





**GENERAL NOTES**

- This project shall comply with the state of California Title 24 and the following codes:
  - 2019 California Residential Code
  - 2019 California Electrical Code
  - 2019 California Plumbing Code
  - 2019 California Mechanical Code
  - 2019 California Green Building Standards Code
- Compliance with the City of LOS ANGELES Municipal Code Requirements
- Separate permits shall be obtained for fences, retaining walls, pools, and spas.
- Curb cuts, storage of materials, or work in the public right of way require a permit from the public works department or appropriate agency.
- All construction waste and debris to be contained at all times
- Contractor shall familiarize him/her self with the project and notify architect of any errors, omissions, or discrepancies in plans prior to commencement.
- Contractor shall notify architect of any changes in plans. Unauthorized changes to the plans are prohibited.
- Contractor shall verify all bearing conditions of existing walls to be removed and notify architect or engineer prior to removal.
- Excavations shall be made in compliance with California/ OSHA regulations.
- Conduct all water from roof and site away from building and adjoining properties to street.
- Verify electrical panel service and upgrade if applicable. Verify with local utility regarding meter and service location.
- An approved seismic gas shutoff valve shall be installed on the down stream side of the utility meter and be rigidly connected to the exterior of the building containing the fuel gas piping.
- Water heaters shall be strapped to the wall per code.
- Contractor shall provide state fire marshal approved smoke detectors in all installed in the following locations:
  - In each sleeping room.
  - Outside each separate sleeping area in the immediate vicinity of the bedrooms.
  - On each additional story of the dwelling, including basements and habitable attics but not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level. (Ref CRC Section 314)
- All exterior materials and manufacturers are to be verified with owner.

**ROOF NOTES**

- Roof to be pitched roof with approx. 3:12 slope. Verify roof slope with the existing slope of the house and adjust the slope as necessary for framing and height compliance.
- Roofing materials shall comply with CRC 902.1
- A minimum Class A, B or C roofing shall be installed in areas designated by this section. Classes A, B and C roofing required by this section to be listed shall be tested in accordance with UL 790 or ASTM E 108. The shingle pattern and color shall match the existing as close as possible.
- Roofing shall be installed per manufacturers written specifications.
- Flashings shall be installed in a manner that prevents moisture from entering the wall and roof through joints in copings, through moisture permeable materials and at intersections with parapet walls and other penetrations through the roof plane. Flashings saddles, valleys and drip edges shall be installed per CRC Section 903.
- Newly installed eaves shall have gutters as necessary to conduct water to street, and overhangs shall match existing.
- Fascia boards at gable ends, open rafter tails at horizontal overhangs.
- Starter board at eave overhangs to match existing house.

**SPECIAL HAZARD NOTES**

- Glazing in hazardous locations shall be tempered in the following locations:
  - At ingress and egress doors.
  - Panels in sliding doors or swinging doors
  - Doors and enclosures for hot tubs, bathtubs, and showers. Also glazing in walls enclosing these compartments within 5 feet of the standing surface.
  - If within 2 feet of vertical edges of closed doors and within 5 feet of standing surface.
  - In wall enclosing stairway landing.
- Smoke detectors shall be provided as follows:
  - In new construction, smoke detectors shall receive power from the existing house wiring and shall be equipped with battery back up and low battery signal. Smoke detectors shall be located in each sleeping room and hallway or area giving access to a sleeping room, and on each story and basement if present for dwellings with more than one story.
  - In existing construction, smoke detectors may be battery operated and installed in locations as noted above.
- An approved seismic gas shutoff valve shall be installed on the fuel gas line on the down stream side of the utility meter and be rigidly connected to the exterior of the building or structure containing the fuel gas piping.
- Water heaters must be strapped to the wall.

- Provide emergency egress from sleeping rooms. Where emergency escape and rescue openings are provided they shall have the bottom of the clear opening not greater than 44 inches (1118 mm) measured from the floor. (REF CRC R310.1)
- At least one exit doorway shall not be less than 36 inches wide and 80 inches high. The door shall be mounted that the clear width of 32 inches is maintained.
- The exterior door must open over a landing not more than 1.5 inches below the threshold. Exception: Providing the door does not swing over the landing, then the landing shall be not more than 7.75 inches below the threshold.
- The landing at a door shall have a length measured in the direction of travel of no less than 36".

**ELECTRICAL PROVISIONS**

- Electrical receptacles shall be install to service countertops 12" wide or wider. The receptacles shall be installed so that no point along a wall line is more than 24" horizontally from a receptacle outlet in that space. Counter spaces separated by range tops, refrigerators, or sinks shall be consider separate countertop spaces in applying the spacing requirements. (CEC Art. 210-52(1)).
  - Provide at least one GFCI protected wall receptacle outlet in bathrooms within 36 inches of the outside edge of each basin. The receptacle outlet shall be located on a wall that is adjacent to the basin location (CEC Art. 210-52(D)).
  - At least one 20-ampere branch circuit shall be provided to supply bathroom receptacles outlet(s). Such circuits shall have no other outlets.
  - At least one receptacle outlet shall be accessible and located at grade level and not more than 6 feet above grade level and shall be installed at the front and back of the dwelling.
  - Arc fault circuit- interruption shall be installed to provide protect of the branch circuit.
  - Tamper-resistant receptacles shall be installed in all areas specified in 210.52, all non-locking-type 12 volt; 15-and 20-ampere receptacles shall be listed as tamper -resistant receptacles.

**GFCI PROTECTED OUTLETS**

-Ground-Fault Circuit interrupters are required at each relocated or new receptacle outlets within bathrooms. When existing outlets are removed from their outlet box, the replacement shall also be GFCI protected. Non GFCI outlets shall not be reused. GFCI protection may be accomplished by use of either listed GFCI outlets or by listed GFCI breakers protecting the circuit associated with the outlets in the bathroom.

**NOTE:**  
All building additions must be adjusted to fit existing conditions. Dimensions, squareness, levelness, plumbness, and roof pitches may vary from that shown from various locations within the building.

**SPECIAL HAZARD NOTES**

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  - Panels in sliding doors or swinging doors
  - Doors and enclosures for hot tubs, bathtubs, and showers. Also glazing in walls enclosing these compartments within 5 feet of the standing surface.
  - If within 2 feet of vertical edges of closed doors and within 5 feet of standing surface.
  - In wall enclosing stairway landing.

**SMOKE DETECTOR/CARBON MONOXIDE**

Smoke and Carbon Monoxide alarms may combined as multi purpose units or as part of a permanently installed household fire alarm system installed and maintained per NFPA 72. Each alarm type must be interconnected so that if on alarm is activated all alarms in the residence of the same type will sound.

City inspector shall check at final inspection that smoke alarms and carbon monoxide alarms have been installed throughout the dwelling in the locations required by code.

- Smoke detectors shall be provided as follows:
  - In new construction, smoke detectors shall receive power from the existing house wiring and shall be equipped with battery back up and low battery signal. Smoke detectors shall be located in each sleeping room and hallway or area giving access to a sleeping room, and on each story and basement if present for dwellings with more than one story.
  - In existing construction, smoke detectors may be battery operated and installed in locations as noted above./
- An approved seismic gas shutoff valve shall be installed on the fuel gas line on the down stream side of the utility meter and be rigidly connected to the exterior of the building or structure containing the fuel gas piping.
- Water heaters must be strapped to the wall.

**PLUMBING NOTES**

- Kitchen sinks shall not use more than 1.8 gallons per minute (CPC 403.6)
- All lavatories are to use not more than 1.5 gallons per minute (CPC 403.7)
- Showers shall not use more than 2.0 gallons per minute (CPC 408.2)
- Where shower valves are replaced, or are new, they must be pressure balanced or shall be the thermostatic mixing valve type. Minimum clear finished inside clearance shall be 1024 sq. inches and capable of encompassing a 30 inch diameter circle from the top of threshold to 70 inches above the shower drain.
- Shower enclosure doors must be tempered sliding doors.
- New, relocated, or converted tubs or showers may cause a tempered glazing requirement to apply to glass windows with a bottom edge within 60 inches above tub or shower standing surfaces. Cement, fiber-cement, or glass mat gypsum backers shall be used as a base for wall tile in tub and shower areas and wall and ceiling panels in shower areas.
- Water closets shall consume not more than 1.28 gallons per flush

**INDOOR WATER USE EFFICIENCY ORDINANCE**

TOILETS- 1.28 GALLONS PER FLUSH OR LESS  
 SHOWERS- 2.0 GALLONS PER MINUTE OR LESS  
 BATHROOM FAUCETS- 1.5 GALLONS PER MINUTE OR LESS  
 KITCHEN FAUCETS- 2.2 GALLONS PER MINUTE OR LESS  
 CLOTHES WASHERS 6.0 WATER FACTOR OR LESS  
 DISHWASHERS- 6.5 GALLONS PER CYCLE OR LESS (OR ENERGY STAR UNIT)

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CONTRACTOR

**PROJECT DESCRIPTION:**  
Interior Remodel

1834 Newport Boulevard, Costa Mesa, CA 92627

**HOME OWNER:**

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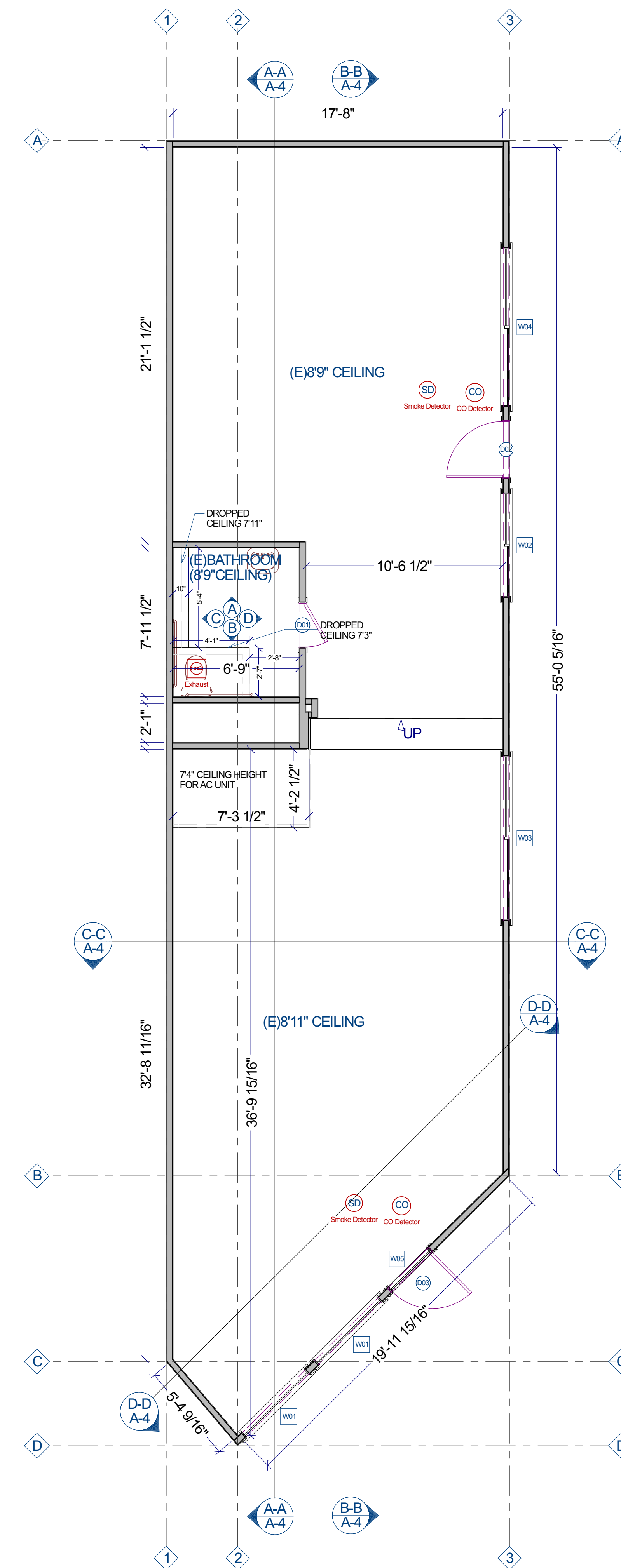
**1.19.2023**  
**SHEET TITLE:**  
 GENERAL  
**NOTES**  
**SHEET NUMBER:**  
**A-2**



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| WINDOW SCHEDULE |          |     |       |          |          |         |                 |               |          |
|-----------------|----------|-----|-------|----------|----------|---------|-----------------|---------------|----------|
| NUMBER          | LABEL    | QTY | FLOOR | SIZE     | WIDTH    | HEIGHT  | R/O             | DESCRIPTION   | TEMPERED |
| W01             | 410710FX | 2   | 1     | 410710FX | 58"      | 94"     | 60°X96°         | FIXED GLASS   |          |
| W02             | 5737RS   | 1   | 1     | 5737RS   | 67 1/4"  | 43 1/4" | 69 1/4°X45 1/4° | RIGHT SLIDING |          |
| W03             | 810310RS | 1   | 1     | 810310RS | 106"     | 46"     | 108°X48°        | RIGHT SLIDING |          |
| W04             | 8738RS   | 1   | 1     | 8738RS   | 102 1/2" | 44"     | 104 1/2°X46°    | RIGHT SLIDING |          |
| W05             | 3010FX   | 1   | 1     | 3010FX   | 36"      | 12"     | 38°X14°         | FIXED GLASS   |          |

| DOOR SCHEDULE |       |     |       |           |         |        |             |                         |           |
|---------------|-------|-----|-------|-----------|---------|--------|-------------|-------------------------|-----------|
| NUMBER        | LABEL | QTY | FLOOR | SIZE      | WIDTH   | HEIGHT | R/O         | DESCRIPTION             | THICKNESS |
| D01           | 2468  | 1   | 1     | 2468 L EX | 28 1/8" | 80"    | 30 1/8°X83° | EXT. HINGED-DOOR P01    | 1 3/4"    |
| D02           | 3068  | 1   | 1     | 3068 L IN | 36"     | 80"    | 38°X82 1/2° | HINGED-GLASS PANEL      | 1 3/8"    |
| D03           | 3070  | 1   | 1     | 3070 L EX | 36"     | 84"    | 38°X87°     | EXT. HINGED-GLASS PANEL | 1 3/4"    |



— DENOTE EXISTING WALLS

# 1 EXISTING FLOOR PLAN

SCALE: 1/4"=1'-0"



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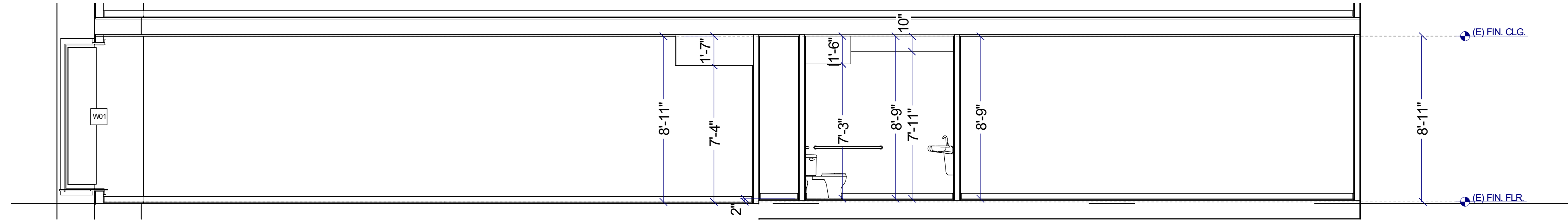
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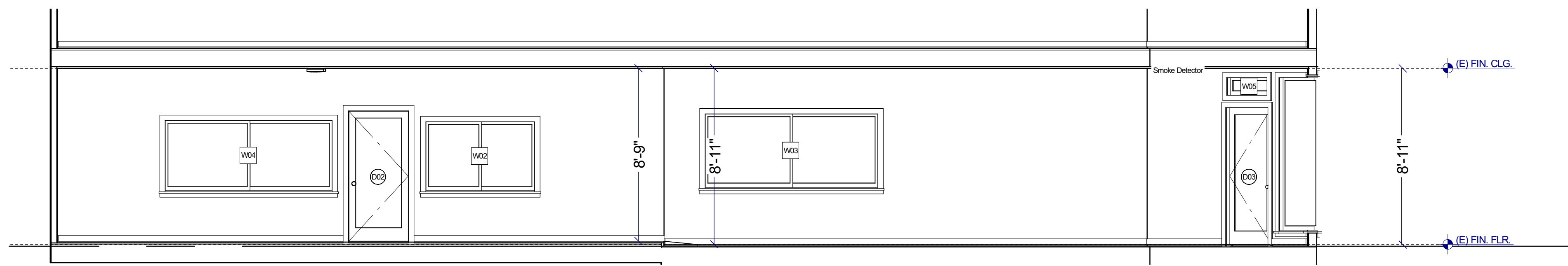
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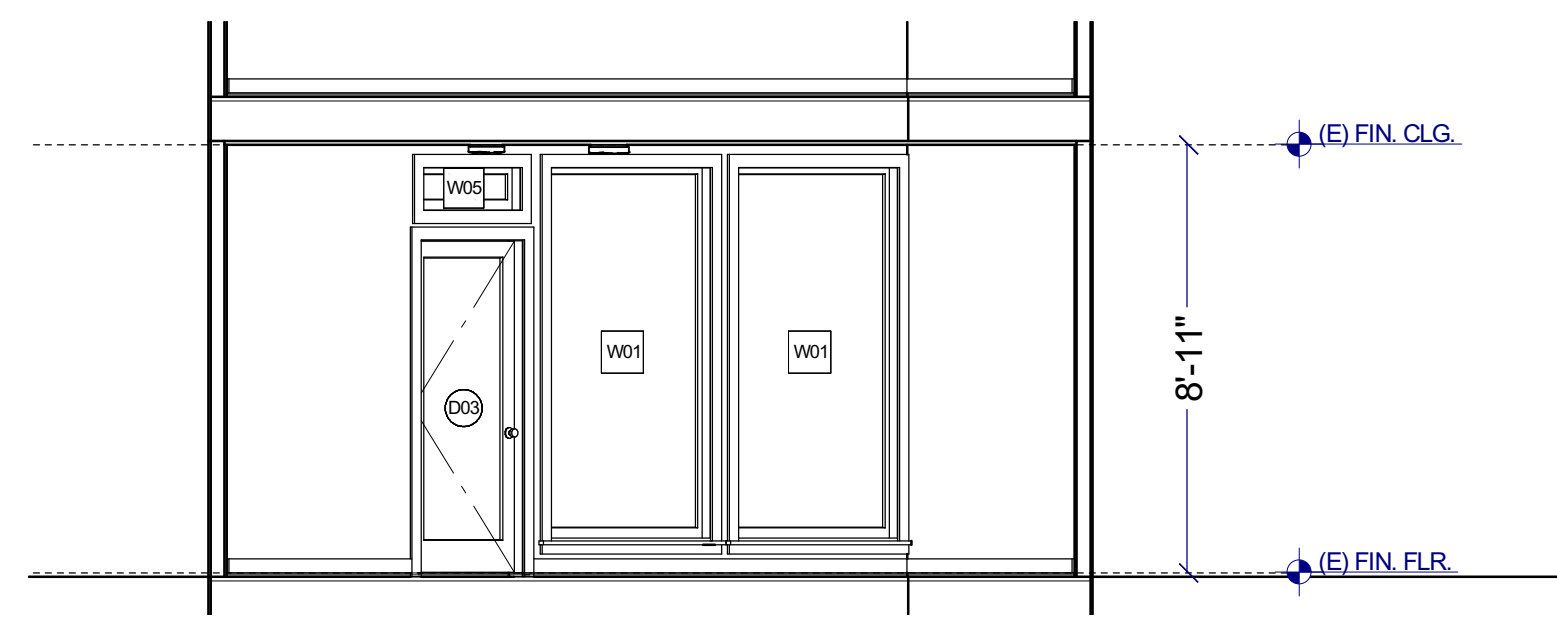
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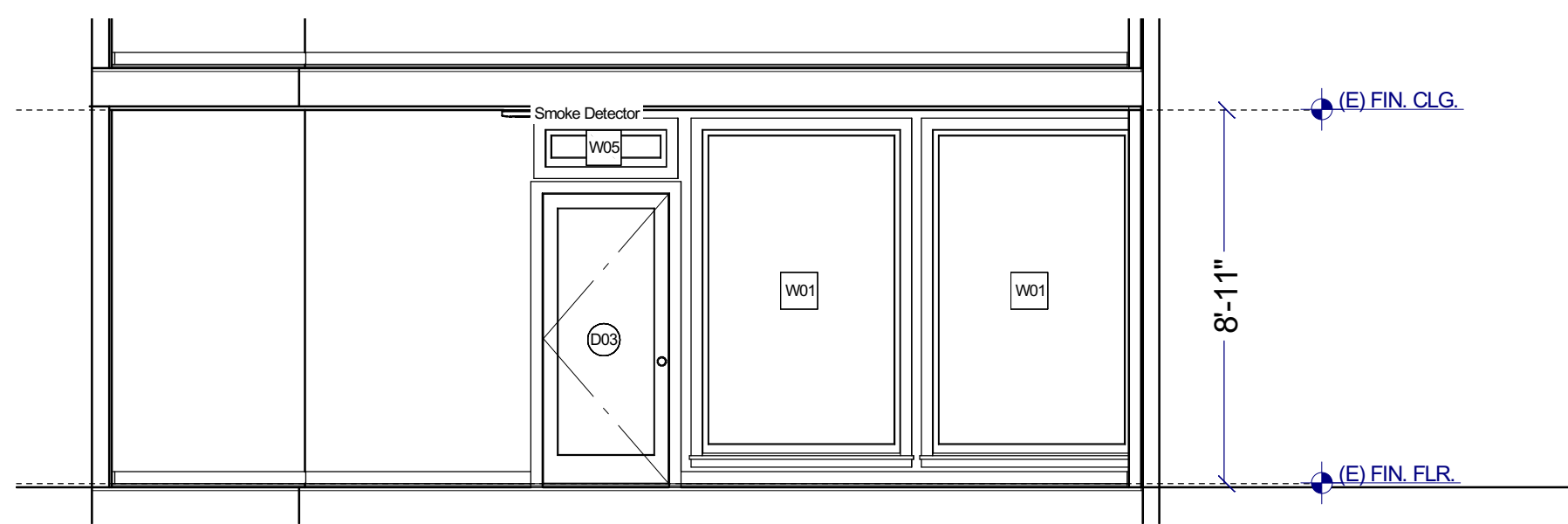
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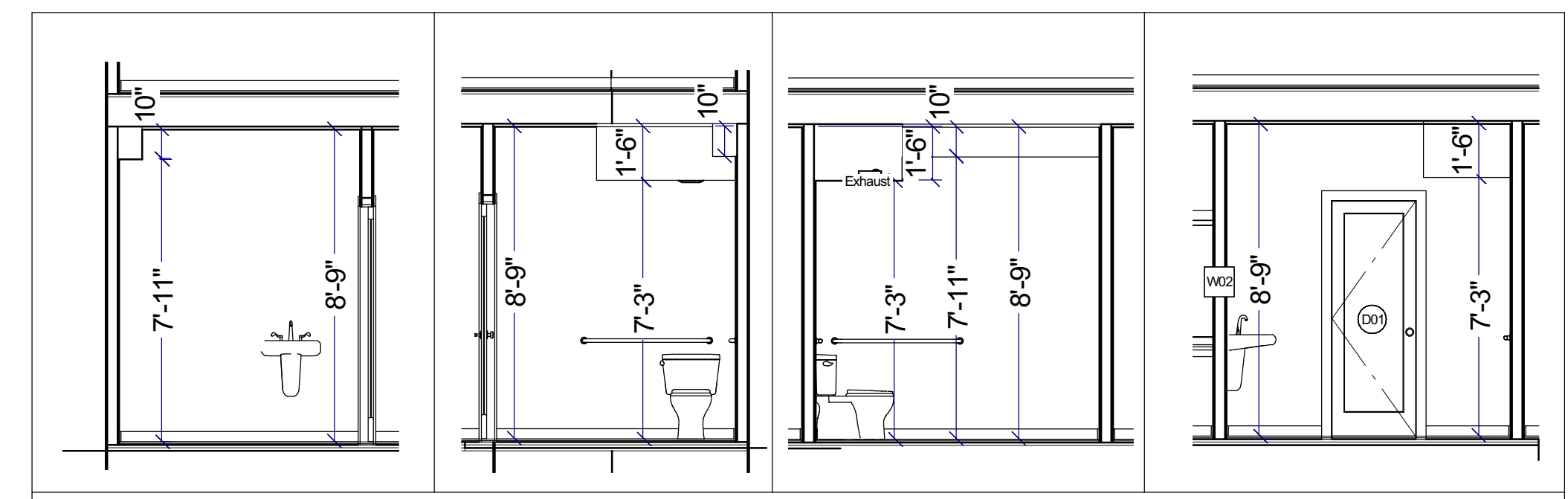
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**CROSS SECTION C-C**  
 SCALE: 1/4"=1'-0"



**CROSS SECTION D-D**  
 SCALE: 1/4"=1'-0"



**BATHROOM CROSS SECTION A-B-C-D**  
 SCALE: 1/4"=1'-0"



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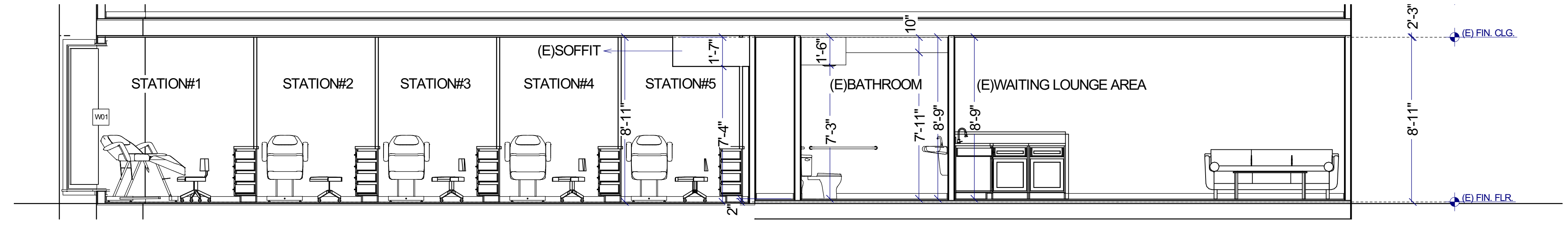
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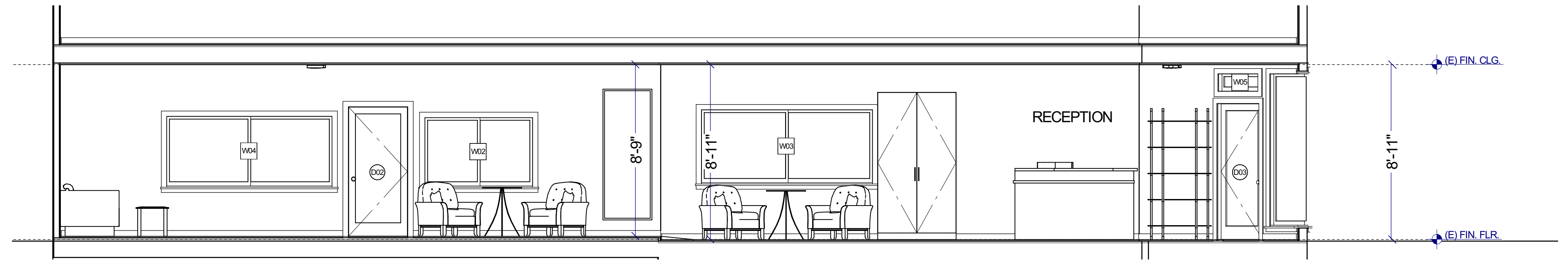




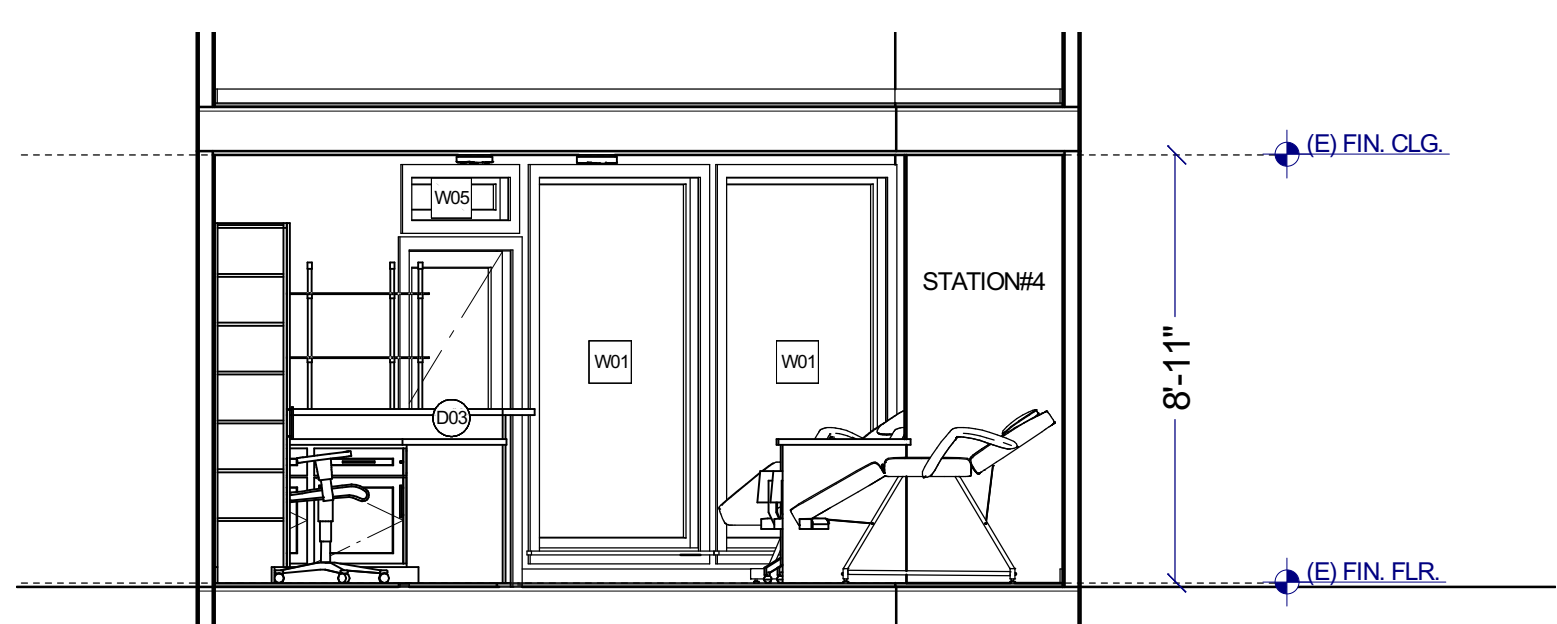
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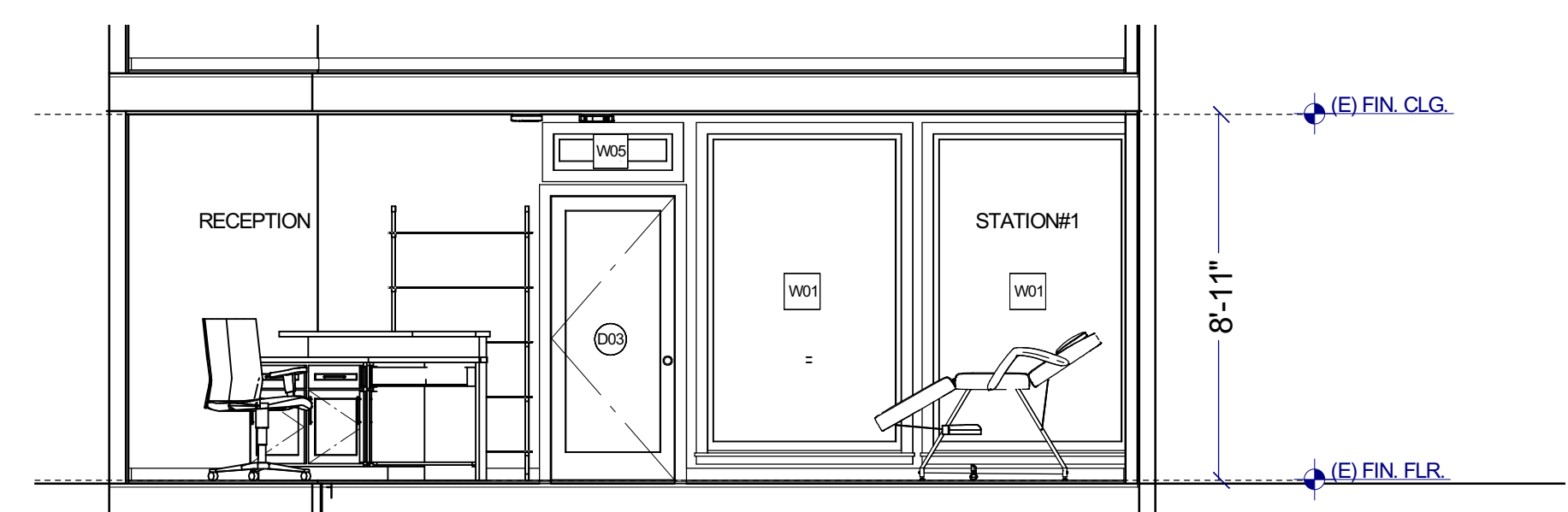
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**CROSS SECTION B-B**  
 SCALE: 1/4"=1'-0"



**CROSS SECTION C-C**  
 SCALE: 1/4"=1'-0"



**CROSS SECTION D-D**  
 SCALE: 1/4"=1'-0"



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 Interior Remodel

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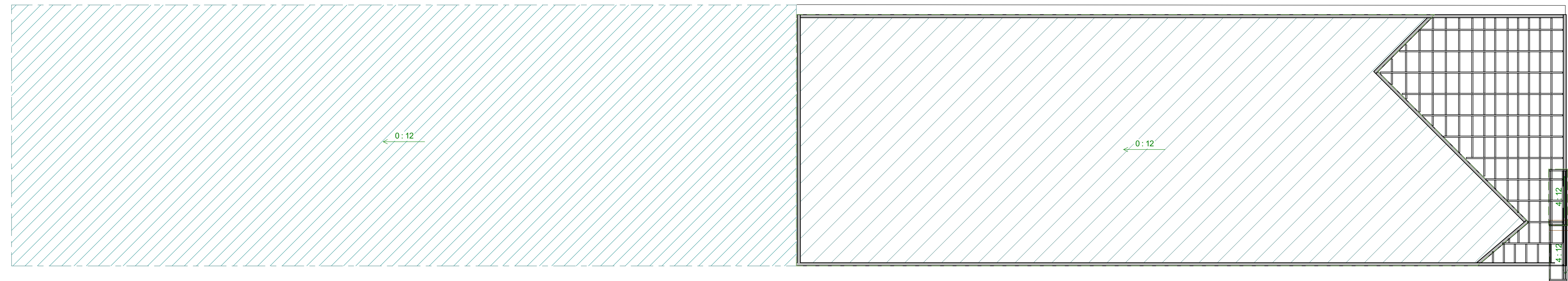
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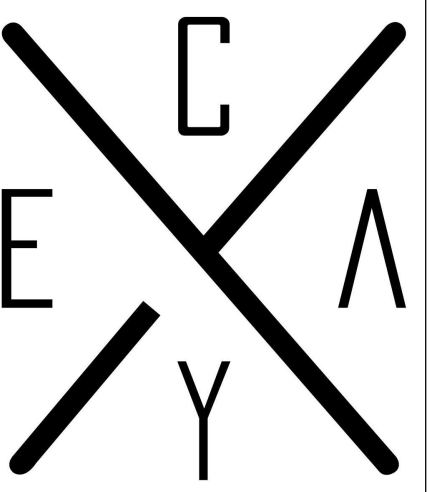


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 FIRST FLOOR HATCH  
 SECOND FLOOR HATCH



**ROOF PLAN (NO CHANGE)**  
 SCALE: 1/8"=1'-0"



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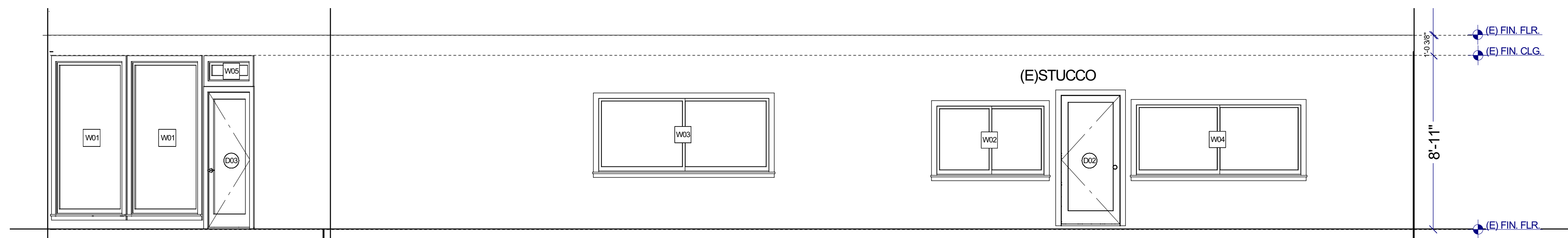
**1.19.2023**

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**SHEET NUMBER:**

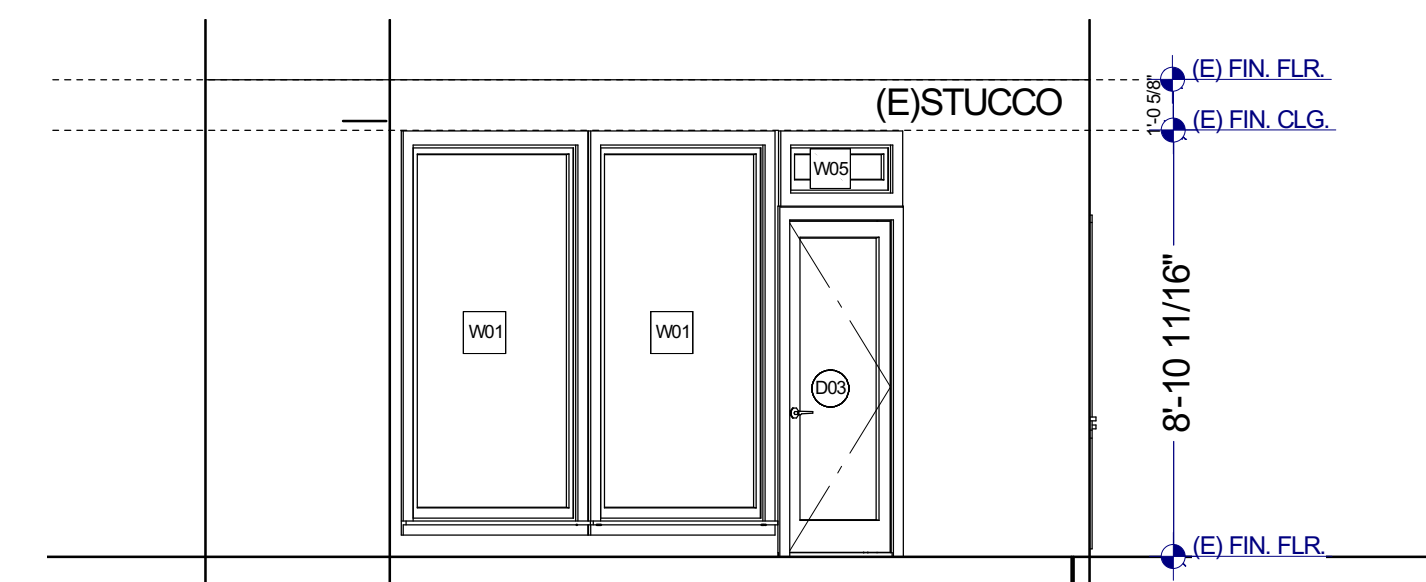
**A-7**

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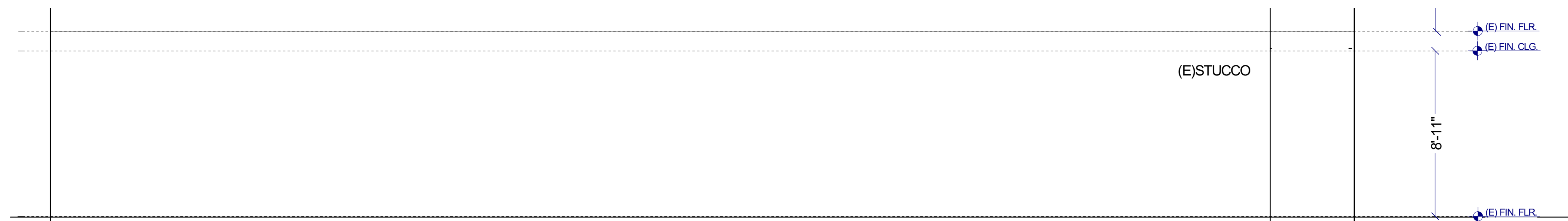
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(NO CHANGE)**

SCALE: 1/4"=1'-0"



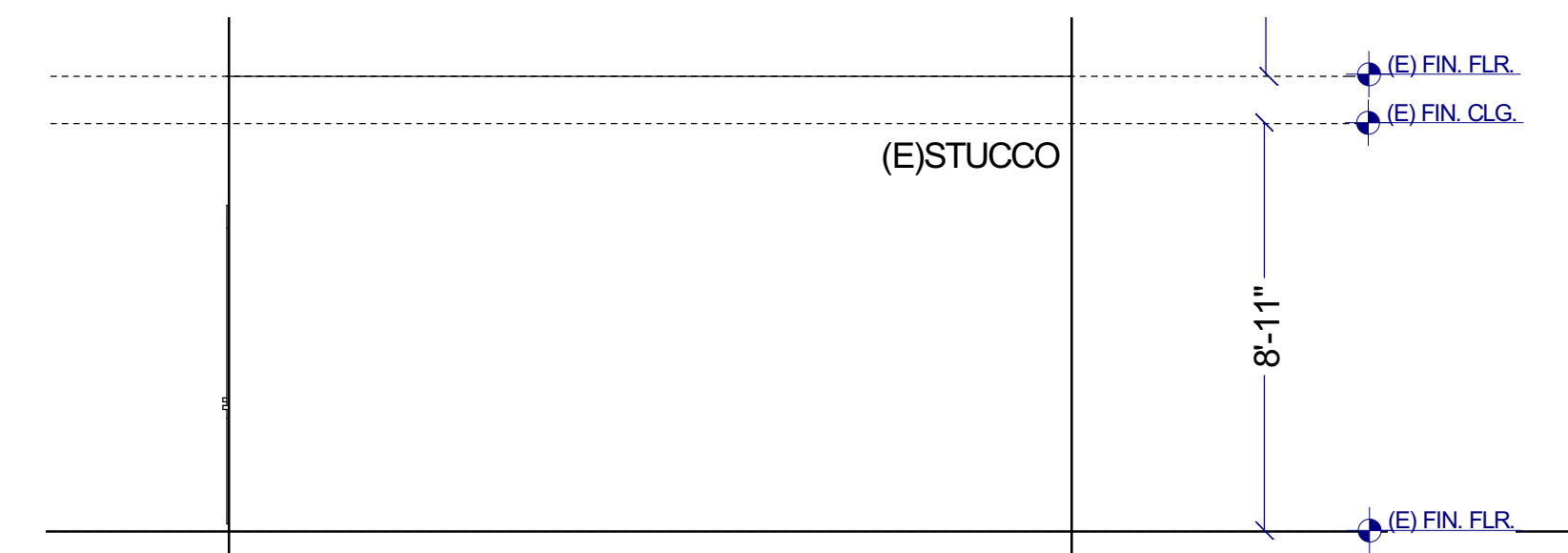
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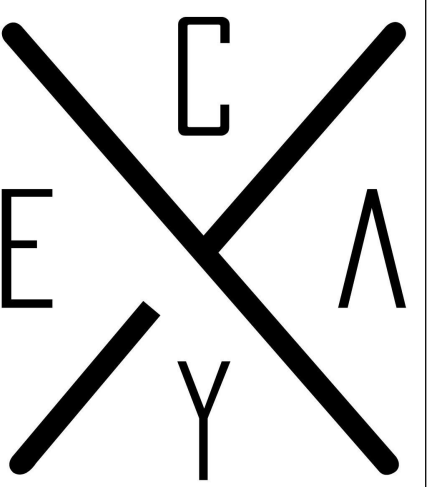
**LEFT ELEVATION (NO CHANGE)**

SCALE: 1/4"=1'-0"



**REAR ELEVATION (NO CHANGE)**

SCALE: 1/4"=1'-0"



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