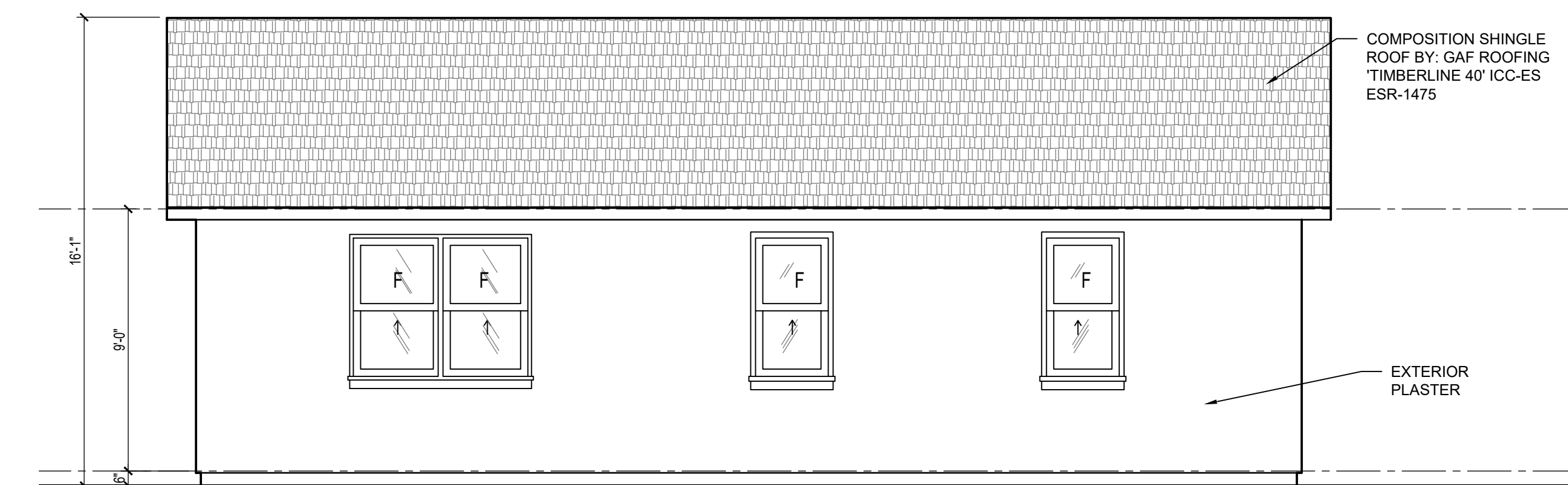
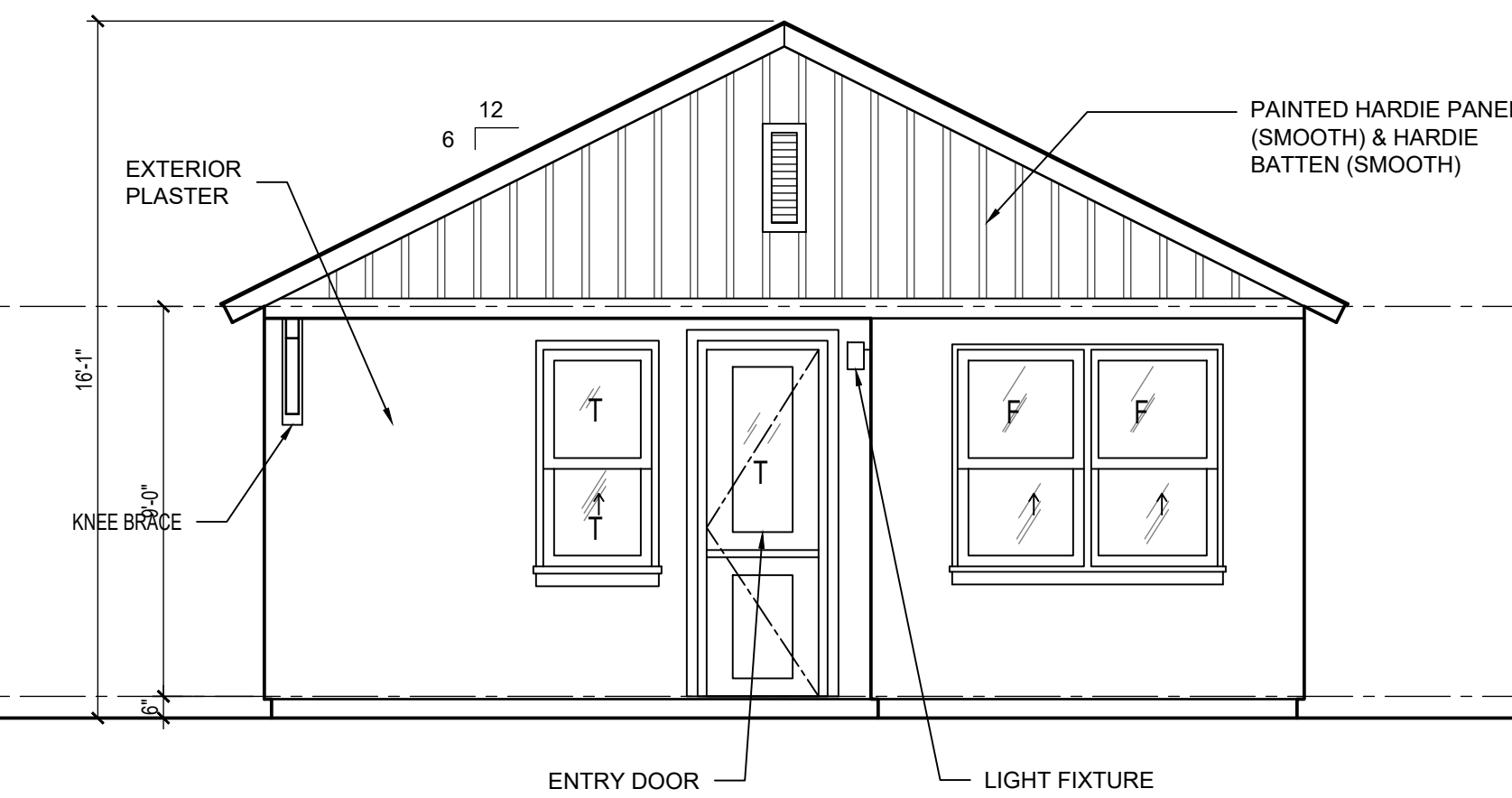
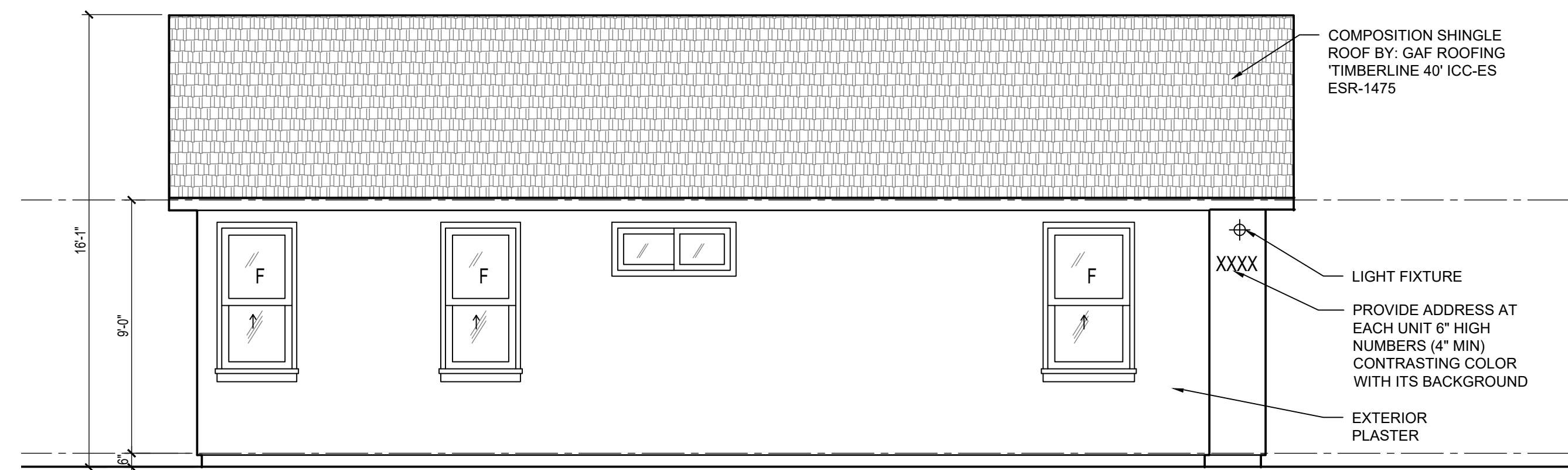
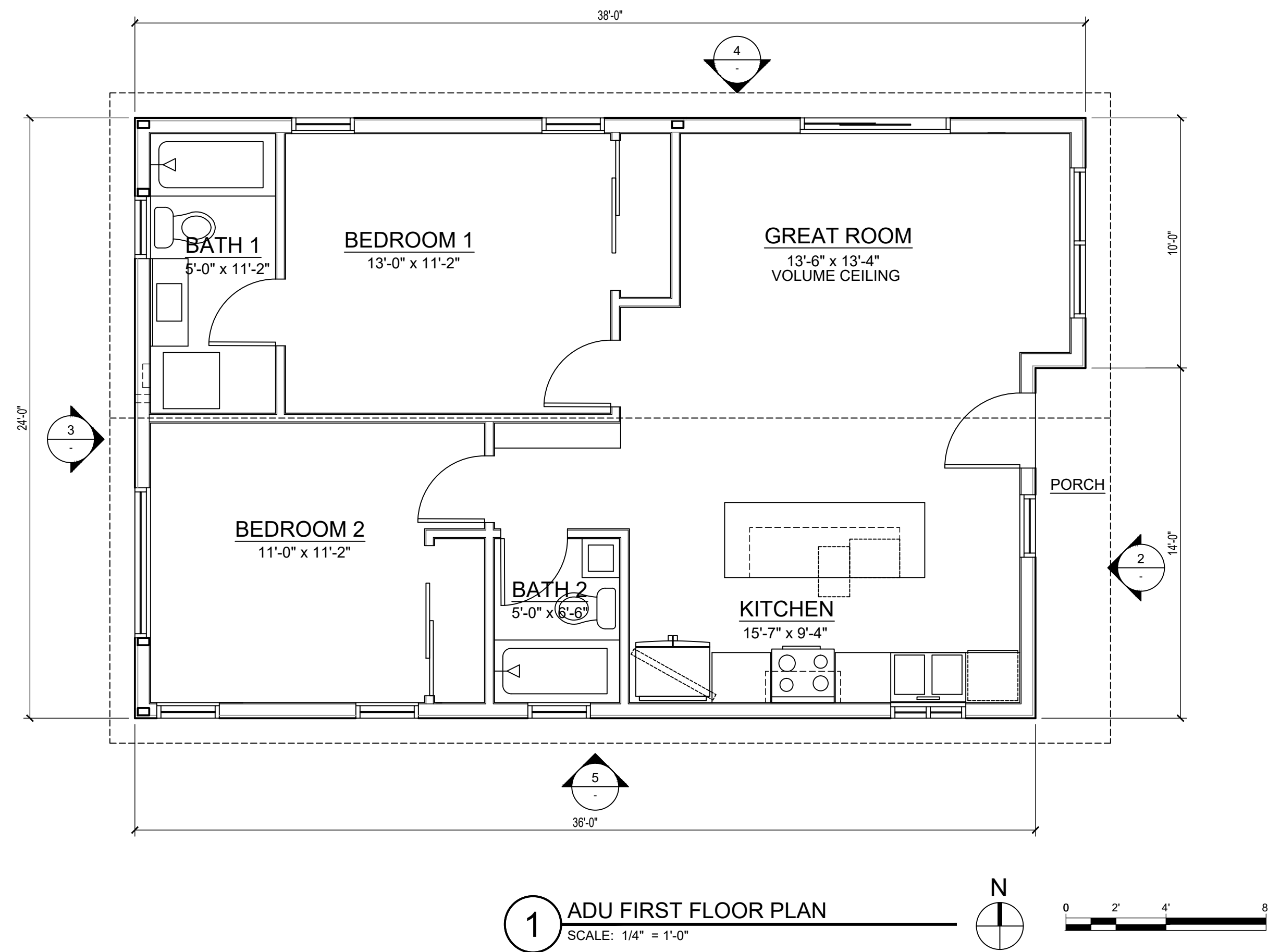
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Job No.: 02-1173-001
 CADD File: K:\02-1173-001\1022 WILSON COSTA MESA\CAD\SHEETS\A-5.2 EXT ELEV W.DWG
 Project Start Date: 09-20-2023
 Drawn By: DC
 Checked By: KP
 Scale: AS NOTED


Drawing Title
EXTERIOR ELEVATIONS
(WEST HOUSE)

Sheet
A-5.2

PLOT DATE: March 1, 2024 K:\02-1173-001 1022 WILSON COSTA MESA CAD\SHETS\A-6.0 ADU PLAN N ELEVS.DWG



Architect:



Bryant Palmer Soto Inc.
Neil Stanton Palmer ARCHITECTS / Jack K. Bryant ENGINEERS
2001 Airport Drive, Suite 310, Torrance, CA 90505
Telephone: (310) 326-9111
Fax: (310) 325-0271

Builder:

Project:

**2 HOMES & 2 ADU
SMALL LOT ORDINANCE**

1022 W. WILSON STREET
COSTA MESA, CA 92627

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CADD File: K:\02-1173-001 1022 WILSON COSTA MESA CAD\SHETS\A-6.0 ADU PLAN N ELEVS.DWG
Project Start Date: 09-20-2023
Drawn By: DC
Checked By: KP
Scale: AS NOTED

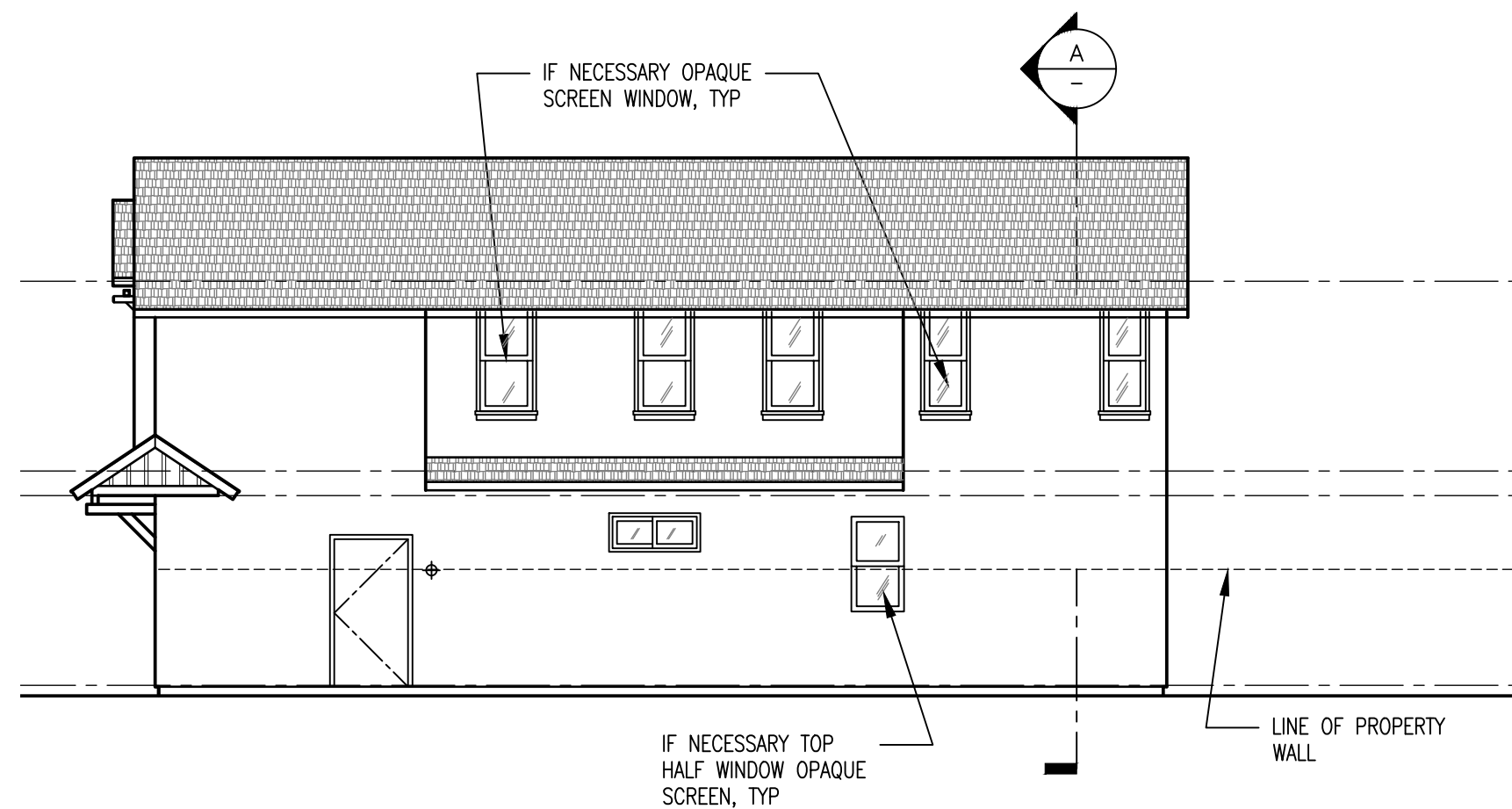
Drawing Title

**ADU FLOOR PLAN
AND ELEVATIONS**

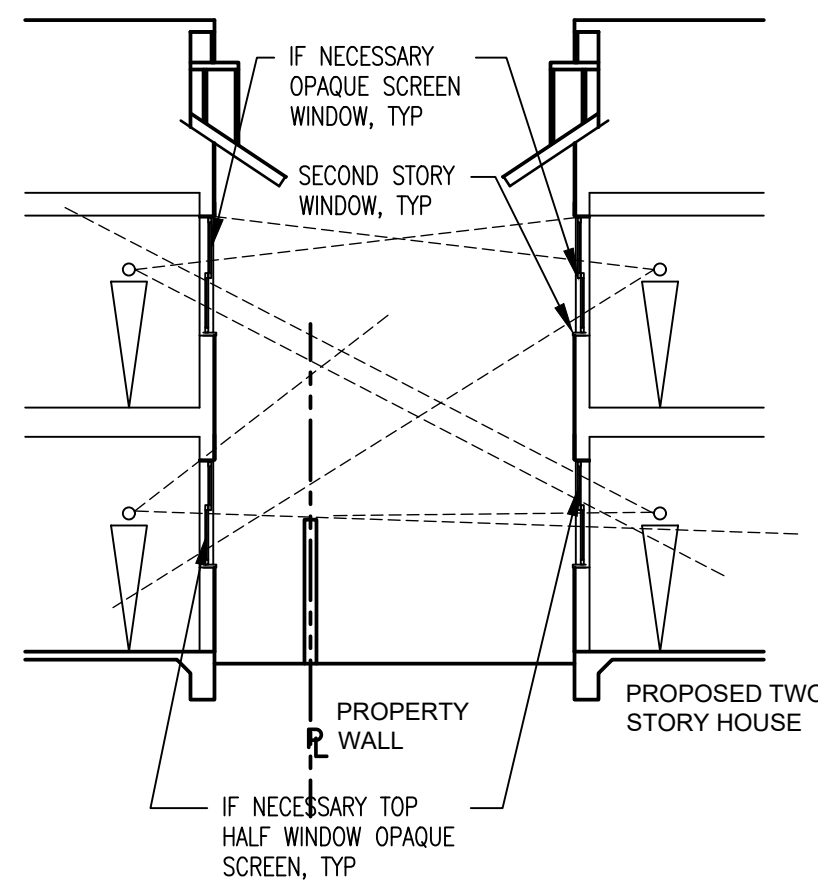
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A-6.0

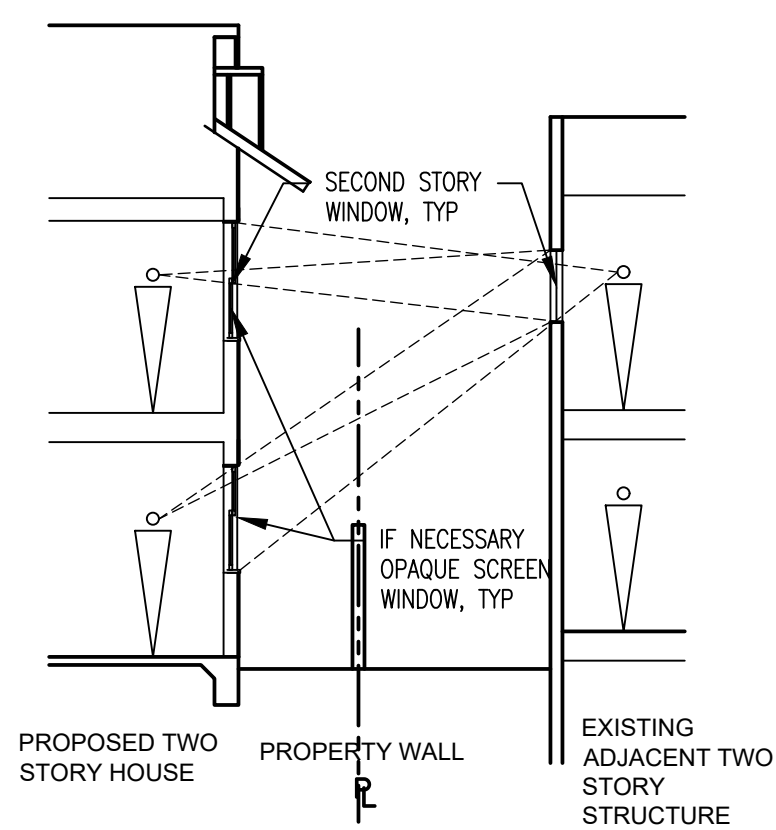
PLOT DATE: March 7, 2024 K:\02-1173-001 1022 WILSON COSTA MESA\CAD\SHEETS\A-7.0 LINE OF SIGHT STUDY.DWG



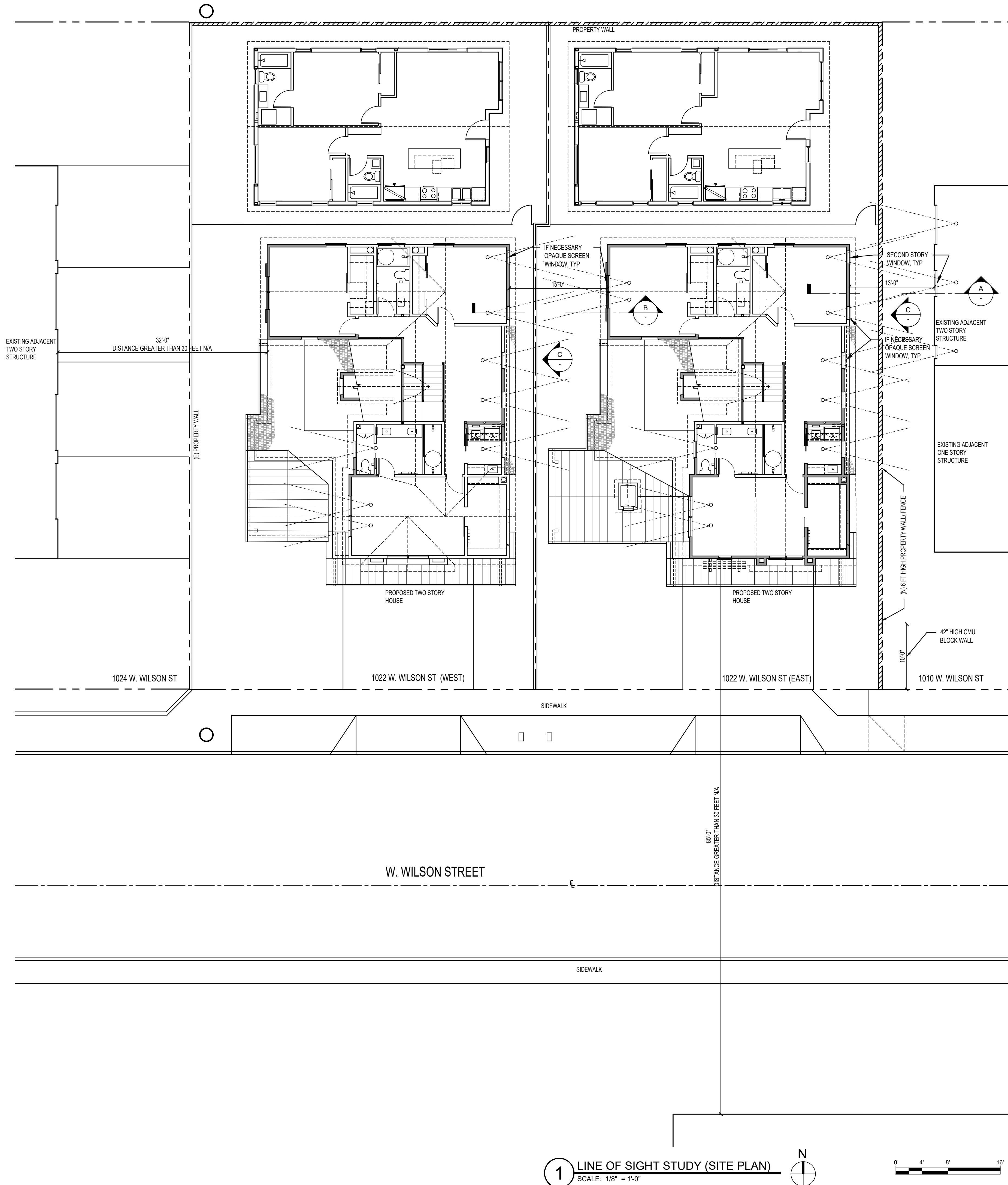
C LINE OF SIGHT STUDY (ELEVATION)
SCALE: 1/8" = 1'-0"



B LINE OF SIGHT STUDY (SECTION)
SCALE: 1/8" = 1'-0"



A LINE OF SIGHT STUDY (SECTION)
SCALE: 1/8" = 1'-0"



1 LINE OF SIGHT STUDY (SITE PLAN)
SCALE: 1/8" = 1'-0"

Builder :

Project : **2 HOMES & 2 ADU
 SMALL LOT ORDINANCE**
 1022 W. WILSON STREET
 COSTA MESA, CA 92627

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Job No.: 02-1173-001
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 Project Start Date: 09-20-2023
 Drawn By: DC
 Checked By: KP
 Scale: AS NOTED

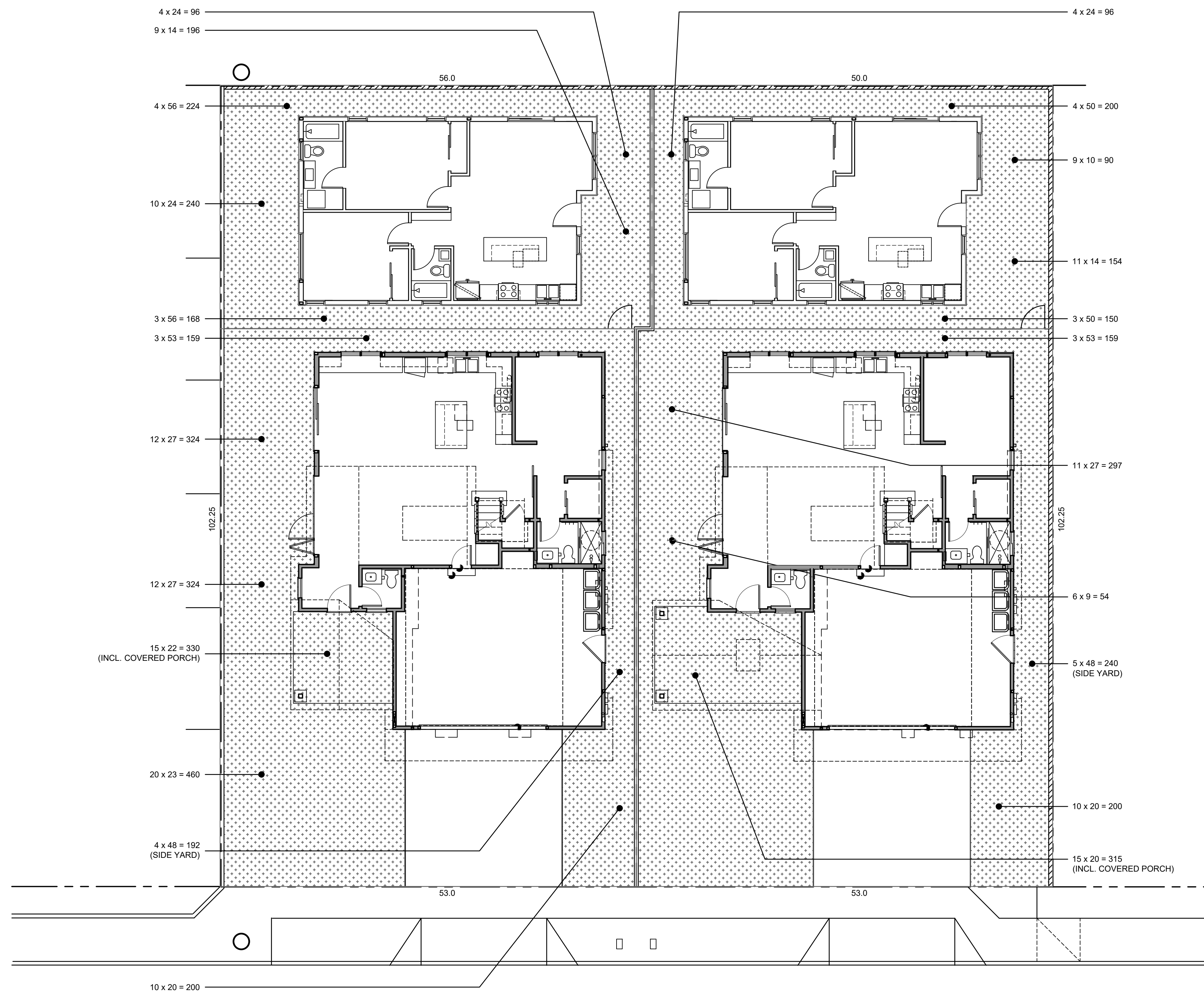
Drawing Title

LINE OF SIGHT STUDY

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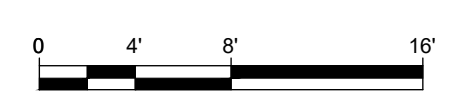
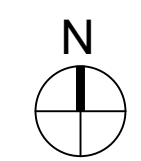
A-7.0

PLOT DATE: March 7, 2024 K:\02-1173-001 1022 WILSON COSTA MESA\CAD\SHEETS\A-7.1 OPEN SPACE STUDY.DWG



W. WILSON STREET

1 OPEN SPACE STUDY (SITE PLAN)
SCALE: 1/8" = 1'-0"



Architect : **BPS**
Bryant Palmer Soto Inc.
 Neil Stanton Palmer ARCHITECTS / Jack K. Bryant ENGINEERS
 2601 Airport Drive, Suite 310, Torrance, CA 90505
 Telephone: (310) 328-9111
 Fax: (310) 325-0271

Builder :

Project :
2 HOMES & 2 ADU
SMALL LOT ORDINANCE
 1022 W. WILSON STREET
 COSTA MESA, CA 92627

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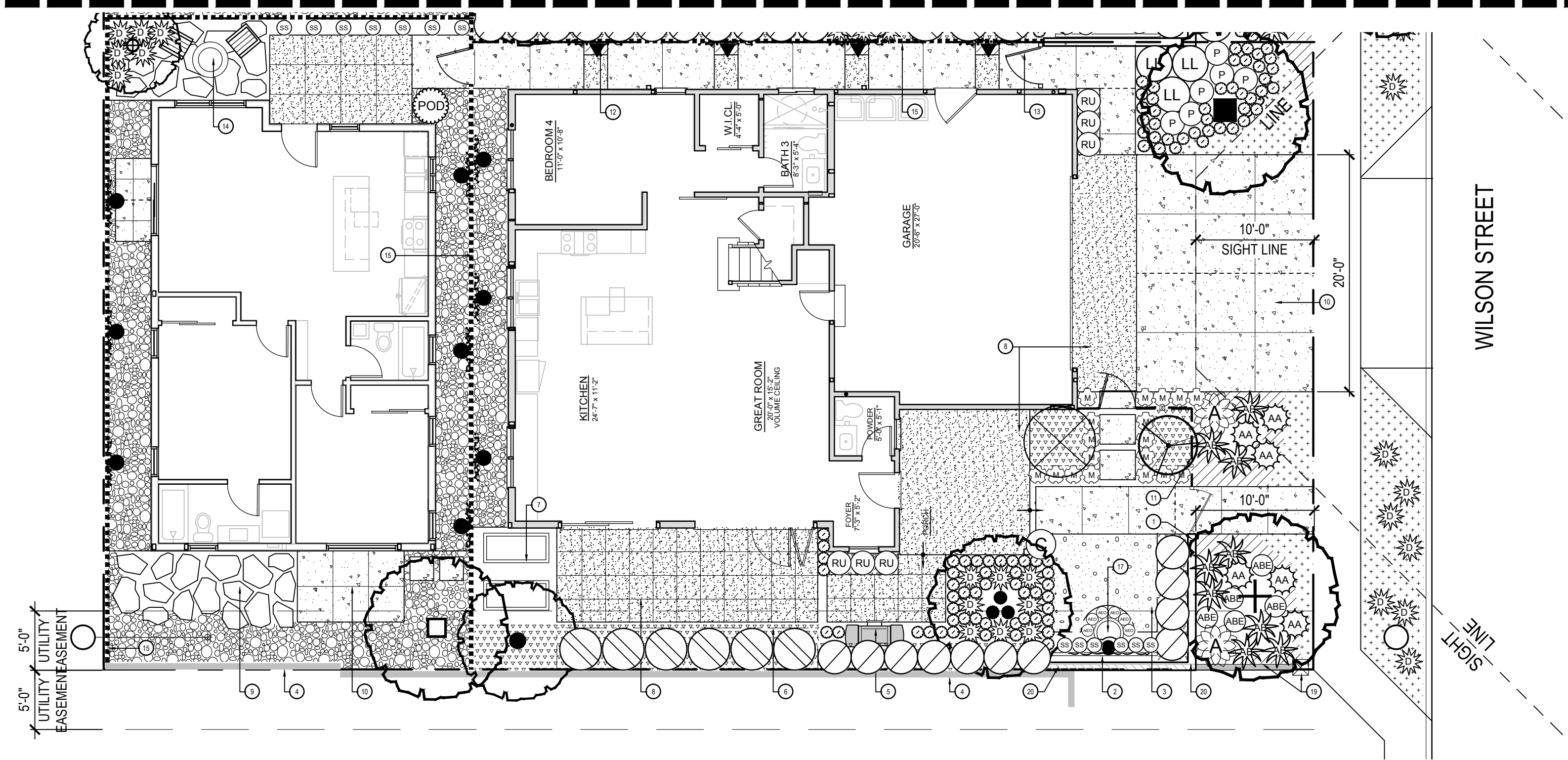
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Job No.: 02-1173-001
 CADD File: K:\02-1173-001 1022 WILSON COSTA MESA\CAD\SHEETS\A-7.1 OPEN SPACE STUDY.DWG
 Project Start Date: 09-20-2023
 Drawn By: DC
 Checked By: KP
 Scale: AS NOTED

Drawing Title
**OPEN SPACE
 STUDY**

Sheet
A-7.1

MATCHLINE - SEE SHEET L1.2

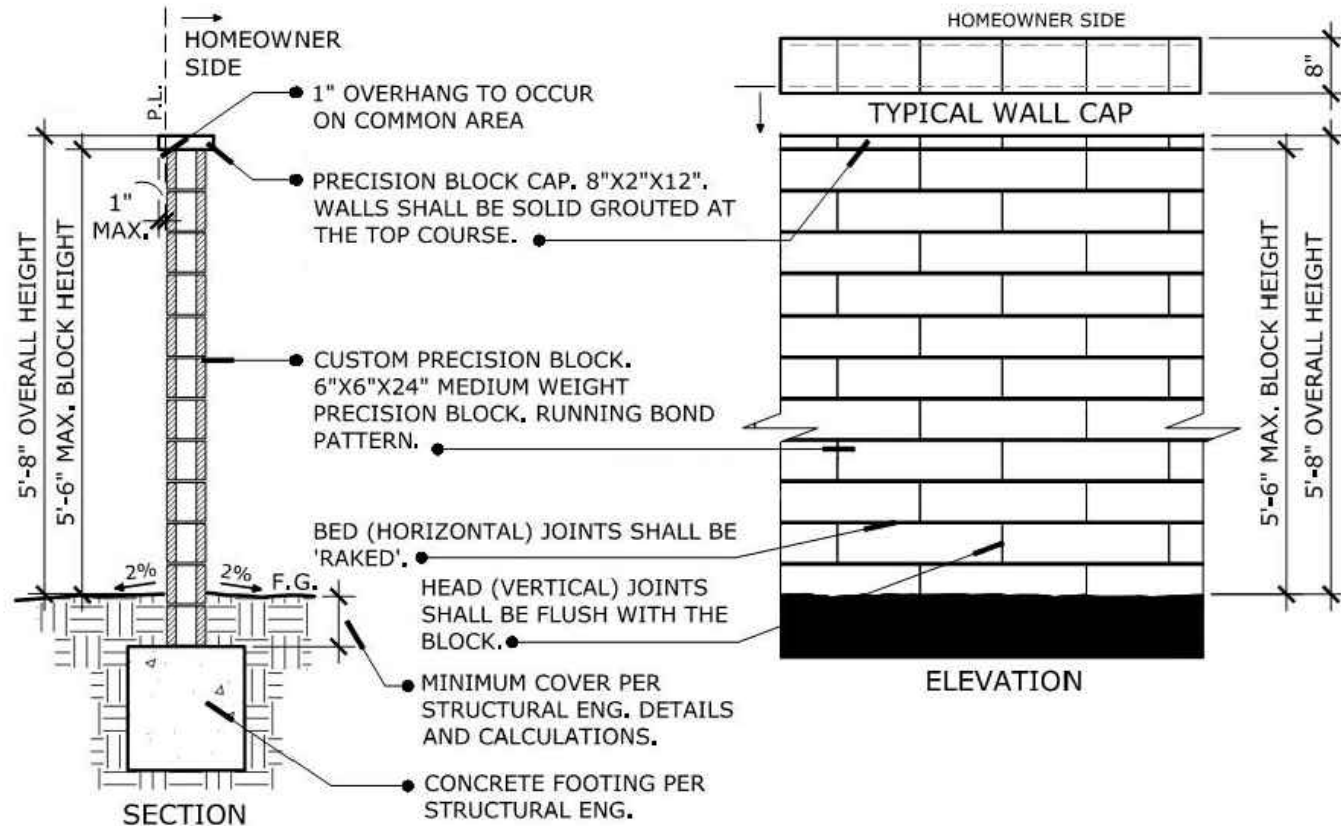


LEGEND

| SYMBOL | DESCRIPTION |
|--------|---|
| 1 | 6'-0" HIGH ENHANCED MASONRY WALL |
| 2 | ORNAMENTAL TRELLIS NO. 1 |
| 3 | BIRD'S EYE PEA GRAVEL |
| 4 | EXISTING PROPERTY LINE WALL TO REMAIN |
| 5 | PORTABLE BBQ (BY TENANT / OWNER) |
| 6 | 18-INCH HIGH CORTEN STEEL RAISED PLANTER |
| 7 | RAISED VEGETABLE BEDS (MAY BE BY TENANT / OWNER) |
| 8 | PORCELAIN 24-INCH X 24-INCH TILE PAVING OR SCORED CONCRETE |
| 9 | FLAGSTONE PAVING ON SAND BED |
| 10 | STANDARD CONCRETE PAVING |
| 11 | 6'-0" HIGH TUBULAR STEEL FENCE |
| 12 | VINE POCKET |
| 13 | PROPOSED VINYL GATE |
| 14 | PORTABLE FIRE PIT (BY TENANT / OWNER) |
| 15 | 6'-0" PROPERTY LINE VINYL FENCE |
| 16 | STREET TREE PER CITY OF COSTA MESA |
| 17 | SELF CONTAINED WATER FEATURE ELEMENT |
| 18 | LOW MASONRY WALL AND PILASTER |
| 19 | EXISTING 2-FT HIGH END COLUMN AND WALL - PROTECT IN PLACE |
| 20 | EXISTING 2-FT HIGH WALL - TO BE REMOVED FOR NEW 6'-0" ENHANCED MASONRY WALL |

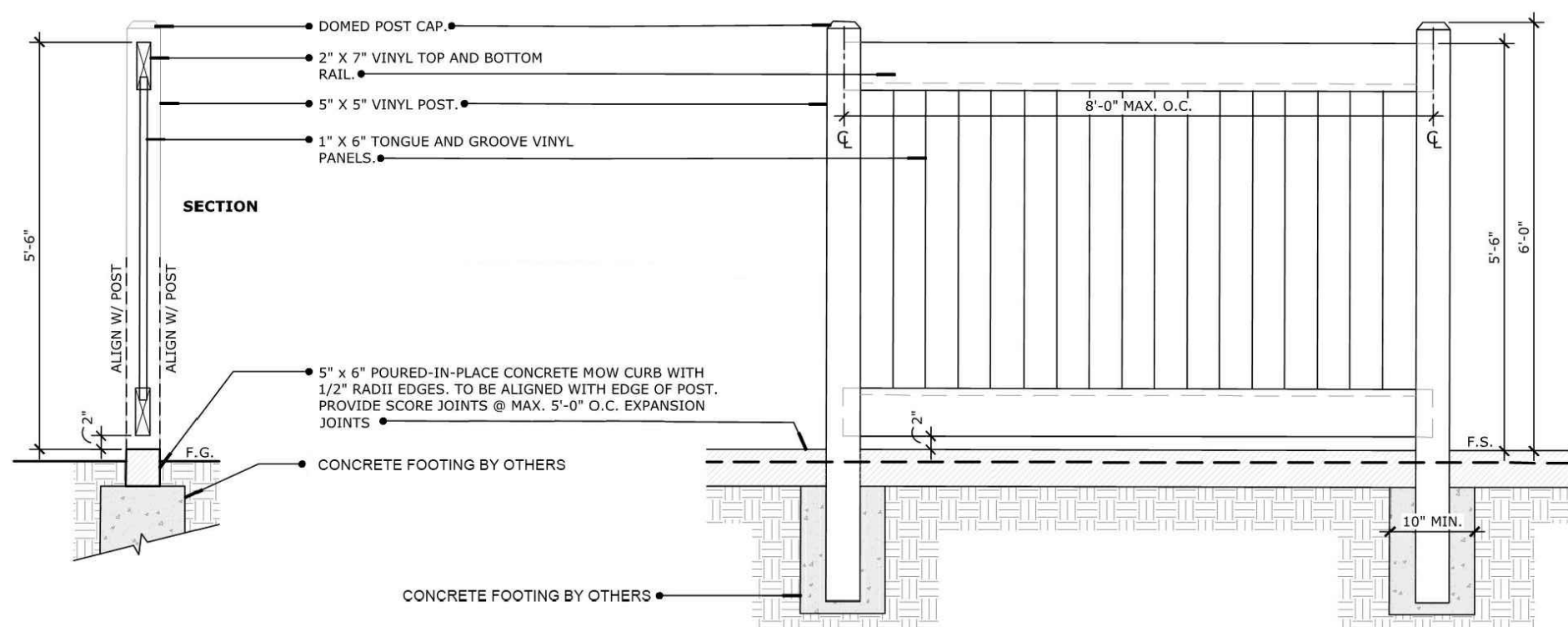
HARDSCAPE LEGEND

| SYMBOL | DESCRIPTION |
|-----------|-----------------------------|
| [Pattern] | BIRD'S EYE PEA GRAVEL |
| [Pattern] | 3/4-INCH ROCK MULCH |
| [Pattern] | ENHANCED CONCRETE OR PAVERS |
| [Pattern] | CONCRETE |



HIGH PRECISION BLOCK WALL

SCALE: 1/2" = 1'-0"



VINYL FENCE ON MOW CURB

SCALE: 3/4" = 1'-0"

WEST LOT LANDSCAPE TABULATION:

- TOTAL LANDSCAPE AREA = 862 S.F.
- GROUND COVER / GROUND COVER SHRUB = 610 S.F. (71% OF LS AREA)
- TREES REQUIRED LANDSCAPE AREA: 862 S.F. / 200 S.F. = 5 TREES REQ.
- TREES PROVIDED: 7 TREES PROVIDED / 86% EVERGREEN

- SHRUBS REQUIRED OPEN SPACE: 862 S.F. / 25 S.F. = 35 SHRUBS REQ.
- SHRUBS PROVIDED: 191 SHRUBS & VINES PROVIDED

- SIXTY (60) PERCENT OF THE REQUIRED SHRUBS SHALL BE A MINIMUM OF FIVE (5) GALLONS: 14 FIVE-GALLON REQUIRED (60%)
- 5 / 15 GAL SHRUBS PROVIDED: 116 PROVIDED

SUMMARY:
LANDSCAPE HAS BE DESIGNED TO MEET OR EXCEED MINIMUM TREE AND SHRUB PLANT COUNTS AND SIZING PER ORDINANCE (SEE TABULATION) BASED ON THE LANDSCAPED AREA. PROFESSIONAL JUDGEMENT IS USED TO MAXIMIZE AESTHETICS WHILE ALLOWING LANDSCAPE TO MATURE PROPERLY

IRRIGATION NOTES:
AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED WITH SUBSURFACE LANDSCAPE DRIPLINE.

LANDSCAPE SHALL MEET CITY WATER CONSERVATION GUIDELINES.

PLANT LEGEND WEST LOT

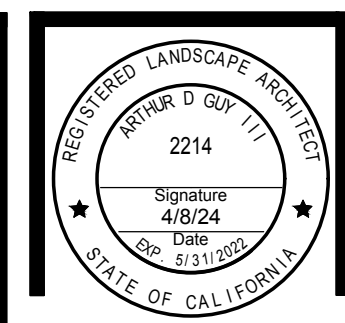
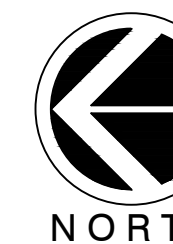
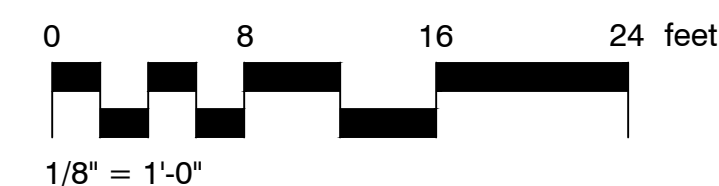
| SYMBOL | BOTANICAL NAME | COMMON NAME | SIZE | WUCOLS | QTY |
|--------------|-------------------------------|----------------------------|----------------------|----------------------|-----|
| TREES | | | | | |
| [Symbol] | DRACAENA DRACO | DRAGON TREE | 24" BOX STD | VERY LOW / EVERGREEN | 1 |
| [Symbol] | ERIOBOTRYA DEFLEXA | BRONZE LOQUAT | 24" BOX STD | MEDIUM / EVERGREEN | 1 |
| [Symbol] | FEIJOA SELLOWIANA | PINEAPPLE GUAVA | 24" BOX 'LOW BRANCH' | LOW / EVERGREEN | 1 |
| [Symbol] | MELALEUCA QUINQUENERVIA | PAPERBARK TREE | 24" BOX STD | LOW / EVERGREEN | 1 |
| [Symbol] | METROSIDEROS EXCELSA | NEW ZEALAND CHRISTMAS TREE | 36" BOX MULTI | MEDIUM / EVERGREEN | 1 |
| [Symbol] | OLEA EUROPAEA | EUROPEAN OLIVE | B&B 15X15' | LOW / EVERGREEN | 1 |
| [Symbol] | PARKINSONIA X 'DESERT MUSEUM' | DESERT MUSEUM PALO VERDE | 36" BOX 'LOW BRANCH' | VERY LOW / DECIDUOUS | 1 |

| SYMBOL | BOTANICAL NAME | COMMON NAME | SIZE | WUCOLS | SPACING | QTY |
|---------------|----------------------------------|---------------------------------|-----------------|--------|----------|-----|
| SHRUBS | | | | | | |
| [Symbol] | AEONIUM URBICUM | DINNER PLATE AEONIUM | 1 GAL | LOW | 12" o.c. | 6 |
| [Symbol] | AGAVE ATTENUATA | FOXTAIL AGAVE | 5 GAL | LOW | 30" o.c. | 6 |
| [Symbol] | ALOE ARBORESCENS | TORCH ALOE | 15 GAL | LOW | 42" o.c. | 2 |
| [Symbol] | ALOE BARBADENSIS | BARBADOS ALOE | 5 GAL | LOW | 36" o.c. | 9 |
| [Symbol] | CUPRESSUS SEMPERVIRENS 'MONSHEL' | TINY TOWER ITALIAN CYPRESS | 15 GAL | LOW | 30" o.c. | 1 |
| [Symbol] | DIANELLA REVOLUTA 'LITTLE REV' | LITTLE REV FLAX LILY | 5 GAL | LOW | 28" o.c. | 14 |
| [Symbol] | GREWIA CAFFRA | LAVENDER STARFLOWER | 15 GAL ESPALIER | LOW | 18" o.c. | 9 |
| [Symbol] | LEONOTIS LEONURUS | LION'S TAIL | 5 GAL | LOW | 36" o.c. | 3 |
| [Symbol] | LIGUSTRUM JAPONICUM 'TEXANUM' | TEXAS JAPANESE PRIVET | 5 GAL COLUMN | MEDIUM | 34" o.c. | 11 |
| [Symbol] | PENNISETUM X 'FAIRY TAILS' | FAIRY TAILS FOUNTAIN GRASS | 5 GAL | MEDIUM | 24" o.c. | 6 |
| [Symbol] | PODOCARPUS ELONGATUS 'MONMAL' | ICEE BLUE YELLOW WOOD | 15 GAL | MEDIUM | 36" o.c. | 1 |
| [Symbol] | PRUNUS CAROLINIANA 'COMPACTA' | COMPACT CAROLINA CHERRY LAUREL | 24" BOX | MEDIUM | 42" o.c. | 6 |
| [Symbol] | RHAPHIOLEPIS UMBELLATA 'MINOR' | DWARF YEDDA HAWTHORN | 5 GAL | LOW | 24" o.c. | 6 |
| [Symbol] | RHAPHIOLEPIS X 'MONTIC' | MAJESTIC BEAUTY INDIAN HAWTHORN | 24" BOX | MEDIUM | 72" o.c. | 1 |
| [Symbol] | TRACHELOSPERMUM JASMINOIDES | CHINESE STAR JASMINE | 15 GAL ESPALIER | LOW | 18" o.c. | 4 |
| [Symbol] | VINE: TBS | | 15 GAL ESPALIER | LOW | 18" o.c. | 1 |

| SYMBOL | BOTANICAL NAME | COMMON NAME | SIZE | WUCOLS | SPACING | QTY |
|---|-------------------------------------|------------------------|-------|--------|----------|--------|
| GROUND COVERS / GROUND COVER SHRUB | | | | | | |
| [Symbol] | BULBINE FRUTESCENS 'TINY TANGERINE' | TINY TANGERINE BULBINE | 1 GAL | LOW | 12" o.c. | 79 SF |
| [Symbol] | DYMONDIA MARGARETAE | SILVER CARPET DYMONDIA | 4" | LOW | 12" o.c. | 80 SF |
| [Symbol] | SENECIO SERPENS | BLUE CHALKSTICKS | 4" | LOW | 12" o.c. | 248 SF |
| [Symbol] | ALOE X 'BLUE ELF' | BLUE ELF ALOE | 5 GAL | LOW | 22" o.c. | 5 |
| [Symbol] | FESTUCA OVINA GLAUCA | BLUE SHEEP FESCUE | 1 GAL | LOW | 12" o.c. | 88 |
| [Symbol] | MYRTUS COMMUNIS 'COMPACTA' | DWARF COMMON MYRTLE | 5 GAL | LOW | 18" o.c. | 18 |
| [Symbol] | SENECIO FICOIDES 'MOUNT EVEREST' | SKYSCRAPER SENECIO | 5 GAL | LOW | 15" o.c. | 13 |

NOTE:

- GROUND COVER AND GROUND COVER SHRUBS ARE INTENDED TO SPREAD FORMING 100 % SOIL COVERAGE TO MEET THE MINIMUM CITY 70% SOIL COVERAGE.
- TREES ARE EXCEEDING THE "15 GALLON" MINIMUM CITY TREE SIZE AS SHOWN IN THE LEGEND.

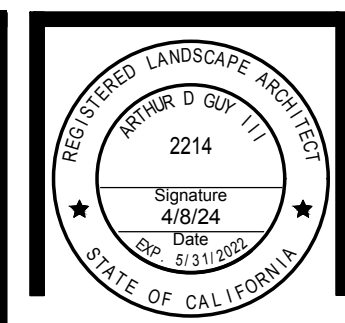


LANDSCAPE ARCHITECTURE MASTER PLANNING URBAN DESIGN
3185-Ct Airway Avenue Costa Mesa, CA 92626 O: 714.945.2888 F: 714.945.2878
CLIENT: GRANT BIXBY
341 BAYSIDE DRIVE
NEWPORT BEACH, CA 92660

BGB | DESIGN GROUP
PROJECT: WILSON STREET - 2 HOMES & 2 ADU
1022 W. WILSON STREET, COSTA MESA, CA 92627

| | |
|-----------------|--------------------------------|
| JOB NUMBER | WIL-2301.01 |
| DRAWN / CHECKED | NN / AG |
| SHEET TITLE | WEST LOT PRELIM LANDSCAPE PLAN |
| SCALE | AS NOTED |
| SUBMITTALS | |
| REVISIONS | |

SHEET
L1.1
01 OF 02

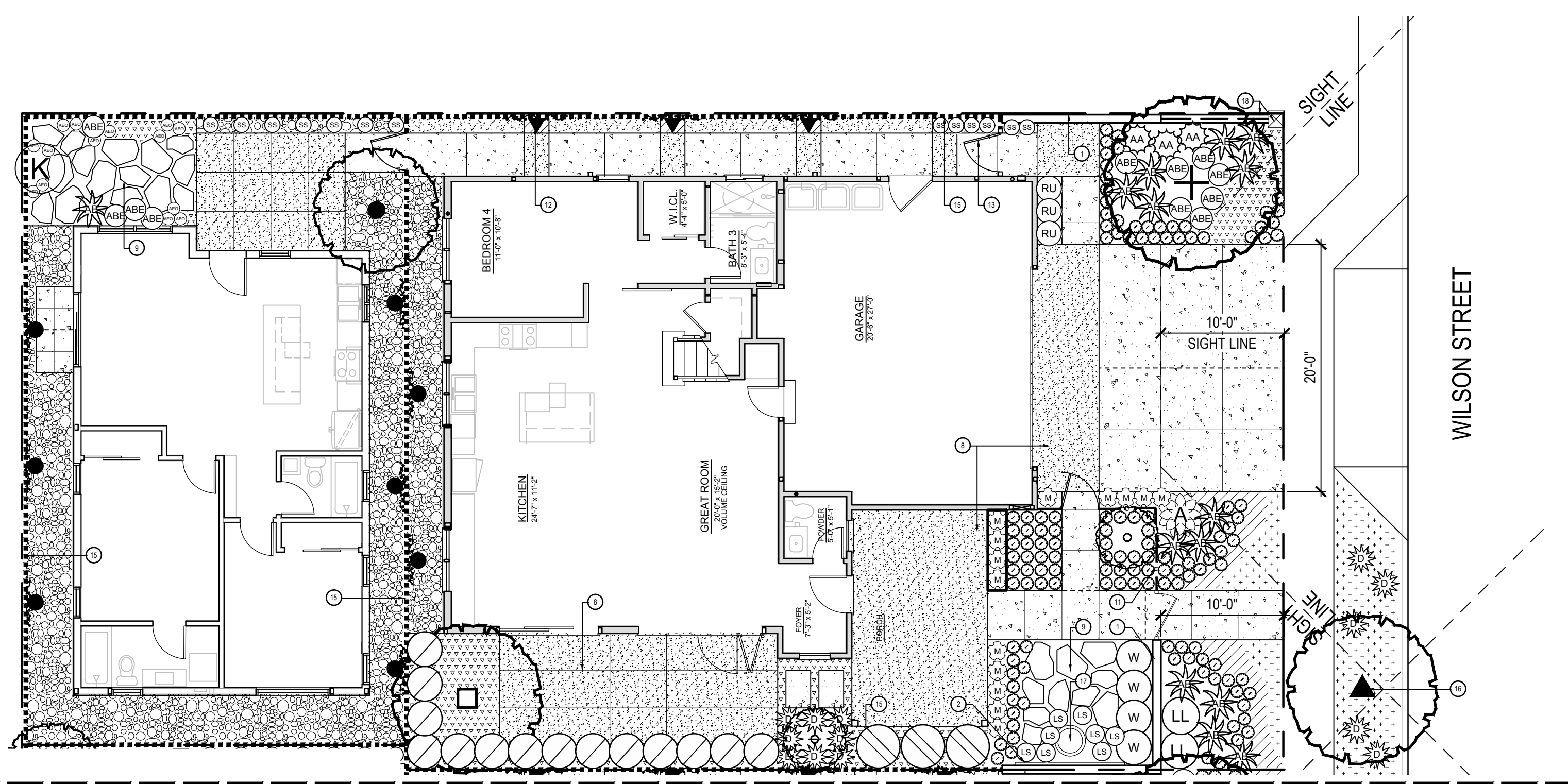


LANDSCAPE ARCHITECTURE MASTER PLANNING URBAN DESIGN
 3185-Ct Airway Avenue Costa Mesa, CA 92626 O: 714.949.2888 F: 714.945.2878
 CLIENT: GRANT BIXBY
 341 BAYSIDE DRIVE
 NEWPORT BEACH, CA 92660

BGB | DESIGN GROUP
 PROJECT: WILSON STREET - 2 HOMES & 2 ADU
 1022 W. WILSON STREET, COSTA MESA, CA 92627

JOB NUMBER: WIL-2301.01
 DRAWN / CHECKED: NN / AG
 SHEET TITLE: EAST LOT PRELIM LANDSCAPE PLAN
 SCALE: AS NOTED
 SUBMITTALS: []
 REVISIONS: []

SHEET: **L1.2**
 02 OF 02



MATCHLINE - SEE SHEET L1.1

LEGEND

| SYMBOL | DESCRIPTION |
|--------|---|
| 1 | 6'-0" HIGH ENHANCED MASONRY WALL |
| 2 | ORNAMENTAL TRELLIS NO. 1 |
| 3 | BIRD'S EYE PEA GRAVEL |
| 4 | EXISTING PROPERTY LINE WALL TO REMAIN |
| 5 | PORTABLE BBQ (BY TENANT / OWNER) |
| 6 | 18-INCH HIGH CORTEN STEEL RAISED PLANTER |
| 7 | RAISED VEGETABLE BEDS (MAY BE BY TENANT / OWNER) |
| 8 | PORCELAIN 24-INCH X 24-INCH TILE PAVING OR SCORED CONCRETE |
| 9 | FLAGSTONE PAVING ON SAND BED |
| 10 | STANDARD CONCRETE PAVING |
| 11 | 6'-0" HIGH TUBULAR STEEL FENCE |
| 12 | VINE POCKET |
| 13 | PROPOSED VINYL GATE |
| 14 | PORTABLE FIRE PIT (BY TENANT / OWNER) |
| 15 | 6'-0" PROPERTY LINE VINYL FENCE |
| 16 | STREET TREE PER CITY OF COSTA MESA |
| 17 | SELF CONTAINED WATER FEATURE ELEMENT |
| 18 | LOW MASONRY WALL AND PILASTER |
| 19 | EXISTING 2-FT HIGH END COLUMN AND WALL - PROTECT IN PLACE |
| 20 | EXISTING 2-FT HIGH WALL - TO BE REMOVED FOR NEW 6'-0" ENHANCED MASONRY WALL |

HARDSCAPE LEGEND

| SYMBOL | DESCRIPTION |
|----------|-----------------------------|
| [Symbol] | BIRD'S EYE PEA GRAVEL |
| [Symbol] | 3/4-INCH ROCK MULCH |
| [Symbol] | ENHANCED CONCRETE OR PAVERS |
| [Symbol] | CONCRETE |

EAST LOT LANDSCAPE TABULATION:

- TOTAL LANDSCAPE AREA = 777 S.F.
- GROUND COVER / GROUND COVER SHRUB = 550 S.F. (71% OF LS AREA)
- TREES REQUIRED LANDSCAPE AREA: 777 S.F. / 200 S.F. = 4 TREES REQ.
- TREES PROVIDED: 5 TREES PROVIDED / 80% EVERGREEN

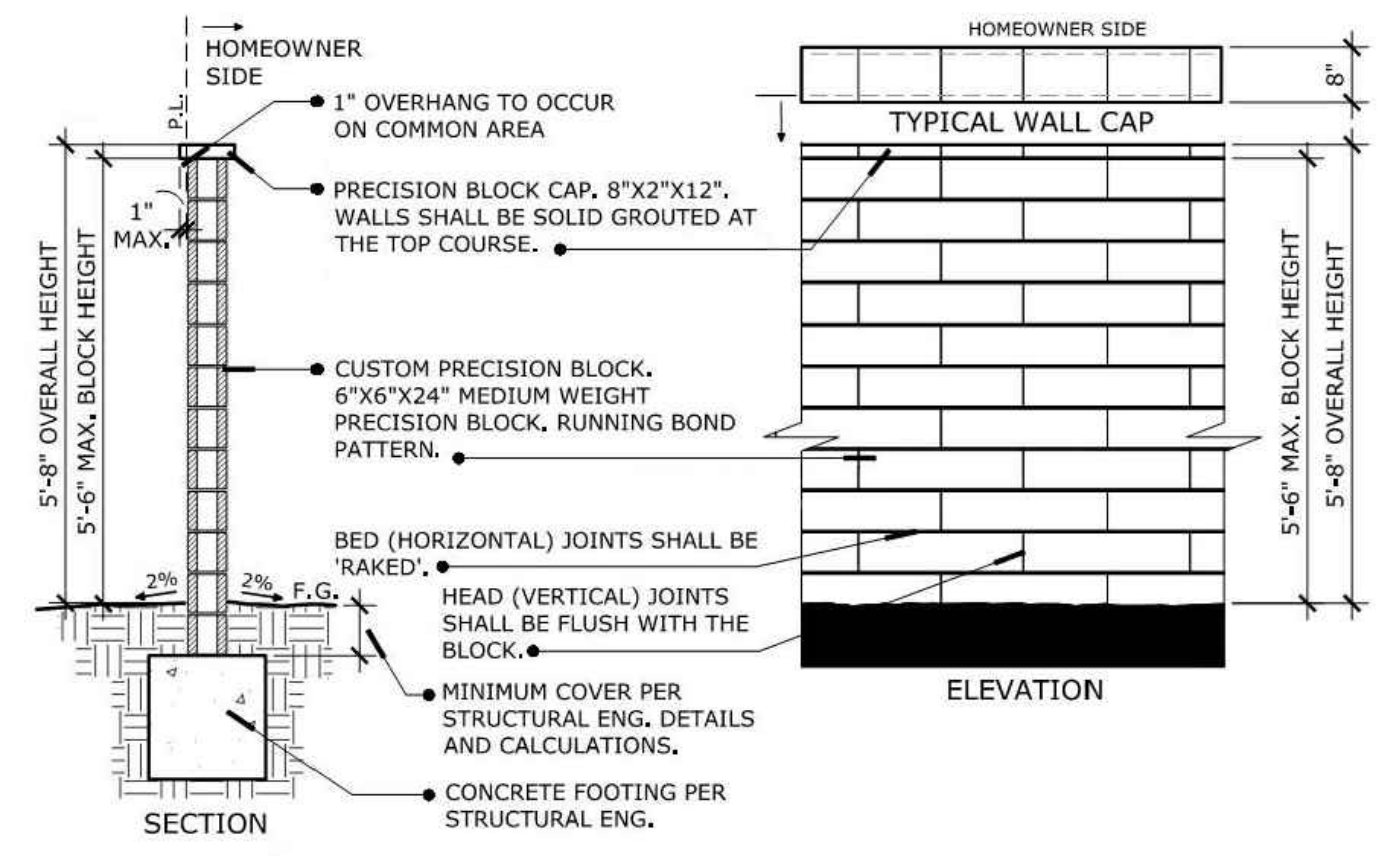
- SHRUBS REQUIRED OPEN SPACE: 777 S.F. / 25 S.F. = 32 SHRUBS REQ.
- SHRUBS PROVIDED: 262 SHRUBS & VINES PROVIDED

- SIXTY (60) PERCENT OF THE REQUIRED SHRUBS SHALL BE A MINIMUM OF FIVE (5) GALLONS: 13 FIVE-GALLON REQUIRED (60%)
- 15 GAL SHRUBS PROVIDED: 102 PROVIDED

SUMMARY:
 LANDSCAPE HAS BE DESIGNED TO MEET OR EXCEED MINIMUM TREE AND SHRUB PLANT COUNTS AND SIZING PER ORDINANCE (SEE TABULATION) BASED ON THE LANDSCAPED AREA. PROFESSIONAL JUDGEMENT IS USED TO MAXIMIZE AESTHETICS WHILE ALLOWING LANDSCAPE TO MATURE PROPERLY

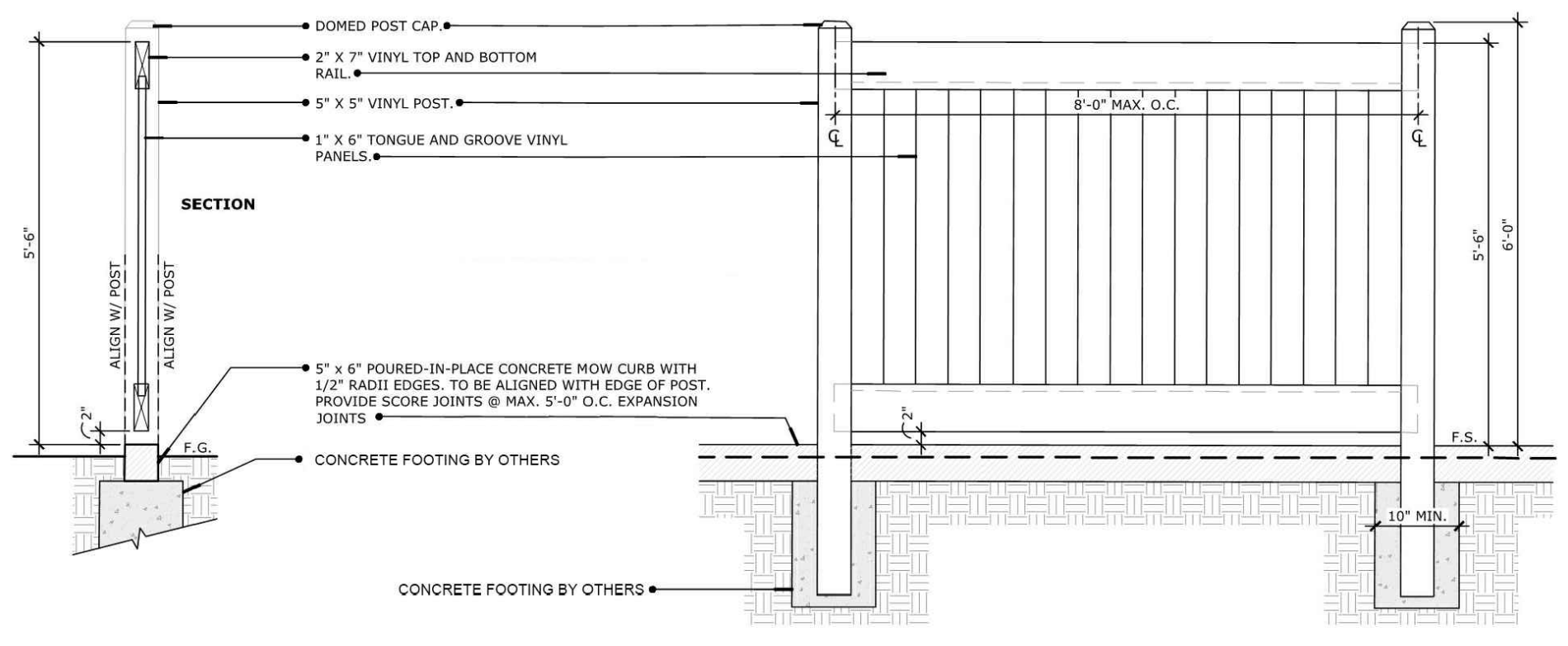
IRRIGATION NOTES:
 AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED WITH SUBSURFACE LANDSCAPE DRIPLINE.

LANDSCAPE SHALL MEET CITY WATER CONSERVATION GUIDELINES.



HIGH PRECISION BLOCK WALL

SCALE: 1/2" = 1'-0"



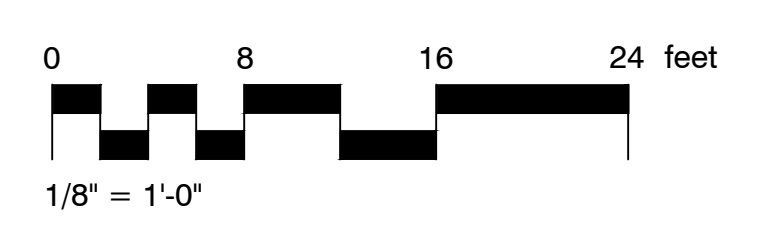
VINYL FENCE ON MOW CURB

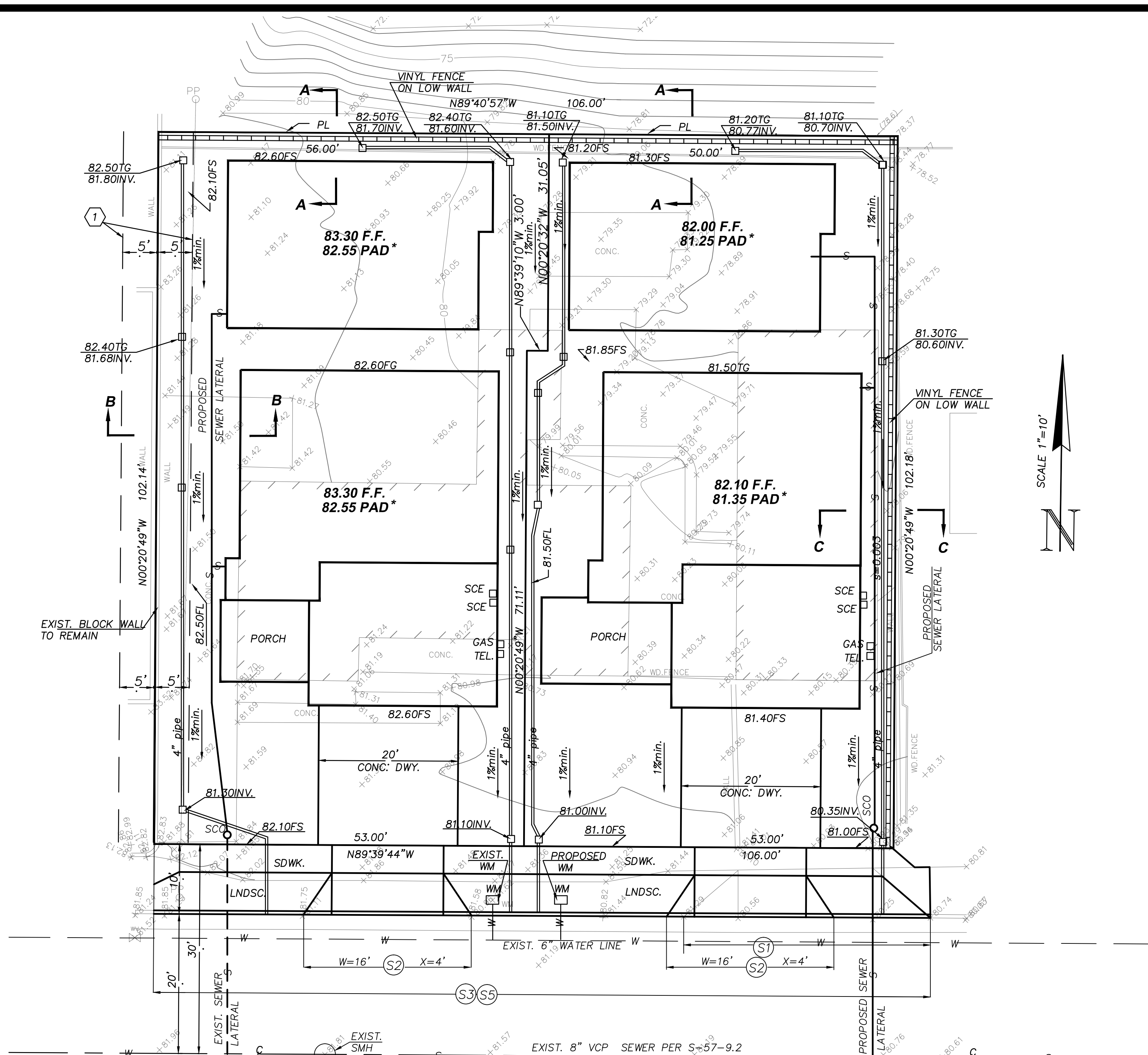
SCALE: 3/4" = 1'-0"

PLANT LEGEND EAST LOT

| SYMBOL | BOTANICAL NAME | COMMON NAME | SIZE | WUCOLS | QTY |
|---|-------------------------------------|--------------------------------|----------------------|----------------------|-----------------|
| TREES | | | | | |
| [Symbol] | EUPHORBIA INGENS | CANDELABRA TREE | 24" BOX | LOW / EVERGREEN | 1 |
| [Symbol] | FEIJOA SELLOWIANA | PINEAPPLE GUAVA | 24" BOX 'LOW BRANCH' | LOW / EVERGREEN | 1 |
| [Symbol] | GREWIA CAFFRA | LAVENDER STARFLOWER | 24" BOX STD | LOW / EVERGREEN | 1 |
| [Symbol] | MELALEUCA QUINQUENERVIA | PAPERBARK TREE | 24" BOX STD | LOW / EVERGREEN | 1 |
| [Symbol] | PARKINSONIA X 'DESERT MUSEUM' | DESERT MUSEUM PALO VERDE | 36" BOX 'LOW BRANCH' | VERY LOW / EVERGREEN | 1 |
| SHRUBS | | | | | |
| [Symbol] | AEONIU URBICUM | DINNER PLATE AEONIU | 1 GAL | LOW | 12" o.c. 14 |
| [Symbol] | AGAVE ATTENUATA | FOXTAIL AGAVE | 5 GAL | LOW | 30" o.c. 3 |
| [Symbol] | ALOE ARBORESCENS | TORCH ALOE | 15 GAL | LOW | 42" o.c. 1 |
| [Symbol] | ALOE BARBADENSIS | BARBADOS ALOE | 5 GAL | LOW | 36" o.c. 14 |
| [Symbol] | DIANELLA REVOLUTA 'LITTLE REV' | LITTLE REV FLAX LILY | 5 GAL | LOW | 28" o.c. 8 |
| [Symbol] | GREWIA CAFFRA | LAVENDER STARFLOWER | 15 GAL ESPALIER | LOW | 18" o.c. 8 |
| [Symbol] | KALANCHOE BEHARENSIS | FELT PLANT | 5 GAL | LOW | 48" o.c. 1 |
| [Symbol] | LEONOTIS LEONURUS | LION'S TAIL | 5 GAL | LOW | 36" o.c. 2 |
| [Symbol] | LIGUSTRUM JAPONICUM 'TEXANUM' | TEXAS JAPANESE PRIVET | 5 GAL COLUMN | MEDIUM | 34" o.c. 14 |
| [Symbol] | PRUNUS CAROLINIANA 'COMPACTA' | COMPACT CAROLINA CHERRY LAUREL | 24" BOX | MEDIUM | 42" o.c. 3 |
| [Symbol] | RHAPHIOLEPIS UMBELLATA 'MINOR' | DWARF YEDDA HAWTHORN | 5 GAL | LOW | 24" o.c. 3 |
| [Symbol] | TRACHELOSPERMUM JASMINOIDES | CHINESE STAR JASMINE | 15 GAL ESPALIER | LOW | 18" o.c. 3 |
| GROUND COVERS / GROUND COVER SHRUB | | | | | |
| [Symbol] | BULBINE FRUTESCENS 'TINY TANGERINE' | TINY TANGERINE BULBINE | 1 GAL | LOW | 12" o.c. 46 SF |
| [Symbol] | DYMONDIA MARGARETAE | SILVER CARPET DYMONDIA | 4" | LOW | 12" o.c. 36 SF |
| [Symbol] | SENECIO SERPENS | BLUE CHALKSTICKS | 4" | LOW | 12" o.c. 204 SF |
| [Symbol] | ALOE X 'BLUE ELF' | BLUE ELF ALOE | 5 GAL | LOW | 22" o.c. 11 |
| [Symbol] | FESTUCA OVINA GLAUCA | BLUE SHEEP FESCUE | 1 GAL | LOW | 12" o.c. 129 |
| [Symbol] | LAVANDULA STOECHAS | SPANISH LAVENDER | 1 GAL | LOW | 18" o.c. 8 |
| [Symbol] | MYRTUS COMMUNIS 'COMPACTA' | DWARF COMMON MYRTLE | 5 GAL | LOW | 18" o.c. 14 |
| [Symbol] | SENECIO FICOIDES 'MOUNT EVEREST' | SKYSCRAPER SENECIO | 5 GAL | LOW | 15" o.c. 13 |
| [Symbol] | WESTRINGIA FRUTICOSA 'GREY BOX' | GREY BOX COAST ROSEMARY | 5 GAL | LOW | 34" o.c. 4 |

NOTE:
 - GROUND COVER AND GROUND COVER SHRUBS ARE INTENDED TO SPREAD FORMING 100 % SOIL COVERAGE TO MEET THE MINIMUM CITY 70% SOIL COVERAGE.
 - TREES ARE EXCEEDING THE "15 GALLON" MINIMUM CITY TREE SIZE AS SHOWN IN THE LEGEND.

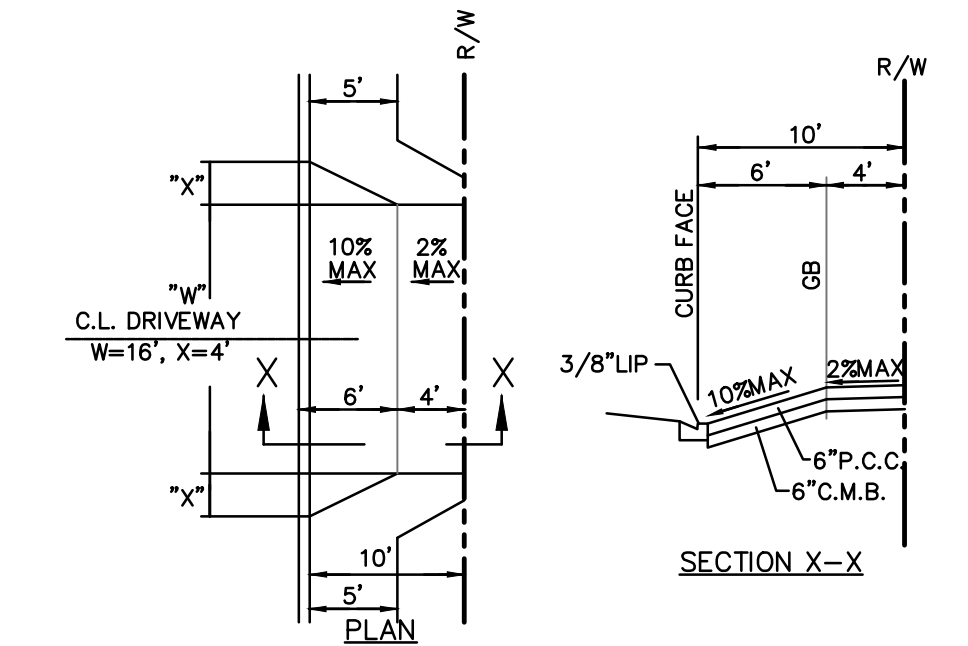
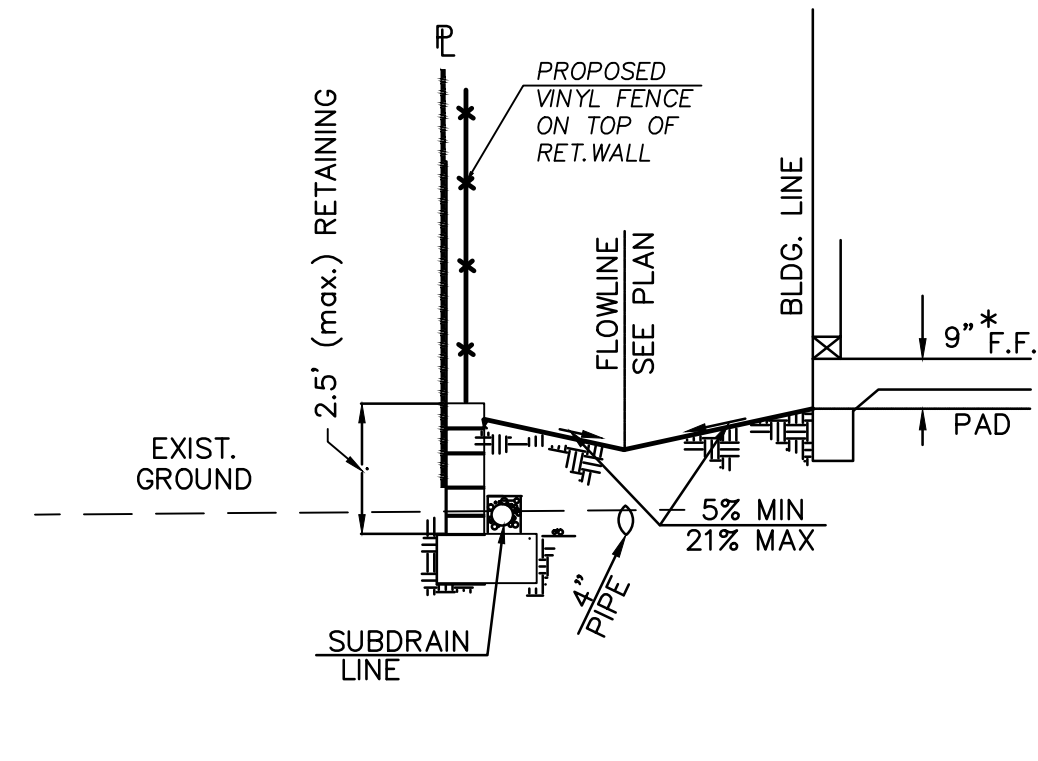
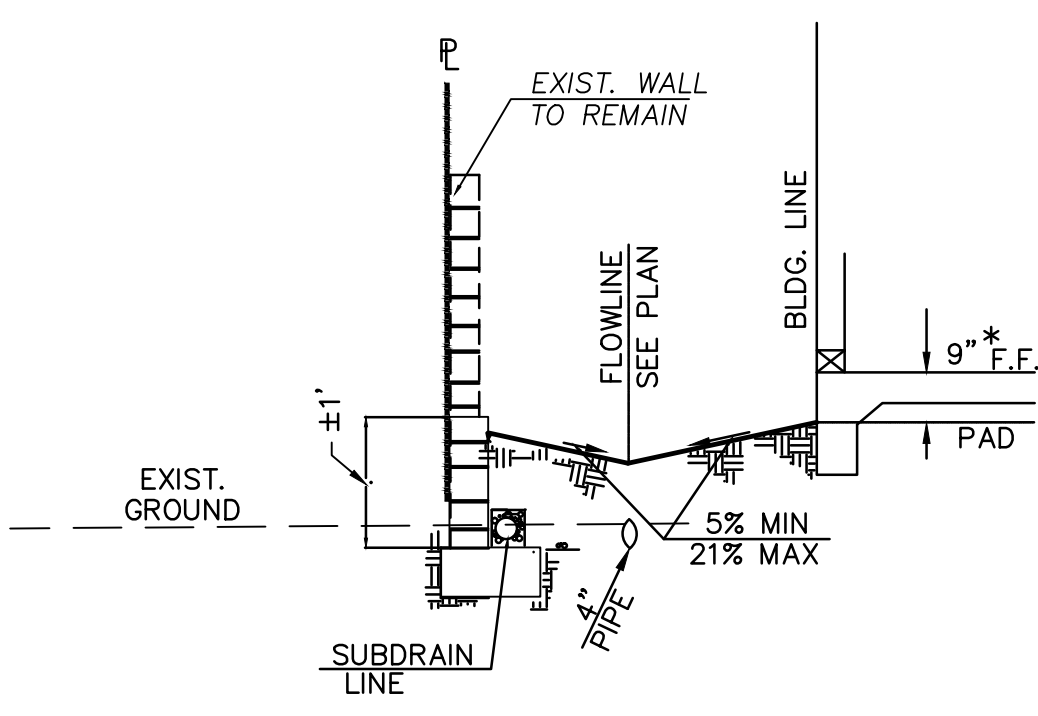
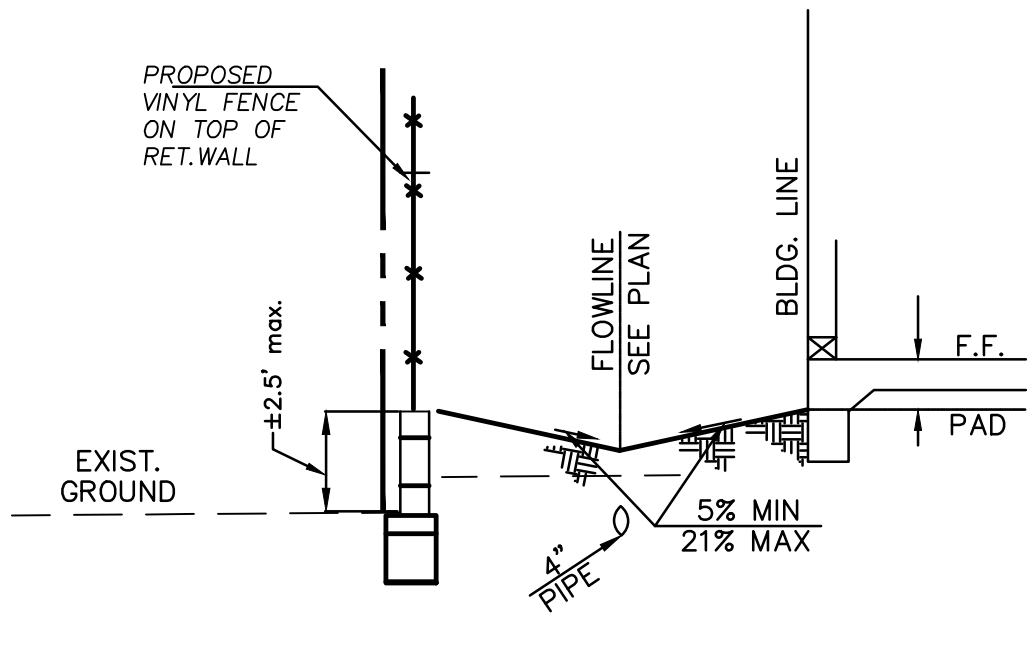




- CONSTRUCTION NOTES**
- ON-SITE GRADING**
- ① CONSTRUCT 4" PVC PIPE (SCH 40) 440 L.F.
 - ② CONSTRUCT 9" DRAIN PER NDS OR EQUIVALENT (NUMBER OF DRAIN TO BE DETERMINED IN FIELD) 15 EA.
 - ③ CONSTRUCT PARKWAY DRAIN PER CITY STD. 418, 2-3" PVC. 2 EA.
 - ④ CONSTRUCT PAVEMENT SECTION PER SOILS ENGINEER RECOMMENDATION. 1 LS
- OFF-SITE**
- ① REMOVE EXISTING DRIVEWAY. 1 L.S.
 - ② CONSTRUCT DRIVEWAY APPROACH (TYPE 1, W, X=PER PLAN) PER CITY OF COSTA MESA STD. NO. 513 OVER 6" CMB AND MODIFIED IF NECESSARY TO COMPLY WITH ADA REGULATIONS 368 S.F.
 - ③ CONSTRUCT RESIDENTIAL SIDEWALK PER CITY OF COSTA MESA STD. 411 AND 413 OVER 4" CMB. 424 S.F.
 - ④ TRENCH REMOVAL & RECONSTRUCTION PER CITY STD. 813. 2 EA.
 - ⑤ REMOVE EXISTING AND CONSTRUCT TYPE (C-6) CURB & GUTTER PER CITY OF COSTA MESA STD. NO. 312 OVER 6" CMB. CONTRACTOR SHALL RECONSTRUCT A MINIMUM OF 3' ADJACENT TO NEW GUTTER. 106 L.F.
- THE NEW SLOT PAVE STRUCTURAL SECTION SHALL BE 6" AC OVER 6" CMB.

WILSON STREET

- * CONTRACTOR TO VERIFY SLAB SECTION WITH THE SOILS ENGINEER PRIOR TO CONSTRUCTION
- EXISTING EASEMENTS**
- ① EASEMENT FOR SEWER, GAS, WATER, TELEPHONE ELECTRIC LIGHT, POWER, FIRE ALARM AND ANY OTHER PUBLIC UTILITY PER TRACT 653, M.M. 19/42
 - ② EASEMENT FOR PUBLIC UTILITIES PER BOOK 243, PAGE 33 OF OFFICIAL RECORDS (BLANKET IN NATURE, NOT PLOTTABLE).



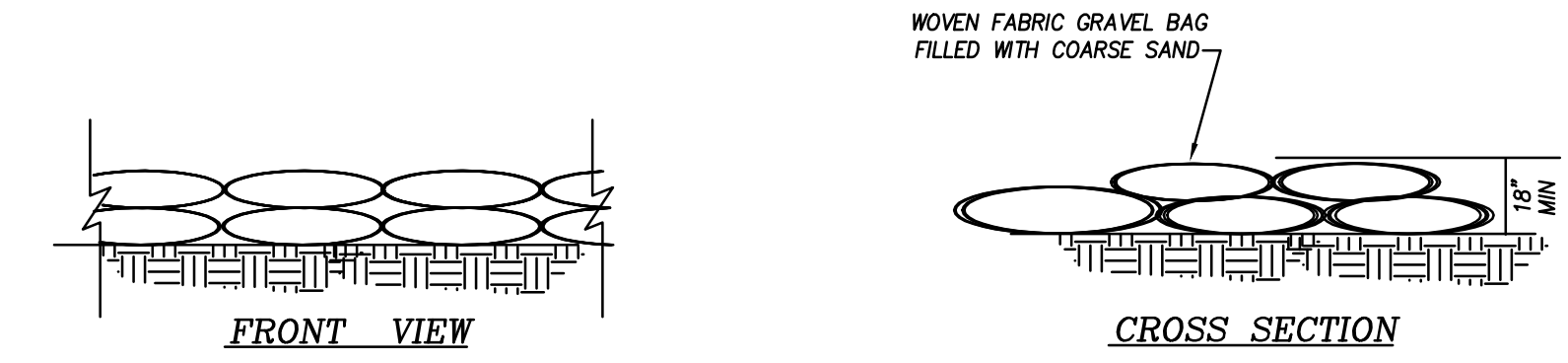
| NO. | DATE | DESCRIPTION |
|-----------|------|-------------|
| REVISIONS | | |

PREPARED BY:
ITF & ASSOCIATES, INC.
 11278 LOS ALAMITOS BLVD., SUITE 354
 LOS ALAMITOS, CA 90720
 PHONE (800) 797-9483
 FAX (888) 932-9482

REGISTERED PROFESSIONAL ENGINEER
 YEFIM TSALYUK
 NO. C052871
 CIVIL
 STATE OF CALIFORNIA

PRECISE DRAINAGE PLAN
1022 W. WILSON STREET
COSTA MESA, CALIFORNIA
CITY OF COSTA MESA

SHEET
2
 OF 5



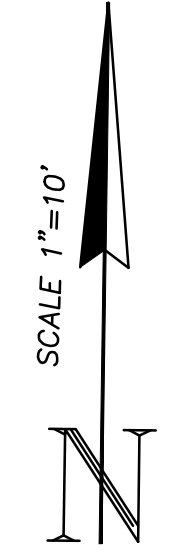
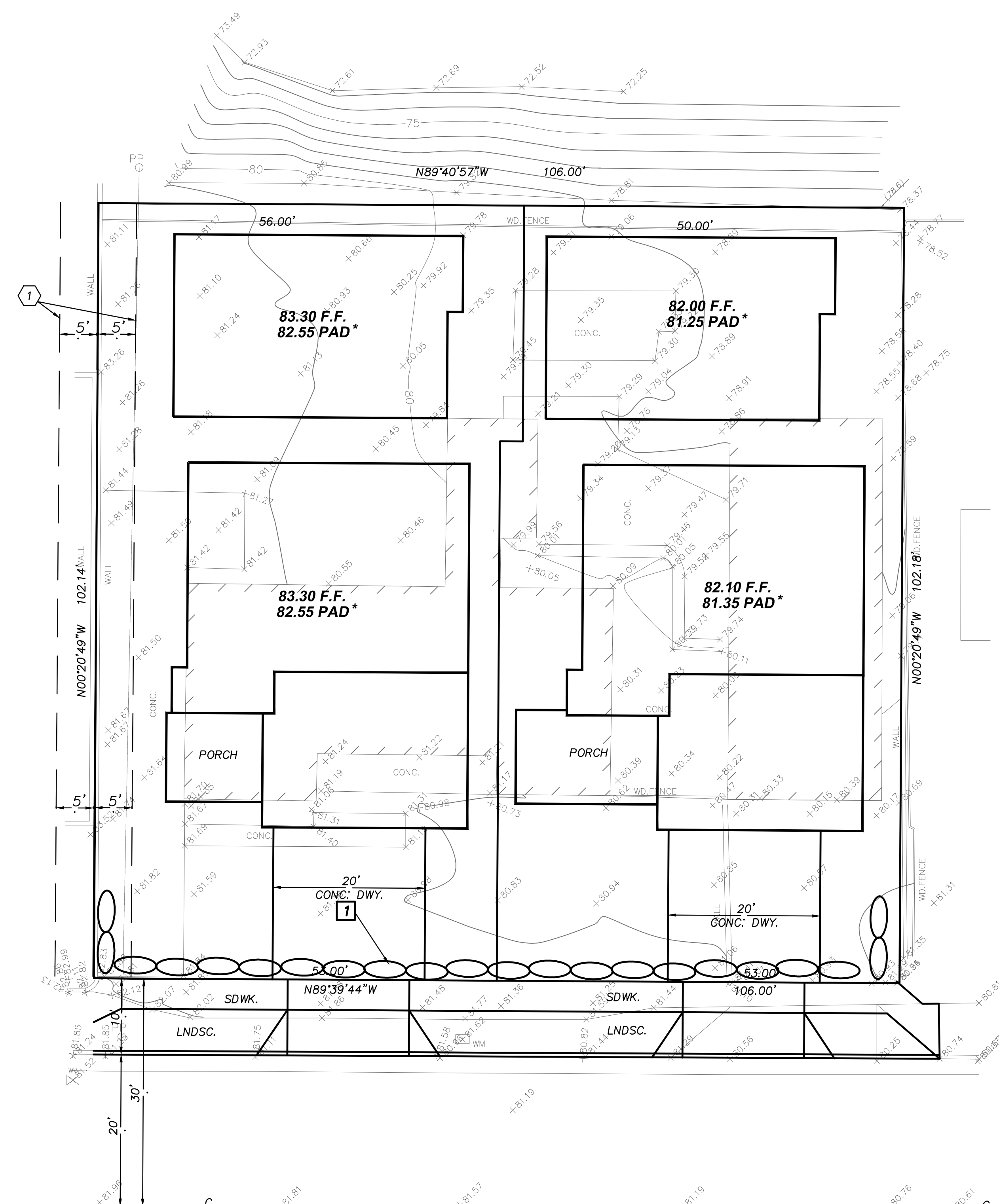
1 GRAVEL BAGS BERM
SE-6 BMP
NBS

EROSION CONTROL NOTES:

1 CONSTRUCT GRAVEL BAGS PER DETAILS HEREON.

EROSION CONTROL NOTES

- 43. IN CASE OF EMERGENCY, CALL GRANT BIXBY AT 949-677-0111
- 44. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
- 45. EROSION CONTROL DEVICES SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL.
- 46. ALL REMOVABLE EROSION PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE 5-DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
- 47. AFTER A RAINSTORM, ALL SILT AND DEBRIS SHALL BE REMOVED FROM STREETS, CHECK BERMS AND BASINS.
- 48. GRADED AREAS ON THE PERMITTED AREA PERIMETER MUST DRAIN AWAY FROM THE FACE OF SLOPES AT THE CONCLUSION OF EACH WORKING DAY. DRAINAGE IS TO BE DIRECTED TOWARD DESILTING FACILITIES.
- 49. THE PERMITTEE AND CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS INTO AREAS WHERE IMPOUNDED WATER CREATES A HAZARDOUS CONDITION.
- 50. THE PERMITTEE AND CONTRACTOR SHALL INSPECT THE EROSION CONTROL WORK AND INSURE THAT WORK IS IN ACCORDANCE WITH APPROVED PLANS.



WILSON STREET

| NO. | DATE | DESCRIPTION |
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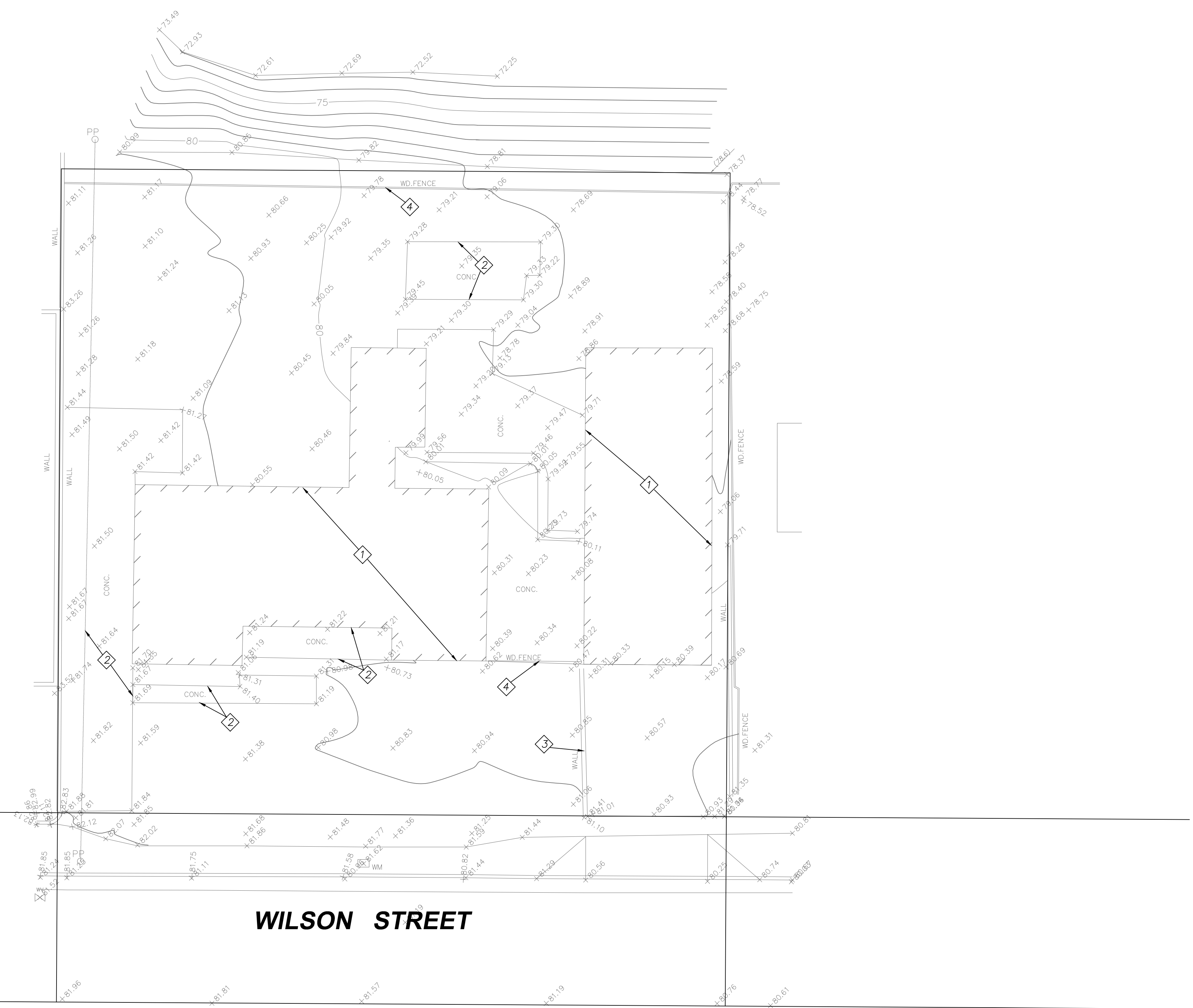
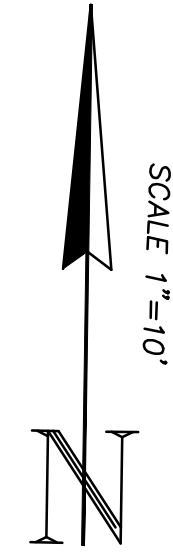
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 11278 LOS ALAMITOS BLVD., SUITE 354
 LOS ALAMITOS, CA 90720
 PHONE (800) 797-9483
 FAX (888) 932-9482

EROSION CONTROL PLAN
1022 W. WILSON STREET
COSTA MESA, CALIFORNIA
CITY OF COSTA MESA

SHEET
3
 OF 5



- DEMOLITION ITEMS**
- 1 BUILDING
 - 2 CONCRETE DRIVEWAY/PAVEMENT
 - 3 WALL
 - 4 FENCE

WILSON STREET

| NO. | DATE | DESCRIPTION |
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| <i>REVISIONS</i> | | |
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 PHONE (800) 797-9483
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DEMOLITION PLAN

**1022 W. WILSON STREET
 COSTA MESA, CALIFORNIA**

CITY OF COSTA MESA

SHEET
4
 OF 5

1. Soil disturbances as a result of site demolition and clearing operations.
2. Presence of low-density surficial soils within the zone of foundation and slab bearing stratum.
3. Existence of "Low" (bordering "Medium") expansive soils at shallow depth that could settle/heave noticeably and unevenly upon prolonged moisture inundation.

In consideration of the above factors, it is ASE's opinion that overexcavation and backfilling with properly compacted fill in the building pad areas of the Buildings, as recommended herein, will be essential to reduce unfavorable foundation displacement as a consequence of settlement of underlying soils, and to provide satisfactory bearing stratum for the Building foundations. The grading recommendations provided herein should be reviewed when final project concept and grading plans become available. It is assumed that the proposed finish grades will be close to the existing site grades (\pm one foot).

Conventional foundations comprising continuous spread footings and isolated pad footings bearing on properly compacted fill, together with slab-on-grade may be considered for structural support. In view of the presence of "Low" (bordering "Medium") expansive site soils, alternative PT slab recommendations have also been provided for consideration.

5.1 Site Preparation

5.1.1 Existing Improvements:

Prior to ground preparation, it will be necessary to remove designated existing construction, including any remaining buried obstructions, which may be in the building pad areas of the Buildings. Structure removal should include, but not be limited to, abandoned foundations, concrete flatwork and pavements. Concrete fragments from site demolition operations should be disposed of off-site.

5.1.2 Surface Vegetation:

Surface vegetation should be stripped from areas of proposed construction. Stripping should penetrate six inches into surface soils. Any soil contaminated with organic matter (such as root systems or shavings mixed into the soil) should be disposed of off-site or set aside for future use in non-structural landscaped areas. Removal of trees and shrubs should include rootballs and attendant root systems.

5.1.3 Underground Utilities:

Any underground utilities to be abandoned within the zone of proposed construction should be cut off a minimum of 5 feet from the area of the new structures. The ends of cut-off lines should be plugged a minimum of 5 feet with concrete exhibiting minimum shrinkage characteristics to

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prevent water migration to or from hollow lines. Capping of lines may also be required should the plug be subject to any line pressure.

Alternatively, deep hollow lines may be left in place provided they are filled with concrete or 2-sack control density fill (slurry fill). No filled line should be permitted closer than two (2) feet from the bottom of future footings, unless it has been evaluated and approved by the Geotechnical Consultant. However, local ordinances relative to abandonment of underground utilities, if more restrictive, will supersede the above minimum requirements.

5.2 Site Grading

In view of minimizing the adverse effects associated with potentially excessive total or differential settlement underneath the Buildings construction, as well as to ensure uniform bearing competency for the foundations, preparation of on-site soils is recommended in the following sections.

5.2.1 Undocumented Fill/Disturbed Native Soils:

While not observed in any of ASE's exploratory borings, any undocumented fill soil encountered during site grading in the areas of the Buildings, as well as any native soils disturbed during demolition and clearing operations, should be excavated full depth under the observation and confirmation by the Geotechnical Consultant. Lateral extent of overexcavation beyond Building perimeters, where possible, should be to a minimum distance equal to the depth of undocumented fill/disturbed soil encountered or two (2) feet, whichever is greater.

For other secondary improvements such as free-standing walls or hardscape, the lateral extent of removal should be to a minimum distance equal to the depth of undocumented fill/disturbed soils encountered or eighteen (18) inches, whichever is greater.

The exposed excavation bottoms should be scarified/reworked to a minimum one (1) foot depth and recompacted to at least 90 percent relative compaction with a minimum moisture content of two (2) percentage points above optimum moisture content (OMC) prior to backfilling with approved soils as specified in Section 5.2.7.

5.2.2 Expansive Soils:

Laboratory testing result on a near surface site soil sample indicates "Low" (bordering "Medium") soil expansion potential (i.e. Expansion Index, EI = 49 per ASTM D4829-19 Test Method) as defined in Table 1 of ASTM D4829-21 Test Method and Section 1803.5.3 of 2022 CBC. Lightly loaded structural elements such as shallow foundations and slabs could undergo noticeable movements, at time unevenly, in areas underlain by soils with "Low" expansion potential. It should be noted that

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design provisions such as increased reinforcements, deeper foundations or other measures discussed in this Soils Report may help to alleviate the undesirable effects of "Low" soils expansion on the slabs and structures but may not completely eliminate the problem. It is recommended that the soil expansion potential be re-evaluated through additional testing during or after rough grading operations to verify the design adequacy of footing foundation and lab-on-grade against the re-tested soil expansion potential as heterogeneity within soil mass is not uncommon.

5.2.3 Remedial Grading:

To provide more uniform and competent foundation and slab support for the Buildings, it is recommended that the on-site soils within the footprint of the Buildings be overexcavated and removed uniformly to a minimum depth of four (4) feet below existing grade, or two (2) feet below the bottom of the lowest footing, whichever is lower, and replaced with properly compacted fill such that the foundations and slabs are supported on a re-engineered, compacted fill layer. The excavation bottoms should be near uniform. The overexcavation should extend laterally to a minimum distance of four (4) feet beyond Building perimeters, where possible. The backfill and compaction of fill materials should be as per recommended in Section 5.2.7 below, unless otherwise noted.

Soils exposed at excavation bottoms to a depth of twelve (12) inches should be scarified, reworked and recompacted to exhibit a minimum 90 percent relative compaction with a minimum moisture content of two (2) percentage points above the OMC prior to receiving fill placement.

The exposed excavation bottoms should be observed, tested, and approved by the Geotechnical Consultant prior to placing compacted fill. In case of the presence of localized loose soils, the overexcavation needs to be deepened accordingly to delete the loose soil condition. However, this deepened overexcavation may be terminated when the exposed native, undisturbed soils exhibit a natural relative compaction greater than 85 percent, subject to the testing and inspection by the representative from the Geotechnical Consultant.

The Geotechnical Consultant should be provided with appropriate foundation details and staking during grading to verify that depths and/or locations of the recommended overexcavation are adequate. For areas on site that grading recommendations stipulated in both Sections 5.2.1 and 5.2.3 apply, the more stringent grading criteria between the two sections should govern. The depth of overexcavation should be reviewed by the Geotechnical Consultant during the actual construction. Any subsurface obstruction, buried structural elements, and unsuitable material encountered during grading, should be immediately brought to the attention of the Geotechnical Consultant for proper exposure, removal and processing, as recommended.

5.2.4 Exterior Slab-on-Grade/Concrete Flatwork/Hardscape/Pavement Support:

For the purpose of reducing future unsightly and uneven movements and cracks of any exterior slab-on-grade, flatwork, hardscape, or pavement it is recommended that the upper eighteen (18) inches of subgrade soils below the bottom of and eighteen (18) inches laterally beyond the footprint of exterior slab-on-grade/flatwork/hardscape should be overexcavated and recompacted to a minimum 90 percent relative compaction placed with a minimum moisture content of two (2) percentage points above the OMC. Prior to placement of the above recommended fill layer, the upper twelve (12) inches of exposed native subgrade should be reworked to at least 90 percent relative compaction with a minimum moisture of two (2) percentage points above the OMC.

Geotechnically, new landscape areas with only softscape are excluded from subgrade preparation and remedial grading requirements mentioned in Sections 5.2.1, 5.2.3 and 5.2.4.

5.2.5 Temporary Excavation:

Excavations of site soils 4 feet or deeper should be temporarily shored or sloped in accordance with Cal OSHA requirements.

a) Temporary Sloping:

In areas where excavations deeper than 4 feet are not adjacent to existing structures or public right-of-ways, sloping procedures may be utilized for temporary excavations. It is recommended that temporary slopes in both fill and native soils be graded no steeper than 1:1 (H:V) for excavations up to 10 feet in depth. The above temporary slope criteria is based on level soil conditions behind temporary slopes with no surcharge loading (structures, traffic) within a lateral distance behind the top of slope equivalent to the slope height.

It is recommended that excavated soils be placed a minimum lateral distance from top of slope equal to the height of slope. A minimum setback distance equivalent to the slope height should be maintained between the top of slope and heavy excavation/grading equipment.

Should running sand conditions be experienced during excavation operations, flattening of cut slope faces, or other special procedures may be required to achieve stable, temporary slopes. Soil conditions should be reviewed by the Geotechnical Consultant as excavation progresses to verify acceptability of temporary slopes. Final temporary cut slope design will be dependent upon the soil conditions encountered, construction procedures and schedule.

b) Temporary Shoring:

Temporary shoring will be required for excavations where temporary sloping as specified in Section 5.2.5.a) above is not feasible.

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The Geotechnical Consultant should be on-site during temporary back cut and retaining wall construction to inspect and evaluate the stability of cuts and, if necessary, to provide additional remedial or mitigative recommendations. It should be noted that the use of heavy compaction equipment in close proximity to retaining structures can result in wall pressures exceeding design values and corresponding wall movement greater than that normally associated with the development of active or at-rest conditions. In this regard, the contractor should take appropriate precautions during the backfill placement.

5.3.3 Footing/Foundation Observation:

All footing/foundation excavations should be observed by the Geotechnical Consultant's representative to verify minimum embedment depths and competency of bearing soils. Such observations should be made prior to placement of any reinforcing steel or concrete.

5.4 Slabs-on-Grade

Concrete floor slabs in the Buildings and exterior concrete flatwork should be supported on properly compacted soils as recommended in the Site Grading section (i.e. Section 5.2) of this report. The slab subgrade soils should also be proof-rolled just prior to construction to provide a firm, unyielding surface, especially if the subgrade has been disturbed or loosened by the passage of construction traffic. Final compaction and testing of slab subgrade should be performed just prior to placement of concrete.

For structural design of concrete slabs, a modulus of subgrade reaction ("k-value") on the order of 100 pounds per square inch per inch ("psi/in") and an allowable bearing capacity of 700 psf may be used for slab constructed on recompacted site soils. Interior and exterior slabs should be properly designed and reinforced for the construction and service loading conditions. To minimize slab distress due to soil expansion, geotechnically, it would be prudent to provide a minimum actual slab thickness of four and one-half (4.5) inches with minimum reinforcement consisting of number 4 reinforcing bars spaced maximum 12 inches on centers each way for slabs constructed on site soils. The final structural details, such as slab thickness, concrete strength, amount and type of reinforcements, joint spacing, etc., should be established by the Structural Consultant in accordance 2022 CBC requirements.

The entire slabs within the Buildings should be underlain by an impermeable vapor barrier (minimum 10-mil-thick visqueen). A minimum 12-inch overlap between visqueen sheets should be ensured during placement. All visqueen sheets should be puncture free prior to slab construction and should be sandwiched top and bottom by 2-inch-thick sand layers consisting of clean sand exhibiting a tested Sand

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Equivalent (S.E., per ASTM D2429-14 Test Method) value not less than 30. Alternatively, as per ACI 302.1R-15, the concrete slabs could be poured directly on a 15-mil Stego Wrap vapor barrier or equivalent that is in turn be underlain by four (4) inches of 1/2" or 3/8" crushed rock in compliance with the criteria stipulated in Sections 200-1.2 of the current Greenbook. The concrete slab shall consist of a concrete mix design which will address bleeding, shrinking and curling.

Exterior slabs should be properly jointed to limit the number of concrete shrinkage cracks. For long/thin sections, such as sidewalks, expansion or control joints should be provided at spacing intervals equal to the width of the section. Slabs between 5 and 10 feet in minimum dimension should have a control joint at centerline. Slabs greater than 10 feet in minimum dimension should have joints such that unjointed sections do not exceed 10 feet in maximum dimension. Where flatwork adjoins structures, it is recommended that a foam joint or similar expansion material be utilized. Joint depth and spacing should conform to the ACI recommendations. It is, however, cautioned that uneven heaving of exterior slabs may develop in the future when prolonged irrigation or seepage permeates the subgrade soil, especially in areas that expansive soil pockets exist due to inadequate control or inspection of earthwork construction.

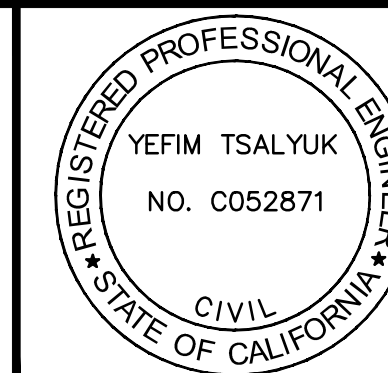
5.5 Site Drainage

Per Section 1804.4 of 2022 CBC, a minimum 5% descending gradient away from the Buildings for a minimum distance of 10 feet should be incorporated for earth grade placed adjacent to the foundation. This descending gradient may be reduced to 2% for any impervious areas, such as concrete paved walkways, within the 10-foot zone. For areas where the 10-foot drainage distance is not attainable, alternative measure such as concrete-lined swales having a minimum 2% gradient may be adopted to divert the water away from the Buildings, provided that the minimum 5% gradient is maintained in the distance between the building footprint and the diversion measure such as swales. For more specific site drainage guidelines, the Project Civil Consultant should refer to the pertinent sections in 2022 CBC. Any planter areas to be placed adjacent to perimeter footings should be provided with solid bottoms and a drainage pipe, or should be planted with drought-tolerant plants, to divert water away from foundation and slab subgrade soils. Excessive moisture variations in site soils could result in significant volume changes and movement.

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PREPARED BY:
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01/16/2024

**SOILS REPORT
RECOMMENDATIONS
1022 W. WILSON STREET
COSTA MESA, CALIFORNIA
CITY OF COSTA MESA**

SHEET

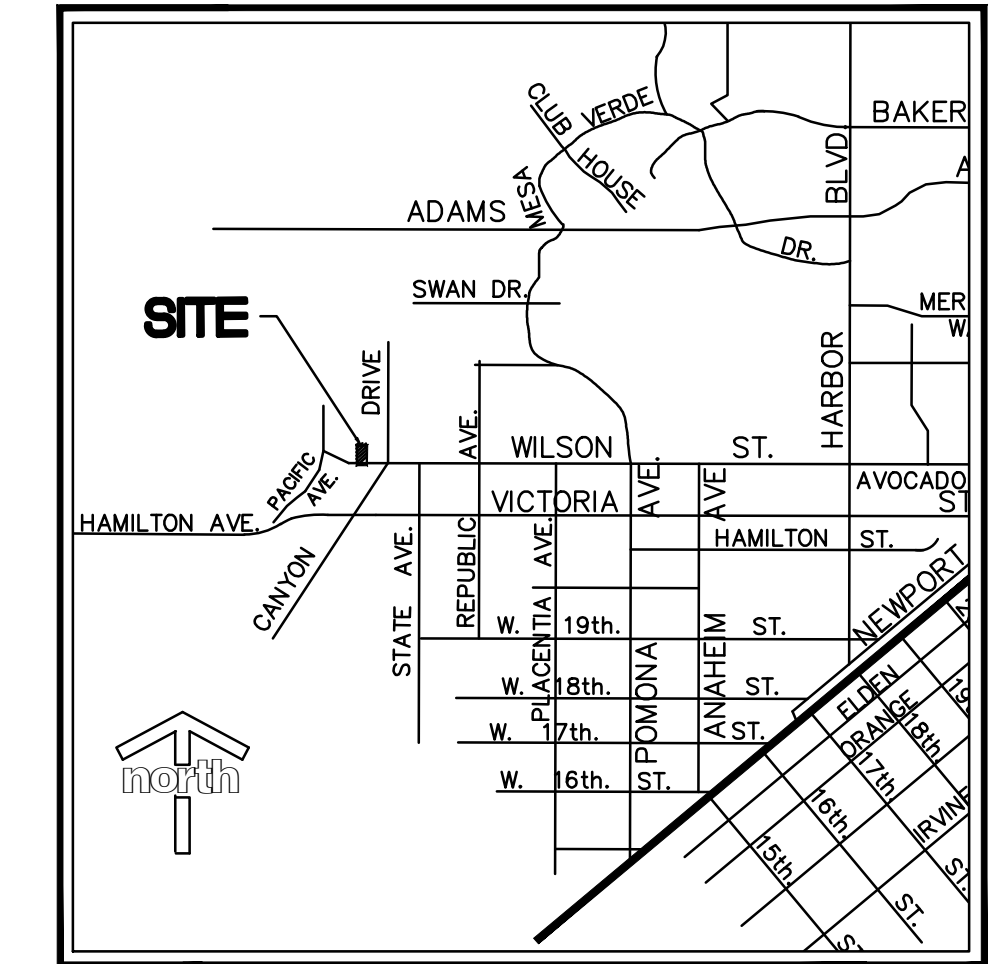
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OF 5

01/24

TENTATIVE PARCEL MAP 2023-187

PURPOSE: CREATE 2 PARCELS
 YEFIM TSALYUK, LS 7421
 DATE OF PREPARATION: MARCH 2024



VICINITY MAP
 NTS

SITE ADDRESS:
 1022 W. WILSON ST.
 COSTA MESA, CA 92627
 A.P.N. 422-051-005

AREA SUMMARY
 TOTAL AREA = 10,817 S.F.(0.25 ac.) GROSS
 10,306 S.F.(0.24 ac.) NET

PURPOSE STATEMENT
 THE PURPOSE IS TO CREATE 2 PARCELS
 FOR SINGLE FAMILY RESIDENCES

OWNER / SUBDIVIDER:
 GRANT BIXBY
 1022 W. WILSON, LLC
 1536 VIVIAN LANE
 NEWPORT BEACH, CA 92660
 p. (949) 677-0111

ENGINEER/SURVEYOR:
 ITF & ASSOCIATES, INC.
 11278 LOS ALAMITOS BLVD., #354
 LOS ALAMITOS, CA 90720
 (800) 797-9483



BASIS OF BEARING

THE BEARINGS SHOWN HEREON ARE BASED ON THE BEARING BETWEEN
 O.C.S. HORIZONTAL CONTROL STATION GPS NO. 6201R1 AND CONTROL
 STATION GPS NO. 6198 BEING NORTH 32°04'05" EAST PER RECORDS ON
 FILE IN THE OFFICE OF THE ORANGE COUNTY SURVEYOR

BENCHMARK

DESCRIBED BY OCS 2001 FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED
 "HB-243-77", SET IN THE NORTHEAST CORNER OF A 4 FT. BY 11 FT. CONCRETE CATCH
 BASIN/MONUMENT IS LOCATED IN THE SOUTHWEST CORNER OF THE INTERSECTION OF
 AMERICAN AVENUE AND VICTORIA STREET, 260 FT. WESTERLY OF THE CENTERLINE OF
 AMERICAN AVENUE, AND 39 FT. SOUTHERLY OF THE CENTERLINE OF VICTORIA STREET.
 MONUMENT IS SET FLUSH WITH THE SIDEWALK.

ELEV. 78.365 (NAVD88) 2005

LEGAL DESCRIPTION:

THE WEST 106 FEET OF LOT 74 OF TRACT NO. 653, IN THE CITY OF COSTA MESA,
 COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 19
 PAGE(S) 42, OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER
 OF SAID COUNTY.

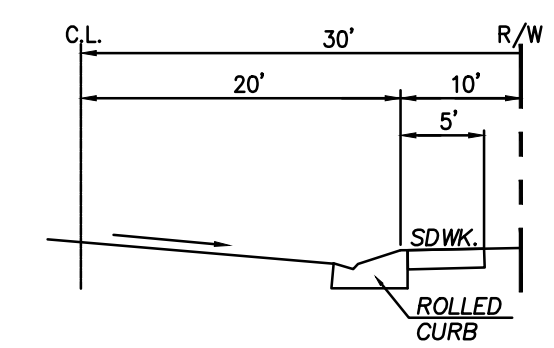
FLOOD ZONE

ZONE X, OUTSIDE THE 500 YEAR FLOOD BOUNDARIES

EASEMENTS

- ① EASEMENT FOR SEWER, GAS, WATER, TELEPHONE ELECTRIC LIGHT, POWER, FIRE ALARM AND ANY
 OTHER PUBLIC UTILITY PER TRACT 653, M.M. 19/42
- ② EASEMENT FOR PUBLIC UTILITIES PER BOOK 243, PAGE 33 OF OFFICIAL RECORDS
 (BLANKET IN NATURE, NOT PLOTTABLE).

NOTES:
 -NO EXISTING WATERCOURSES ON SITE
 -SITE IS NOT SUBJECTED TO OVERFLOW OR INUNDATION
 -NO LANDS AND PARKS TO BE DEDICATED FOR PUBLIC USE



WILSON STREET
 TYPICAL STREET SECTION
 NTS

