

2706 Artesia Blvd. Suite D
Redondo Beach, Ca. 90278

PROPERTY ADDRESS:

2706 Harbor Blvd. Unit 208
Costa Mesa, Ca. 92626

PROPERTY OWNER:
Mesa Verde Center LLC
2549 Eastbluff Drive. Unit 362
Newport Beach, Ca. 92260

STRUCTURAL ENGINEERING:
AART ASSINK ASSOCIATES
1611 El Prado Avenue
Torrance, Ca. 90501
Phone (310) 618-0782

[illegible]

RAWN BY: D.GREGG

TITLE SHEET

T.1

DATE: 11/07/22 SCALE: NTS

Project Address:

2706 Harbot Blvd. Unit 208
Costa Mesa, Ca. 92626

Symbols

DOOR SYMBOL

WINDOW SYMBOL (NUMBERED)

DETAIL CALLOUT (DETAIL NO./SHEET NO.)

KEYNOTE CALLOUT (NUMBERED)

INTERIOR/EXTERIOR ELEVATION CALLOUT
(ELEVATION VIEW LETTER/SHEET NO.)

BUILDING SECTION CALLOUT
(SECTION NO./SHEET NO.)

FINISH/MATERIAL CALLOUT
(SEE FINISH SCHEDULE FOR REFERENCE)

GRID DESIGNATIONS
(VERTICAL-LETTERED/HORIZONTAL-NUMBERED)

CEILING HEIGHT/FINISH CALLOUT

ROOM CALLOUT (ROOM NAME/ROOM NO.)

REVISION CALLOUT (NUMBERED)

FINISH WOOD

CONCRETE

EARTH

AREA OF ADDITION

Parking Summary

UNIT	TENANT USE	UNIT SQ.FT.	PARKING SUMMARY	
			REQUIRED PARKING RATIO	EXISTING PARKING REQUIRED
LEVEL 1 - 10,000 SQ.FT.				
SUITE - A	RETAIL	1,000	1/ 250	4.00
SUITE - B	RETAIL	1,000	1/ 250	4.00
SUITE - C	RETAIL	1,150	1/ 250	4.50
SUITE - D	RETAIL	1,150	1/ 250	4.50
SUITE - E	RETAIL	1,950	1/ 250	7.80
LEVEL 1 - TOTAL				24.8
SUITE - 200	OFFICE	1,000	1/ 250	4.00
SUITE - 201	OFFICE	350	1/ 250	1.40
SUITE - 202	OFFICE	350	1/ 250	1.40
SUITE - 203	OFFICE	500	1/ 250	2.00
SUITE - 204	OFFICE	650	1/ 250	2.60
SUITE - 205	OFFICE	500	1/ 250	2.00
SUITE - 206	OFFICE	350	1/ 250	1.40
SUITE - 207	OFFICE	350	1/ 250	1.40
SUITE - 208	OFFICE	700	1/ 250	2.80
SUITE - 209	OFFICE	650	1/ 250	2.60
SUITE - 210	OFFICE	500	1/ 250	2.00
SUITE - 211	OFFICE	350	1/ 250	1.40
SUITE - 212	OFFICE	350	1/ 250	1.40
SUITE - 213	OFFICE	500	1/ 250	2.00
LEVEL 2 - TOTAL				28.4
SUBTOTAL				53.2
PARKING REQUIRED				54
PARKING PROVIDED				71

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Statistics

LOT AREA	41,500 sq ft
AREA BREAKDOWN	
EXISTING COMMERCIAL BUILDING (2)	20,294 S.F
PROPOSED LOBBY AREA	104 S.F
PROPOSED OFFICE AREA	149 S.F
PROPOSED STORAGE AREA	198 S.F
PROPOSED PRODUCT ROOM AREA	223 S.F
PROPOSED AREA OF NEW CANNABIS BUSINESS	744 S.F

Project Information

GOVERNING CODE	2019 CBC, CMC, CPC, CEC, CFC, AND 2019 T-24 ENERGY REG. FORMS
CONSTRUCTION TYPE	TYPE VB (FLOOD ZONE- X) - ZONE RS
OCCUPANCY GROUP	MERCANTILE GROUP - M
NUMBER OF STORIES	2
SCOPE OF WORK	1. CONVERT EXISTING COMMERCIAL UNIT (208) TO CANNABIS DELIVERY BUSINESS

- 1 EXISTING CURB
- 2 EXISTING SIDEWALK
- 3 TRASH ENCLOSURE
- 4 ACCESSIBLE PARKING STALL WITH ALL SYMBOLS,
SIGNS, AND RAMPS TO MEET TITLE 24 AND ADA
REQUIREMENTS
- [S-X] SECURITY CAMERAS

PROPERTY LINE

BUILDING LINE

PROPOSED
IMPROVEMENT
AREA

EXISTING AREA
NOT PART OF
THIS PERMIT

ADJOINING
NEIGHBOR



1611 El Prado Avenue
Torrance, Ca. 90501
Phone (310) 618-0782

[illegible]

DRAWN BY: D GREG

C.1

DATE : 11/07/22 SCALE : NTS



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2549 Eastbluff Drive. Unit 362
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THE EXPRESS WRITTEN CONSENT OF DG +
ASSOCIATES. WRITTEN DIMENSIONS ON THESE
DOCUMENTS TAKE PRECEDENCE OVER SCALED
DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE
RESPONSIBLE FOR ALL DIMENSIONS AND
CONDITIONS ON THE JOB AND SHALL STOP WORK
AND NOTIFY THIS OFFICE IMMEDIATELY IF
DISCREPANCIES OCCUR. SHOP DRAWINGS SHALL BE
SUBMITTED TO THIS OFFICE FOR REVIEW PRIOR TO
FABRICATION.

DRAWN BY: D. GREGG

C.2

DATE : 11/07/22 **SCALE :** NTS



Z--	EXTERIOR ENTRANCE CAMERA (Z-1 - Z-2)
S--	SURROUNDING AREA CAMERAS (S-1 - S-5)
R--	ROOF CAMERAS (R-1 - R-2)
B--	ROOF LAZER BEAMS/SENSORS (B-1 - B-4)



C.3

DATE: 11/07/22 SCALE: 1/8" = 1'-0"



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CLIENT / BUSSINESS OWNER:

West Coast Safe Delivery
2706 Harbor Blvd. Unit 208
Costa Mesa, Ca. 92626

STRUCTURAL ENGINEERING:
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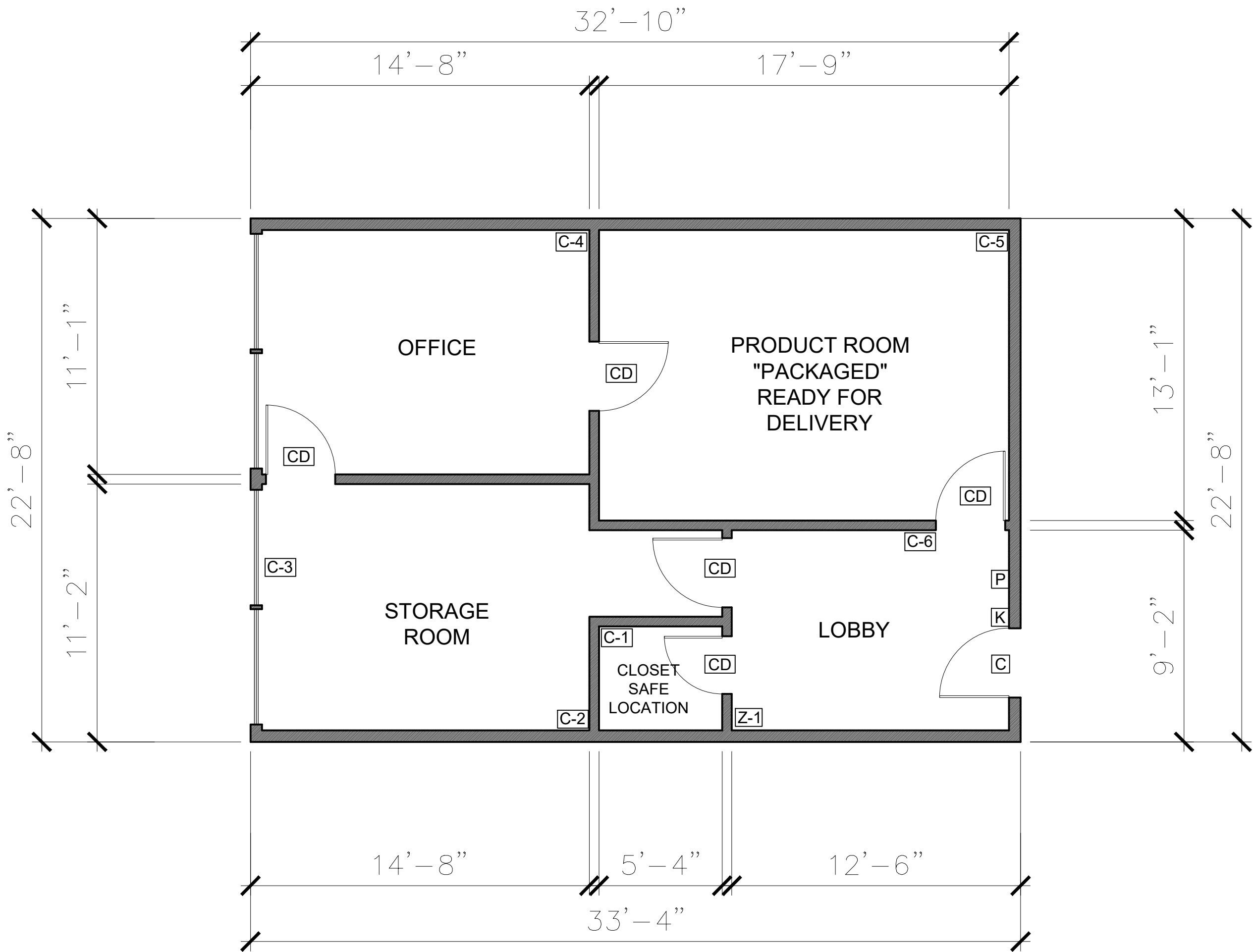
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FLOOR PLAN /
SECURITY PLAN

DATE: 11/07/22 SCALE: 1/4" = 1'-0"

- ☐ -INTERIOR ENTRANCE CAMERA (Z-1)
- ☐ -INTERIOR CAMERAS (C-1 - C-6)
- ☐ -ALARM KEY PAD
- ☐ -ALARMED DOOR CONTACT
- ☐ -PANIC ALARM
- ☐ - 3068 SECURITY DOOR - CONTROLLED ACCESS

 EXISTING WOOD FRAMED WALL



PROPOSED (DELIVERY ONLY) UNIT - 208 (SECOND FLOOR)

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