



MESA STUDIO
ARCHITECTURE & DESIGN
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2280 ELDEN AVE. DEV.

24016

152 ALBERT PLACE LLC.

BUILDING DEPARTMENT SUBMITTAL:

1ST SUBMITTAL -
2ND SUBMITTAL -
3RD SUBMITTAL -
4TH SUBMITTAL -

REVISIONS:

SHEET TITLE:

COVER SHEET

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SHEET NUMBER:

CS

PLOT DATE: 4/19/2025



2280 ELDEN AVENUE
APN 426-064-01
PLANNING APPLICATION v3

PROJECT DIRECTORY

CLIENT/OWNER:
152 ALBERT LLC.
2100 E. LINDA LANE
NEWPORT BEACH, CA
92660

CIVIL ENGINEER | LAND SURVEYOR:
TOAL ENGINEERING
 139 AVENIDA NAVARRO
 SAN CLEMENTE, CA 92672
 CONTACT: ANDREW SEBILIAN
 PHONE: 949.492.8586
 EMAIL: ASEBILIAN@TOALENGINEERING.COM

LANDSCAPE ARCHITECT:
DSL A DESIGN
CONTACT: NICK STRAABE
PHONE: 714-717-1689
EMAIL: NICK@DSLADDESIGN.COM

STRUCTURAL ENGINEER:
BORM INTERNATIONAL
2211 MICHELSON DR. SUITE #450
IRVINE, CA 92612
CONTACT: MASOUD BOKAIE
PHONE: 949.264.7057
EMAIL: MASOUSB@BORM.COM

MEPE CONSULTANT:
GMEP ENGINEERS
26439 RANCHO PKWY S., SUITE 120
LAKE FOREST, CA 92630
CONTACT: JACK WEAVER
PHONE: 949-267-9095 EXT-326
EMAIL: JACKW@GMEPE.COM

PROJECT SCOPE



INDEX OF DRAWINGS

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PROJECT DATA

PROJECT TYPE:	SINGLE FAMILY DETACHED
APN:	426-064-01
ZONING:	R2-MD
CONSTRUCTION TYPE:	VB (NON-RATED) SPRINKLERED (13D)
OCCUPANCY:	R-3 DWELLING, U - GARAGE
NUMBER OF STORIES:	2
CODE COMPLIANCE:	2022 CRC, 2022 CPC, 2022 CMC, 2022 CEC, 2022 CA ENERGY CODE, 2022 CGBC, ALL AS AMENDED BY THE STATE OF CALIFORNIA AND THE CITY OF COSTA MESA
DEFERRED SUBMITTALS:	TRUSS, FIRE SPRINKLER, & SOLAR
NOTE:	HERS VERIFICATIONS REQUIRED-SEE ENERGY REPORT

AREA CALCULATIONS

AREA CALCULATIONS - PLAN 2	
FIRST FLOOR (LIVE-ABLE)	835 SQ FT
SECOND FLOOR (LIVE-ABLE)	1,329 SQ FT
TOTAL (LIVE-ABLE)	2,164 SQ FT
GARAGE	474 SQ FT
OUTDOOR	



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152 ALBERT PLACE LLC

13

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TC = TOP CURB
FL = FLOW LINE
FS = FINISH SURFACE
TS = TOP STEP
EG = EXISTING GROUND
TW = TOP WALL
TP = TOP PLANTER
TOP = TOP SLOPE
TOE = TOE SLOPE
FF = FINISH FLOOR
GFF = GARAGE FINISH FLOOR
TOR = TOP ROOF
BW = BACK WALK
SCO = SEWER CLEANOUT
PP = POWER POLE
WV = WATER VALVE
M = WATER METER
TBM = TEMPORARY BENCHMARK
S.F.N. = SEARCHED FOUND NOTHING
CL = CENTERLINE
P = PROPERTY LINE

BOUNDARY NOTE:
THIS IS NOT A BOUNDARY SURVEY. THE TOPOGRAPHIC FEATURES AS SHOWN
ON THIS MAP MAY BE ADJUSTED RELATIVE TO THE PLAT UPON COMPLETION
OF A BOUNDARY SURVEY.

TOPOGRAPHIC MAP		
8 SCALE	APN: 426-064-01	
SEPTEMBER 2024		
152 ALBERT PLACE COSTA MESA CA.		
ASSUMED DATUM = 100.00		
SOUTH COAST SURVEYING 3214 CLAY ST. NEWPORT BEACH CA. (949)280-9957		

SITE DATA

OWNER/SUBDIVIDER: 152 ALBERT PLACE, LLC
ATTN: MADISON WALKER
TEL: (360) 255-3133

ENGINEER: TOAL ENGINEERING, INC.
139 AVENIDA NAVARRO
SAN CLEMENTE, CA 92672
PH: (949) 492-8586

GENERAL PLAN LAND USE DESIGNATION: MEDIUM DENSITY RESIDENTIAL

EXISTING LAND USE: ONE-STORY SINGLE FAMILY HOMES (2)

TOTAL AREA: 6,470 SQ. FT. (0.148 AC)

EXISTING ZONING: R2-MD (MULTI-FAMILY RESIDENTIAL, MEDIUM DENSITY)

CONTOUR INTERVAL: 1

PROPOSED GRADING: N/A

MAXIMUM SLOPE GRADIENT: N/A

NUMBER OF PARCELS: 2 (2 UNITS)

UTILITIES:

GAS SERVICE: SOUTHERN CALIFORNIA GAS CO.

ELECTRIC SERVICE: SOUTHERN CALIFORNIA EDISON

SEWER: CITY OF COSTA MESA

WATER: MESA WATER DISTRICT

TELEPHONE SERVICE: PACIFIC BELL

TELEVISION SERVICE: COX COMMUNICATIONS

NOTES:

1. SUBJECT PROPERTY IS LOCATED WITHIN THE NEWPORT MESA UNIFIED SCHOOL DISTRICT.

2. PROJECT IS LOCATED IN ZONE "X," AREA OF MINIMAL FLOOD HAZARD, PER FEMA FLOOD MAPS (MAP NO. 06059C0269K, EFFECTIVE 3/21/2019).

3. STORM DRAINAGE WILL BE COLLECTED BY A SERIES OF DRAIN INLETS AND DRAIN PIPES AND DIRECTED TO THE STREET THEN THE CITY STORM DRAIN SYSTEM FOR DISPOSAL.

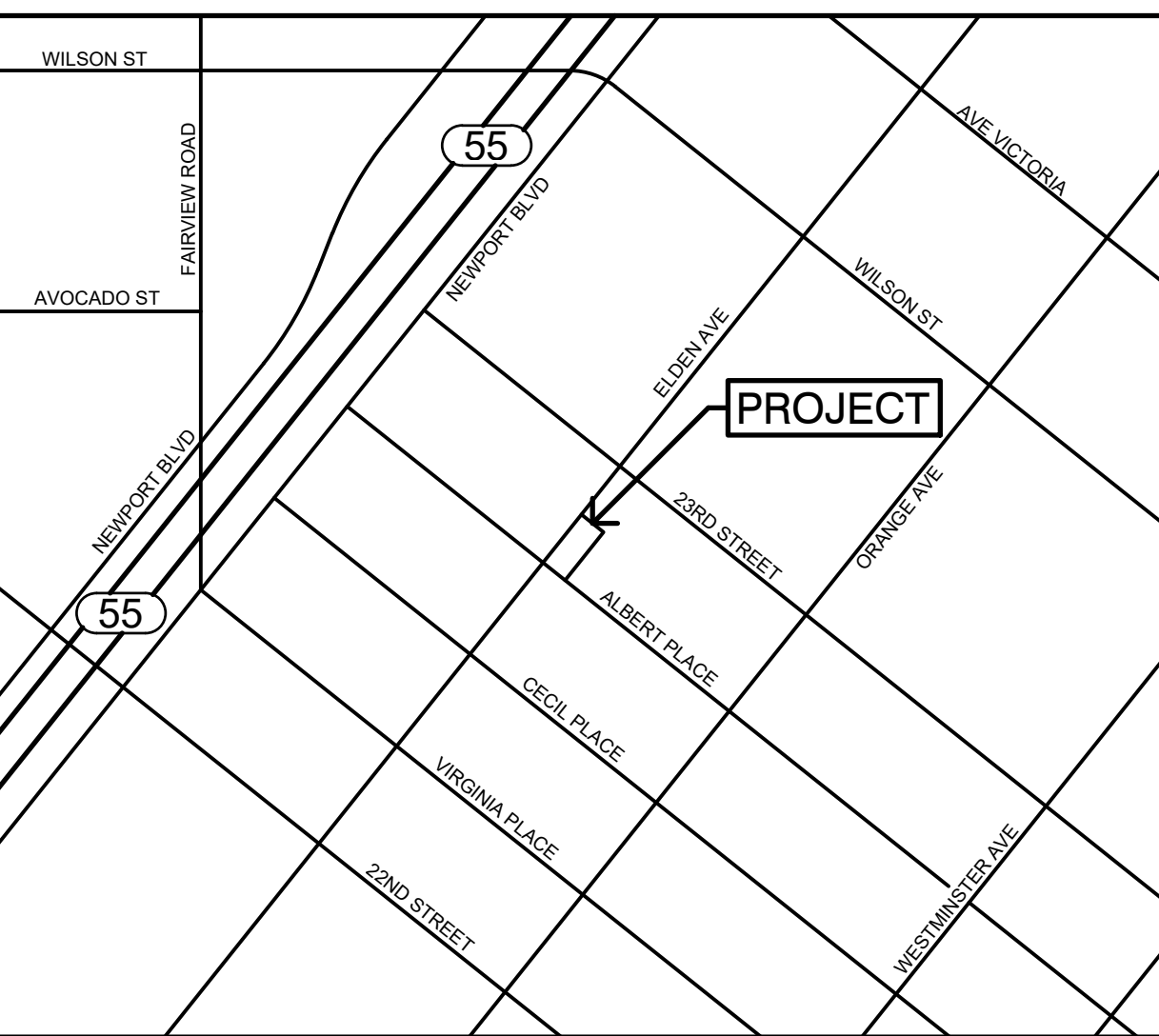
LEGAL DESCRIPTION:

IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA, BEING THE NORTHERLY 51.5 FEET OF LOT 51 IN TRACT NO. 114, AS PER MAP RECORDED IN BOOK 11, PAGE 14 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY. (APN: 426-064-01)

STATEMENT OF OWNERSHIP

WE, 152 ALBERT PLACE, LLC, DO HEREBY STATE THAT WE ARE THE OWNERS OF THE SUBJECT PROPERTY COMPRISING THIS TENTATIVE PARCEL MAP AND THAT WE HAVE CONSENTED TO ITS SUBDIVISION.

BY: DATE BY: DATE



VICINITY MAP
SCALE: 1"=500'

TENTATIVE PARCEL MAP
NO. 2024-156

PLANS PREPARED BY:

TOAL
ENGINEERING, INC.

CIVIL ENGINEERING
LAND SURVEYING
STORMWATER QUALITY

139 Avenida Navarro
San Clemente, CA 92672
949.492.8586
www.toalengineering.com



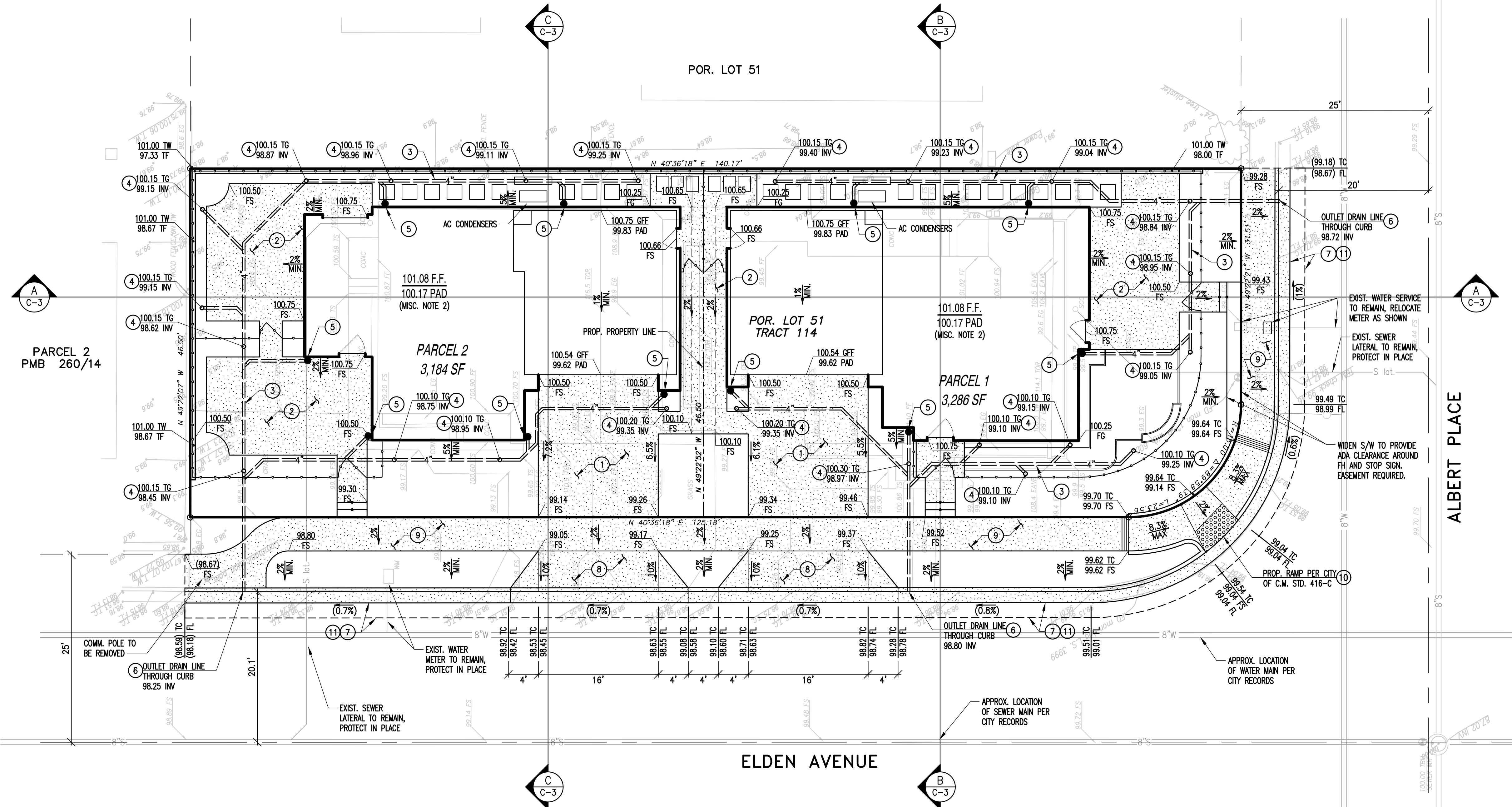
VIKTOR P. MEUM
P.L.S. 8682
DATE:

PREPARED FOR:
152 ALBERT PLACE, LLC

REVISIONS	DATE	APVD.	DATE	BY

152 ALBERT PLACE LLC
TENTATIVE PARCEL MAP
POR. LOT 51, TRACT 114
2280 ELDEN AVENUE, COSTA MESA, CA 92627

DATE:	3/13/25	H. SCALE:	1"=8'
SURVEY DATE:	11/18/24	V. SCALE:	N/A
DRN.:	A.M.S.	DWG. NO.	
CHD.:	V.M.	TMP-	1
APPD.:	C.R.		
JOB NO.	24165	SHEET	1
		OF	1



EASEMENT NOTES:

NUMBERING SEQUENCE PER WFG NATIONAL TITLE COMPANY
PRELIMINARY TITLE REPORT NO. 24-151818 DATED JUNE 20, 2024.

3- A CORPORATION EASEMENT HOLD FOR PIPE LINES AND INCIDENTAL PURPOSES, AS RESERVED IN DEED RECORDED JUNE 16, 1911 IN BOOK 197, PAGE 269 OF DEEDS. (EXACT LOCATION NOT PLOTTABLE FROM RECORD)



SITE DESIGN REFERENCE CHART		
PLANT CATEGORY	REQUIRED	PROVIDED
TREES		
TOTAL	9	9
EVERGREEN	5	5
24" BOX +	4	11
SHRUBS & GROUND COVER		
TOTAL	128	128
5 GALLON +	77	77
GROUND COVER	1,250 SF	1,250 SF
OPEN SPACE TOTALS		
TOTAL OPEN SPACE	3,186 SF	
TOTAL LANDSCAPE AREA	1,785 SF	

2280 & 2286 ELDEN AVENUE
COSTA MESA, CA

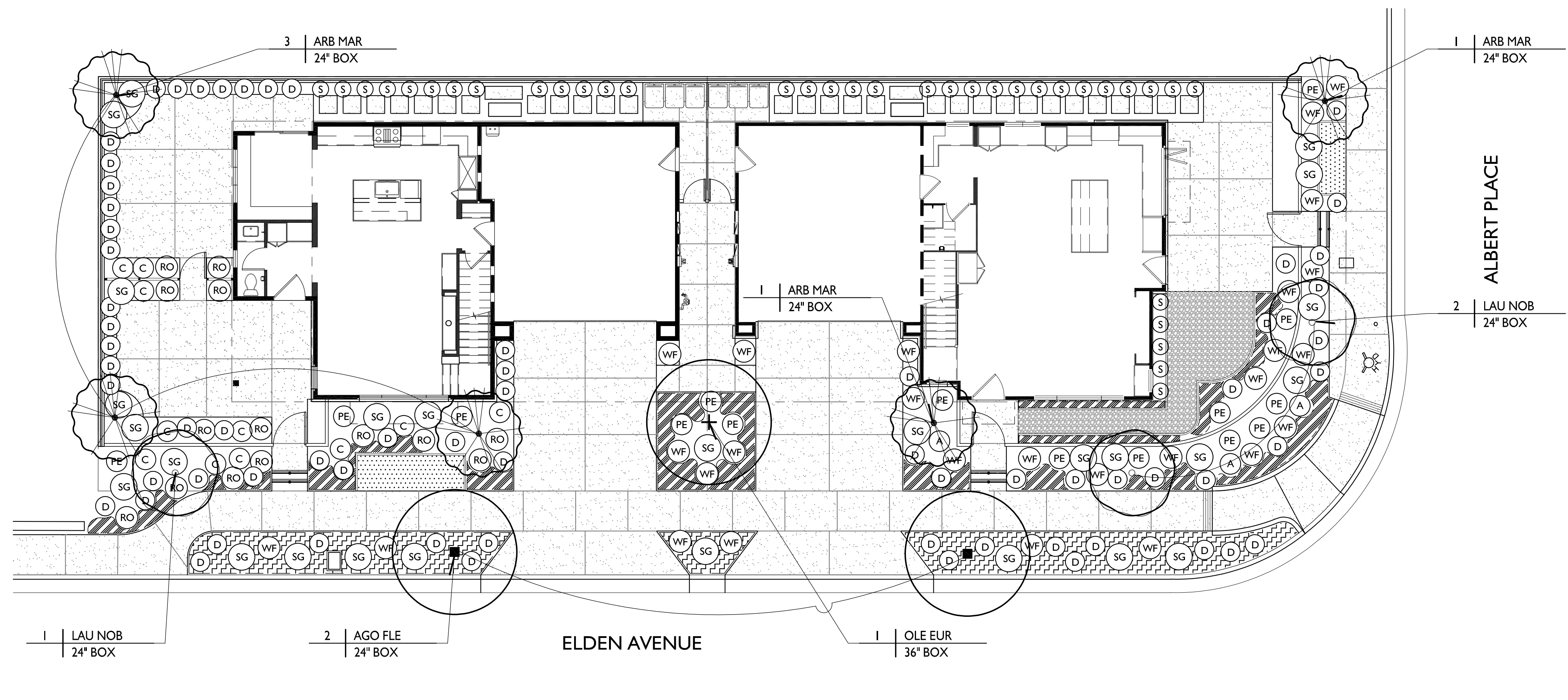
MARCH 12, 2024

L.1 - CONCEPTUAL LANDSCAPE PLAN



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PLANTING LEGEND:					
SYMBOL	NAME	SIZE	COMMENTS	QTY	WUCOL'S
TREES:					
ARB MAR	ARBUTUS MARINA HYBRID STRAWBERRY TREE	24" BOX	STANDARD	5	LOW
OLE EUR	OLEA EUROPAEA 'SWAN HILL' SWAN HILL FRUITLESS OLIVE	24" BOX	MULTI	1	LOW
LAU NOB	LAURUS 'SARATOGA' SARATOGA LAUREL	24" BOX	STANDARD	3	LOW
AGO FLE	AGONIS FLEXUOSA AUSTRALIAN WILLOW	24" BOX	STANDARD	2	LOW
SHRUBS:					
(A)	AGAVE ATTENUATA FOXTAIL AGAVE	5 GAL.	-	3	LOW
(C)	CALLISTEMON 'LITTLE JOHN' DWARF BOTTLEBRUSH	5 GAL.	-	11	LOW
(D)	DIANELLA REVOLUTA 'LITTLE REV' LITTLE REV FLAX LILY	1 GAL.	-	68	LOW
(RO)	ROSMARINUS OFFICINALIS PROSTRATA PROSTRATE ROSEMARY	1 GAL.	-	14	LOW
(PE)	PENNISETUM 'FAIRY TALES' FAIRY TALE FOUNTAIN GRASS	5 GAL.	-	15	LOW
(SG)	SALVIA GREGGII AUTUMN SAGE	1 GAL.	-	27	LOW
(S)	SANSEVIERIA TRIFASCIATA SNAKE PLANT	5 GAL.	-	38	MED
(WF)	WESTRINGIA FRUTICOSA GRAY BOX DWARF COAST ROSEMARY	5 GAL.	-	27	LOW
GROUND COVER/TURF:					
(Pattern)	MARATHON SOD	SOD	-	75 S/F	HIGH
(Pattern)	SENECIO SERENS BLUE CHALK FINGERS	FLATS	PLANT 16 IN. O.C.	5	LOW
(Pattern)	DYMONDIA MARGARETAE SILVER CARPET	FLATS	PLANT 12 IN. O.C.	8	LOW
SHREDDED WOOD MULCH (ALL SHRUB AREAS):					
ALL SHRUB AREAS	1/2" - 1" FOREST FLOOR BARK MULCH (3" THICK) AVAILABLE THROUGH AGUINAGA FERTILIZER COMPANY 714.283.2572 or APPROVED EQUAL - SUBMIT SAMPLES to L.A. for APPROVAL				

GENERAL PLANTING NOTES:	
1	PRIOR TO ANY FINE GRADING OR PLANTING, CONTRACTOR SHALL REVIEW THE AGRONOMIC SOIL REPORTS AND SOIL AMENDMENT RECOMMENDATIONS PER SPECIFICATIONS, WHICH SHALL SUPERSEDE THOSE WITHIN THE SPECIFICATIONS.
2	LANDSCAPE ARCHITECT TO APPROVE ALL PLANT MATERIAL NOT LESS THAN 1 WEEK PRIOR TO ANTICIPATED DELIVERY DATE.
3	CONTRACTOR SHALL REMOVE ALL GROWER STAKES, TAGS AND RIBBONS.
4	LANDSCAPE CONTRACTOR SHALL MAINTAIN PROPER DRAINAGE AND DIRECT ALL WATER TO DRAINAGE INLETS SO AS TO PREVENT STANDING WATER.
5	THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTED AREAS FOR A PERIOD OF 90 DAYS AFTER 'START OF MAINTENANCE' PERIOD.
6	CONTRACTOR SHALL GUARANTEE SHRUBS FOR 6 MONTHS AND TREE AND PALM MATERIAL FOR 12 MONTHS (1 YEAR).
7	LANDSCAPE ARCHITECT SHALL APPROVE PLANT MATERIAL PLACEMENT PRIOR TO INSTALLATION.
8	NO TREES SHALL BE PLANTED CLOSER THAN 5' TO A BUILDING OR ROOF STRUCTURE. NO TREES SHALL BE PLANTED CLOSER THAN 5' TO PAVING OR FREESTANDING WALLS UNLESS DIRECTED BY THE LANDSCAPE ARCHITECT.
9	TREES OR PALMS SHALL NOT BE PLANTED WHERE FUTURE GROWTH WILL OBVIOUSLY CONFLICT WITH ROOF OVERHANGS.
10	TREES OR PALMS PLANTED IN LANDSCAPE AREAS OF LESS THAN 5' IN WIDTH SHALL BE INSTALLED WITH APPROVED ROOT BARRIERS.
11	ANY PLANTING SHOWN ON THE PLANS OR EXISTING IN THE FIELD THAT CONTRADICTS THESE CRITERIA IS TO BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO DO SO MAY RESULT IN THE CONTRACTOR TO REMOVE OR RELOCATE PLANT MATERIAL.
FOR PLANTING DETAILS SEE SHEET LP.2	

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COSTA MESA, CA

MARCH 12, 2024

L.5 - PLANTING PLAN



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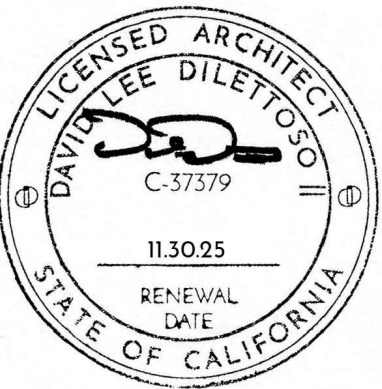
ARCHITECTURAL SITE PLAN FOR
REFERENCE ONLY - SEE CIVIL

EXISTING - THE EXISTING
PROPERTY CONSISTS TO TWO SFD
HOMES - EACH HAVING 2
BEDROOMS, 1 BATHROOM.



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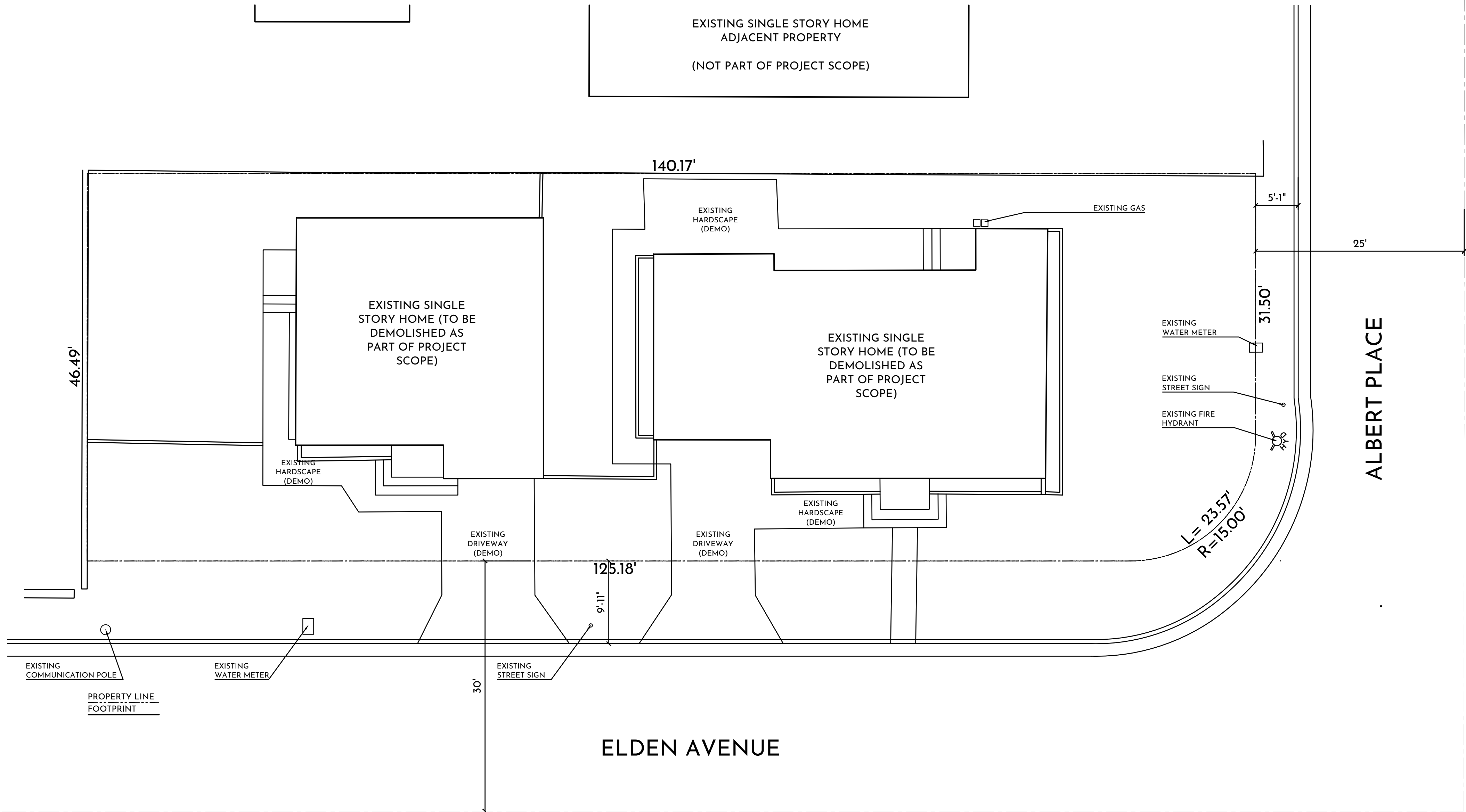
SITE PLAN
EXISTING

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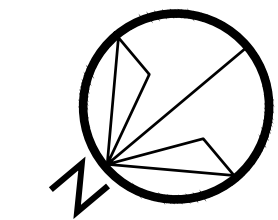
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A0-0.1

PLOT DATE: 4/19/2025



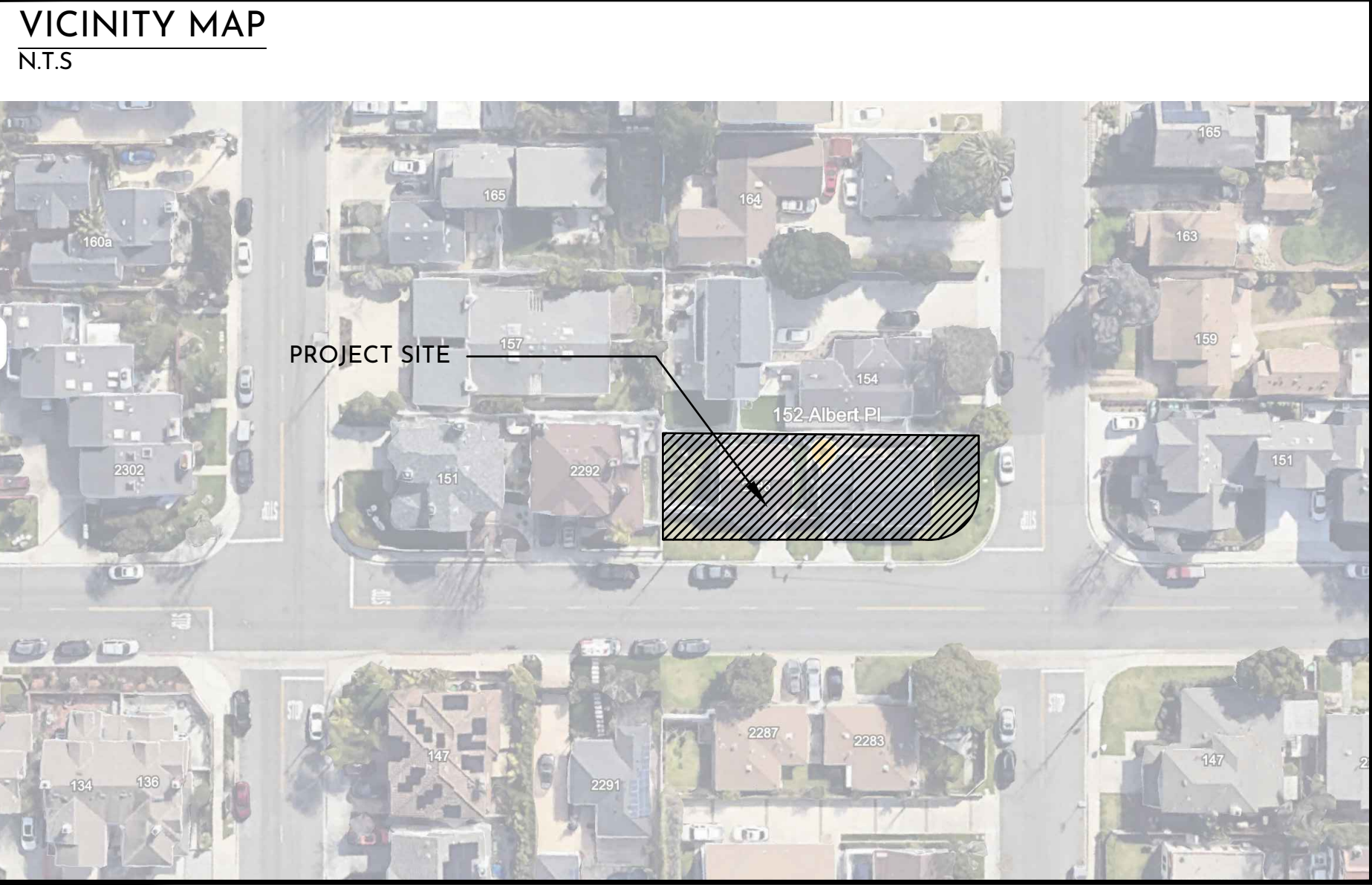
ARCHITECTURAL SITE PLAN
EXISTING



SCALE: 1/8" = 1'-0"

AREA CALCULATIONS - PLAN 1	
FIRST FLOOR (LIVE-ABLE)	790 SQ FT
SECOND FLOOR (LIVE-ABLE)	1,260 SQ FT
TOTAL (LIVE-ABLE)	2,050 SQ FT
GARAGE	486 SQ FT
OUTDOOR	
ENTRY PORCH	86 SQ FT
COVERED BALCONY	107 SQ FT

AREA CALCULATIONS - PLAN 2	
FIRST FLOOR (LIVE-ABLE)	835 SQ FT
SECOND FLOOR (LIVE-ABLE)	1,329 SQ FT
TOTAL (LIVE-ABLE)	2,164 SQ FT
GARAGE	474 SQ FT
OUTDOOR	



ARCHITECTURAL SITE PLAN FOR
REFERENCE ONLY - SEE CIVIL

- PUBLIC WORKS GENERAL NOTES
1. PUBLIC WORKS INSPECTION IS REQUIRED PRIOR TO ISSUANCE OF BUILDING FINAL. AT TIME OF INSPECTION, IF ANY OF EXISTING PUBLIC IMPROVEMENTS SURROUNDING THE SITE IS DAMAGED, NEW CURB & GUTTER AND STREET PAVEMENT WILL BE REQUIRED.
 2. AN APPROVED ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY FROM PUBLIC WORKS



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152 ALBERT PLACE LLC.

PLANNING APP - PDES-24-0013

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SITE PLAN
PROPOSED

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A0-0.2

PLOT DATE: 4/19/2025

LOT INFORMATION (R2-MD ZONING):

OVERALL SITE AREA:
6,468 SQ. FT.

SMALL LOT SUBDIVISION STANDARDS:

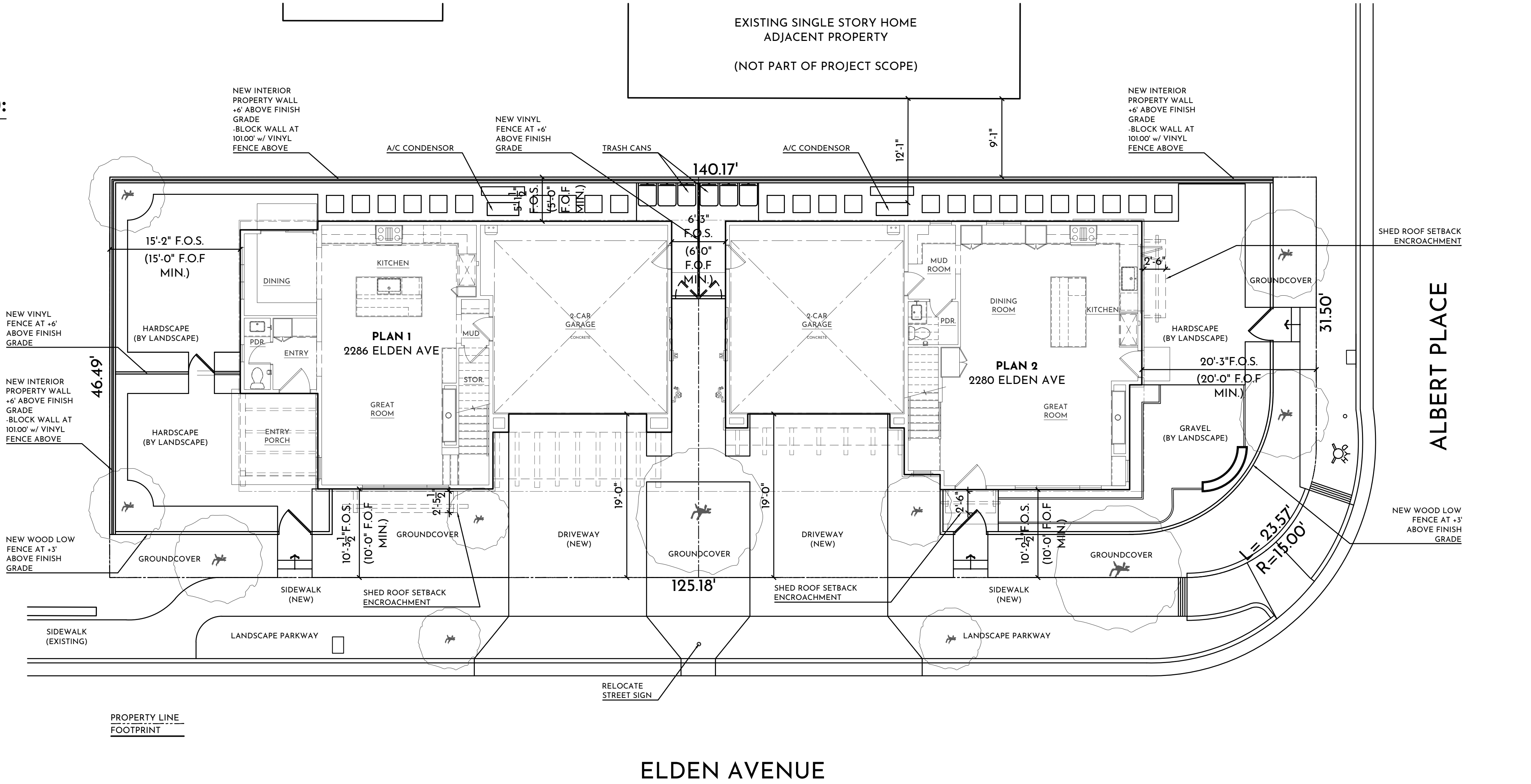
35% OPEN SPACE REQUIRED:
3,186 SQ. FT. PROVIDED

DEVOTED DRIVEWAY AREA:
304 SQ. FT. PROVIDED (EACH PLAN)

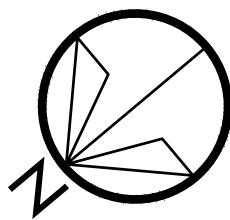
PARKING REQUIRED:
2 GARAGE SPACES AND 2 OPEN SPACES (DRIVEWAY)

SETBACKS:
FRONT (ALBERT PLACE): 20'
REAR: 15'
SIDE (ELDEN): 10' (DRIVEWAY 19')
SIDE YARD: 5'

DISTANCE BETWEEN BUILDINGS: 6' MINIMUM



ARCHITECTURAL SITE PLAN
PROPOSED

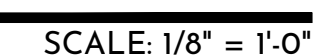


SCALE: 1/8" = 1'-0"



DAVID LEE DILETTOSO
C-37379
11.30.25
RENEWAL
DATE
STATE OF CALIFORNIA

PLOT DATE: 4/19/2025





NOTE: THESE ARE CONCEPTUAL IN NATURE AS FAR AS SURROUNDINGS, VIEWS, MATERIALS, LANDSCAPE AND FINISHES. INTENDED TO PROVIDE OVERALL GLAZING AND MASSING CONCEPT



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SITE PLAN
WINDOW STUDY

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A0-0.3

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ATTIC VENTILATION CALCULATIONS					
AREA	A	B		C	
	ATTIC AREA	REQUIRED VENTING		VENTS w/ 3" MESH O'HAGIN VENT=72	
	(SQ. FT.)	(SQ. IN.)		(SQ. IN.)	
AREA 1	1,320	317	HIGH	(5)72=360	HIGH
		317	LOW	(5)72=360	LOW

ROOF NOTE:
CENTERLINE AT LOWER ATTIC VENT
LOCATIONS INDICATES ALIGNMENT WITH A
WINDOW, DOOR OR OPENING BELOW PER
ELEVATION.

ENERGY NOTE: ALL EXTERIOR
DOORS SHALL BE CAULKED
BETWEEN DOOR AND BUILDING,
AND SHALL BE WEATHERSTRIPPED



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ROOF PLAN
PLAN 1

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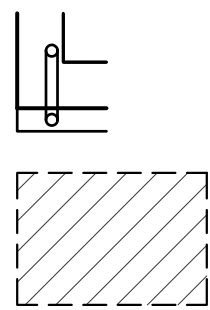
GENERAL NOTES

- HORIZONTAL AND VERTICAL DIMENSIONS SHOWN ARE FROM FACE OF STUD OF FACE OF CONCRETE UNLESS NOTED OTHERWISE
- ANY DISCREPANCY FOUND IN THESE DRAWINGS IS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ANY CONSTRUCTION
- ALL MECHANICAL EQUIPMENTS, ELECTRICAL FIXTURES, PLUMBING FIXTURES, AND STRUCTURAL MEMBERS ARE SHOWN FOR REFERENCE ONLY. REFER TO CONSULTANTS' DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS BY OTHERS.
- CONTRACTOR TO COORDINATE PLUMBING, MECHANICAL, ELECTRICAL PENETRATIONS AND CONNECTIONS WITH SUBCONTRACTORS
- ALL EQUIPMENT, APPLIANCES, AND FIXTURES TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
- ALL ROOFING TO BE A MINIMUM CLASS A (REFLECTANCE = 0.10 & EMISSIVITY = 0.05)
COMPOSITION ROOF:
-GAF TIMBERLINE HD (ESR 1475) OR 'APPROVED EQUAL'
STANDING SEAM METAL ROOF:
-TAYLOR METAL EASY LOCK 24 GAUGE - 16" SEAM (UL ER#25913-01)
- PROVIDE THE FOLLOWING MINIMUM DIMENSIONS FOR VERTICAL LEG

- ON ROOF UNDERSHOTS:
8" AT COMPOSITION SHINGLE ROOFS
PLUMBING VENTS, EXHAUST VENTS OR SIMILAR TERMINATION ACCESSORIES SHALL BE ROUTED TO A PLANE ON THE ROOF THAT IS LEAST VISIBLE FROM PUBLIC VIEW AND GROUPED TOGETHER WHEN POSSIBLE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ARCHITECT PRIOR TO INSTALLATION AND CONFIRM LOCATION.
- ALL EXPOSED METAL ON ROOF SHALL BE CORROSION RESISTANT AND BE PAINTED TO MATCH THE COLOR OF THE ROOF MATERIAL UNO.
 - ALL PENETRATIONS IN VALLEYS SHALL BE LOCATED 18" MIN. OUTSIDE VALLEY WATERWAYS, AND 18" MIN. FROM OTHER PENETRATIONS OR PROJECTIONS, SUCH AS PIPES, WALLS, CURBS, ETC. ALL PENETRATIONS SHALL BE OFFSET 18" MIN. FROM WATERWAY TERMINATIONS SUCH AS VALLEY ENDS AND TILE PAN ENDS, ETC. ALL PENETRATIONS SHALL BE VERTICALLY PLUMB THROUGH ROOF SHEATHING AND EXTEND 12" MIN. ABOVE SHEATHING. 26 GA. MIN. METAL FLASHING (TYP.)
 - FRAMER TO PROVIDE VENTILATION TO AREAS OF ATTIC ISOLATED BY OVER-FRAMING, PROVIDE A 22"x30" ACCESS WAY AT OVER-FRAMING THAT IS OVER 30" CLEAR IN HEIGHT.

SYMBOL LEGEND

- KEY NOTE
- LINE OF EXTERIOR FACE OF FRAMING / STRUCTURE BELOW
- ROOF PITCH SYMBOL:
• ARROW POINTS DOWNSLOPE
• FIRST NUMBER IS VERTICAL RISE
• SECOND NUMBER IS HORIZ. RUN
- METAL VALLEY FLASHING
- METAL SADDLE AND CRICKET FLASHING



TYPICAL DOWNSPOUT AND GUTTER COORDINATE CONNECTION TO STORM DRAINAGE SYSTEM. REFER TO CIVIL DWGS.

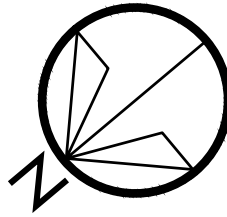
250 SQ. FT. OF SOLAR READY ZONE FOR FUTURE INSTALLATION. PROVIDE A LOCATION FOR INVERTERS AND METERING EQUIPMENT FOR FUTURE SYSTEMS ALONG w/ A PATHWAY FOR ROUTING CONDUIT FROM THE SOLAR ZONES TO THE POINT OF INTERCONNECTION w/ THE ELECTRICAL SERVICE AND PATHWAY FOR ROUTING OF PLUMBING FROM THE SOLAR ZONE TO THE WATER-HEATING SYSTEM.

ROOF PLAN NOTES

0. SPATIAL
- 011 LINE OF FLOOR AND/OR WALL BELOW
 - 012 LINE OF EAVE
 - 013 LINE OF RAKE/ BARGE
 - 014 GABLE END TRUSS W/ RECESSED FALSE VENT DETAIL PER ELEVATION. SEE DETAILS FOR VERTICAL TRUSS MEMBER COORDINATION
5. METALS
- 501 LINE OF CR. METAL GUTTER / DOWNSPOUT
 - 502 CR. METAL CRICKET/SADDLE FLASHING
 - 503 CR. METAL VALLEY FLASHING
 - 504 O'HAGIN ROOF VENT
 - 505 CR. METAL DIRECT VENT CAP (INSTALL PER MANUFACTURER'S INSTRUCTIONS)

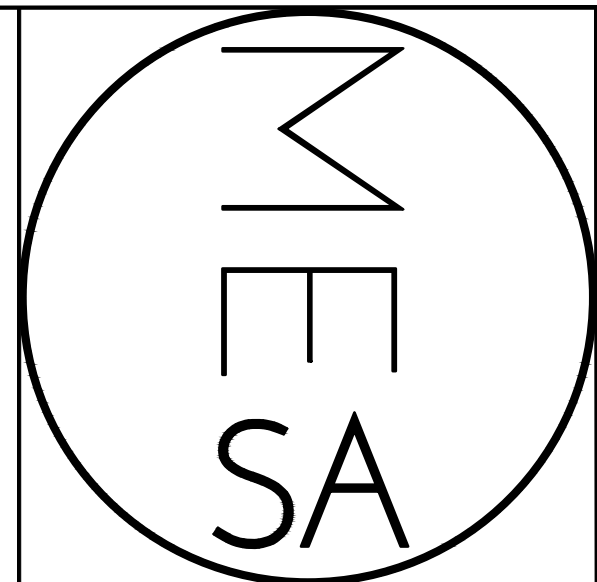
7. THERMAL PROTECTION
- 701 COMPOSITE ASPHALT SHINGLE ROOF
 - 702 STANDING SEAM METAL ROOF

15. MECHANICAL
- 1501 MECHANICAL UNIT (IN ATTIC)



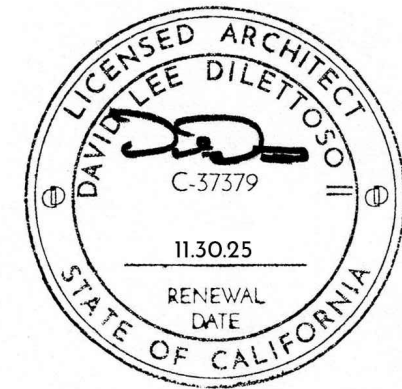
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ROOF PLAN
PLAN 1



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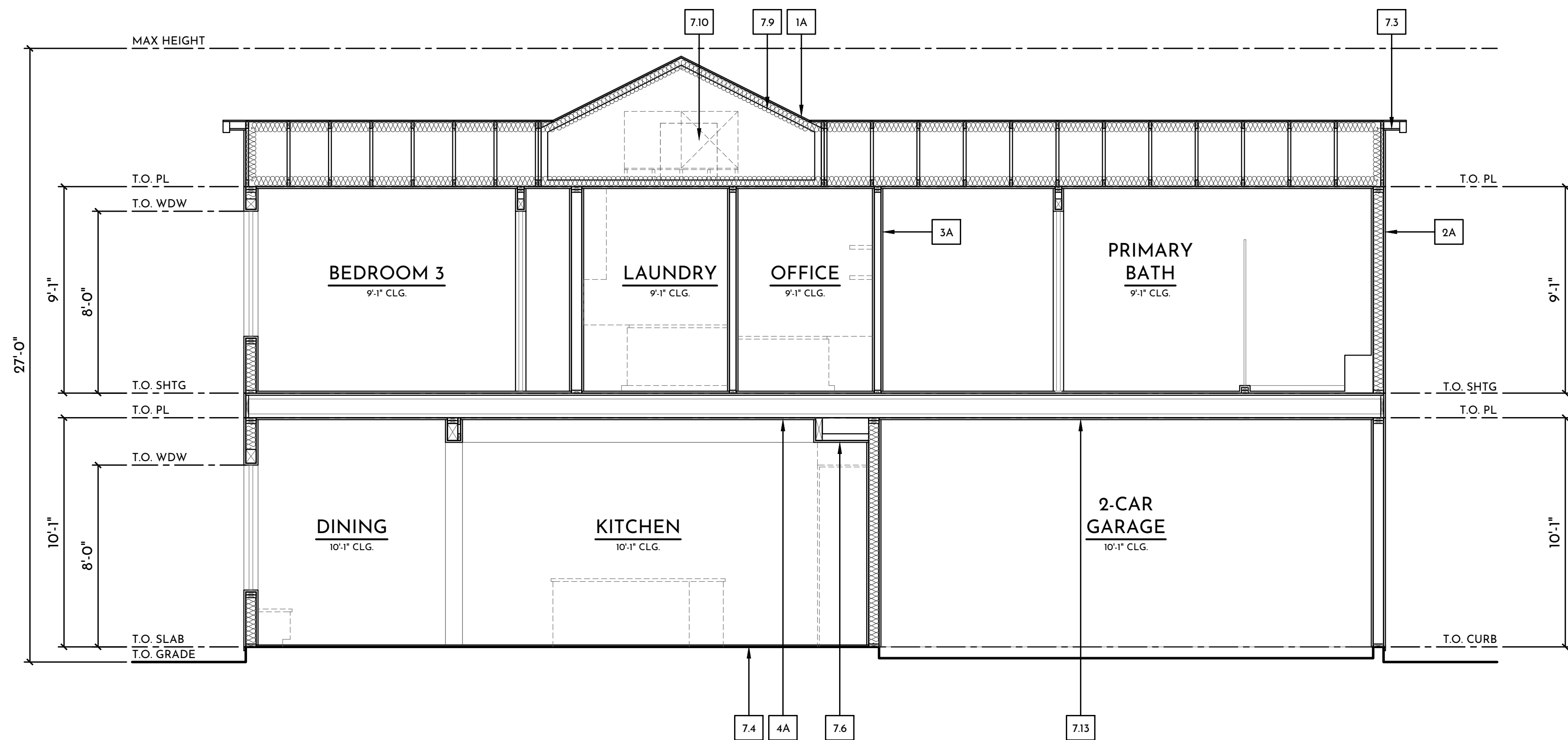
SECTIONS
PLAN 1

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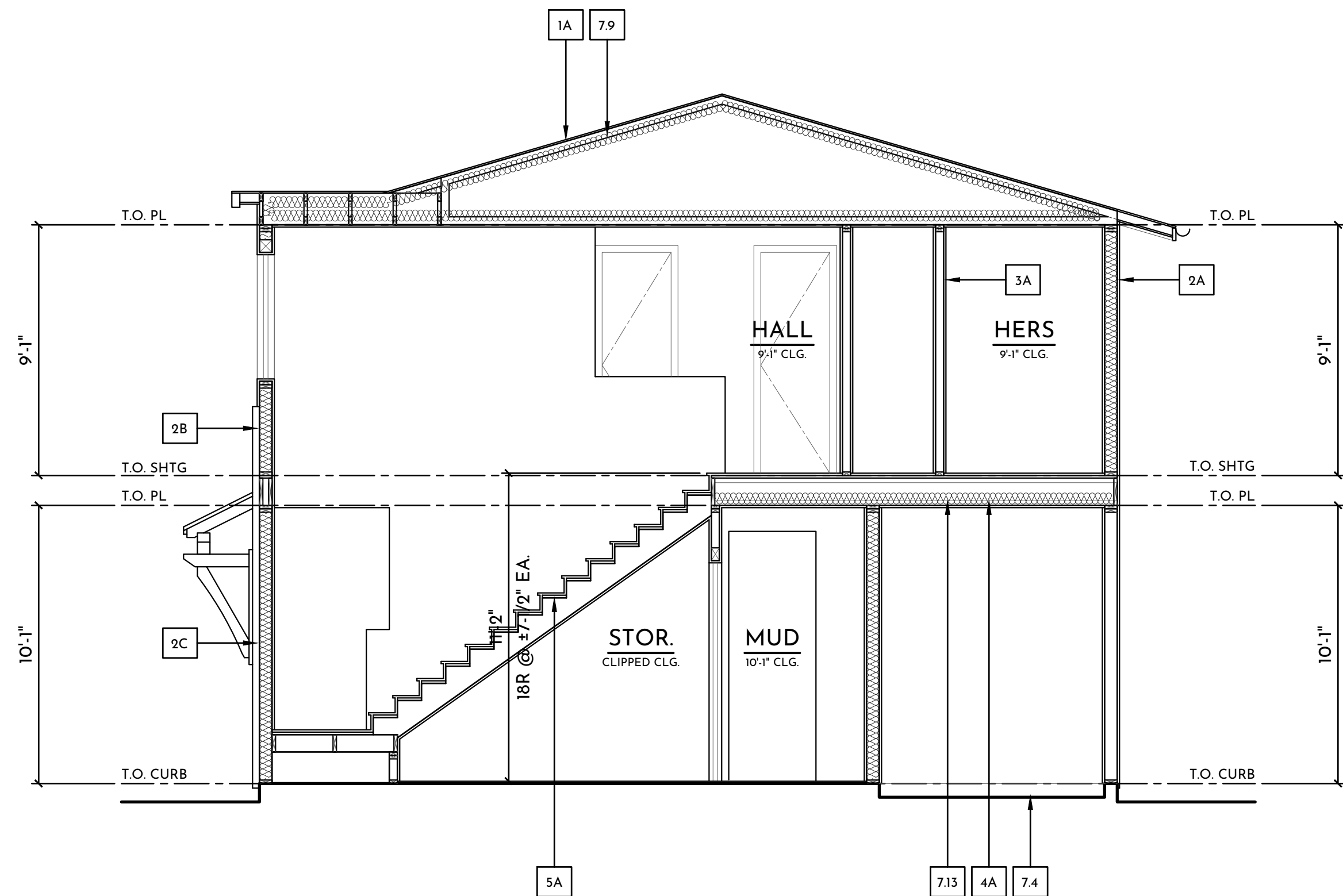
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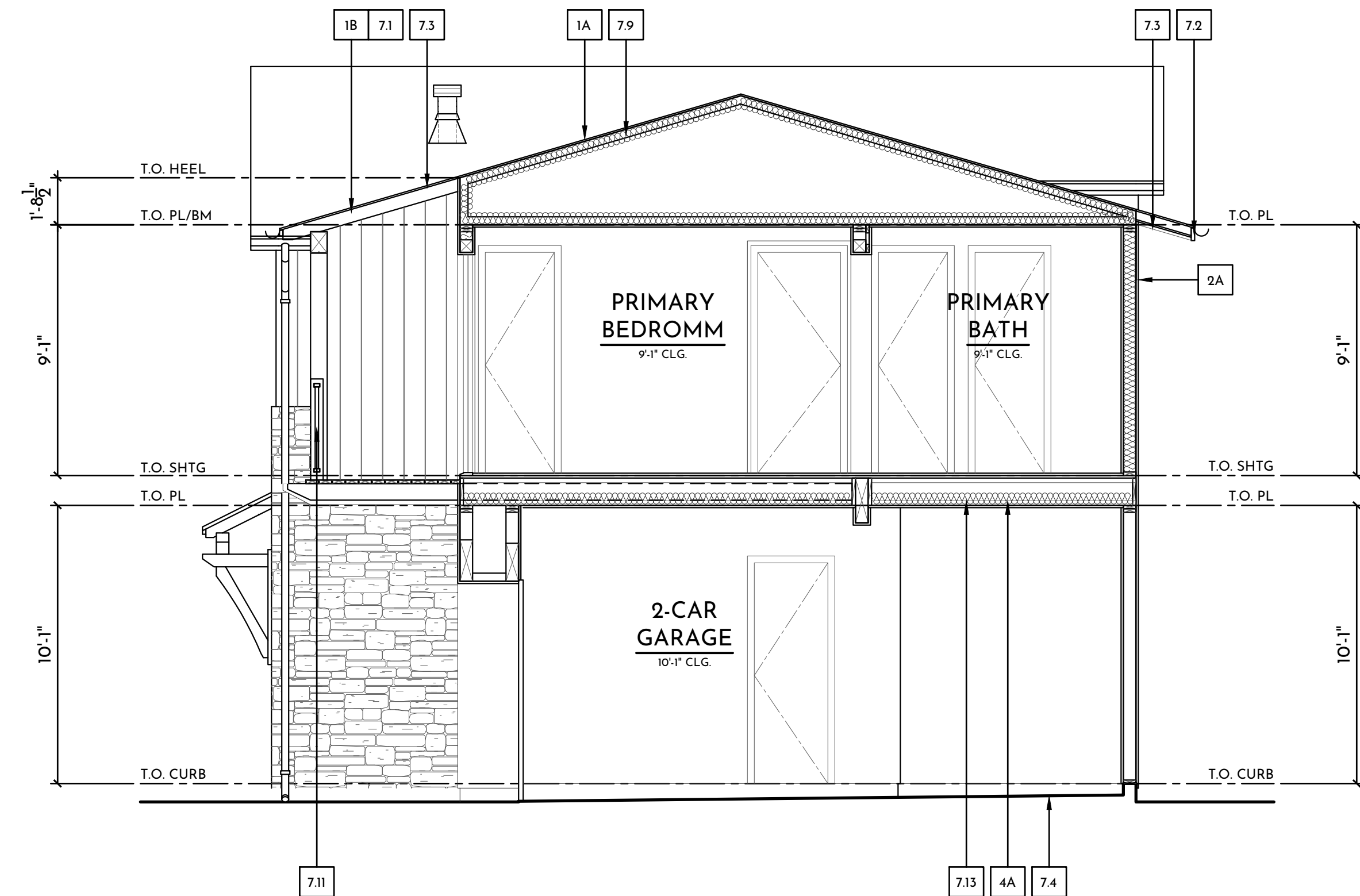
SECTION A-A
ELDEN

SCALE: 1/4" = 1'-0"



SECTION C-C

SCALE: 1/4" = 1'-0"



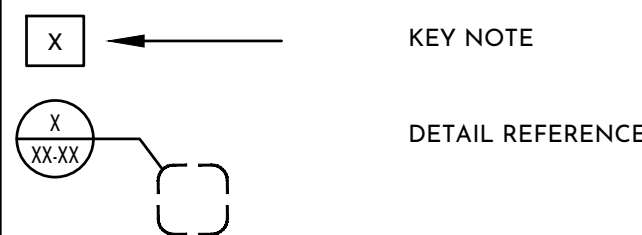
SECTION B-B

SCALE: 1/4" = 1'-0"

GENERAL NOTES

- HORIZONTAL AND VERTICAL DIMENSIONS SHOWN ARE FROM FACE OF STUD OF FACE OF CONCRETE UNLESS NOTED OTHERWISE
- ANY DISCREPANCY FOUND IN THESE DRAWINGS IS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ANY CONSTRUCTION
- FIRST FLOOR DIMENSIONS ARE FROM THE TOP OF HOUSE SLAB
- SECOND FLOOR DIMENSIONS ARE FROM THE TOP OF SUB FLOOR SHEATHING
- REFER TO STRUCTURAL DRAWINGS FOR FRAMING MEMBER SPECIES, GRADES, SIZES, SPACING, CONNECTIONS, ROOF AND FLOOR SHEATHING, SHEAR WALLS AND ADDITIONAL INFORMATION
- FOUNDATION: FOUNDATION IS TO BE A CONCRETE SLAB ON GRADE SYSTEM (U.N.O.) DESIGNED BY OTHERS
- SOLE PLATES: SOLE PLATES SHALL BE PRESSURE TREATED

SYMBOL LEGEND



SECTION NOTES

- 1A. SLOPED ROOF ASSEMBLY:
- ROOFING MATERIAL - PER ROOF PLAN
 - ROOFING UNDERLAYMENT FELT - PER MFR'S SPEC'S
 - ROOF SHEATHING - S.S.D.
 - CALIFORNIA FRAMING (WHERE OCCURS)
 - DESIGNED WOOD TRUSSES OR 2X RAFTERS
 - INSULATION PER ENERGY CALCS
 - 2X WOOD FURRING (WHERE OCCURS)
 - GYPSUM BOARD AT CEILING (OR FINISH PER INT. SPEC)

1B. SLOPED EXPOSED RAFTERS ROOF ASSEMBLY:

- ROOFING MATERIAL - PER ROOF PLAN
- ROOFING UNDERLAYMENT FELT - PER MFR'S SPEC'S
- 2X T&G STARTER BOARD / ROOF SHEATHING - S.S.D.
- EXPOSED WOOD 4x6 RAFTERS, CONVENTIONALLY FRAMED

2A. EXTERIOR WALL ASSEMBLY:

- 7/8" EXTERIOR STUCCO - 3 COAT (SMOOTH)
- WIRE LATH OVER MIN. TWO LAYERS GRADE 'D' 60 MINUTE BUILDING PAPER WHERE PLYWOOD SHEATHING OCCURS
- PLYWOOD SHEAR PANELS (WHERE OCCURS)
- 2X WALL FRAMING - S.S.D.
- INSULATION PER ENERGY CALCS
- GYPSUM WALLBOARD (OR FINISH PER INT. SPEC)

2B. EXTERIOR WALL ASSEMBLY:

- CEMENTITIOUS/FIBER-ASH WOOD COMP. SIDING - TYPE PER ELEV.
- TWO LAYERS GRADE 'D' BUILDING WHERE PLYWOOD SHEATHING OCCURS
- PLYWOOD SHEAR PANELS (WHERE OCCURS)
- 2X WALL FRAMING - S.S.D.
- INSULATION PER ENERGY CALCS
- GYPSUM WALLBOARD (OR FINISH PER INT. SPEC)

2C. EXTERIOR WALL ASSEMBLY:

- ADHERED STONE VENEER w/ SCRATCH/BROWN COAT
- TWO LAYERS GRADE 'D' BUILDING WHERE PLYWOOD SHEATHING OCCURS
- PLYWOOD SHEAR PANELS (WHERE OCCURS)
- 2X WALL FRAMING - S.S.D.
- INSULATION PER ENERGY CALCS
- GYPSUM WALLBOARD (OR FINISH PER INT. SPEC)

3A. INTERIOR WALL ASSEMBLY (NON-RATED):

- GYPSUM WALLBOARD (OR FINISH PER INT. SPEC)
- 2X WALL FRAMING - S.S.D.
- GYPSUM WALLBOARD (OR FINISH PER INT. SPEC)

4A. FLOOR/CEILING ASSEMBLY:

- FLOOR FINISH - SEE PLANS
- SUBFLOOR SHEATHING - S.S.D.
- FLOOR JOISTS - S.S.D.
- 2X WOOD / LIGHT GAUGE METAL FURRING (WHERE OCCURS)
- GYPSUM BOARD (OR FINISH PER INT. SPEC.) (TYPE 'X' WHERE OCCURS)

5A. TYPICAL STAIR ASSEMBLY:

- CONTINUOUS HANDRAIL (SECURELY FASTENED TO WALL WHERE SHOWN) BETWEEN 34" MIN - 38" MAX. ABOVE NOSING OF TREAD
- FINISH MATERIAL PER INT. SPEC.
- 1-1/8" THICK TREADS (U.N.O.)
- 3/4" THICK RISERS (U.N.O.)
- MIN. (3) 2 x 14 STRINGERS AT STRAIGHT RUNS
- 2 x 6 JOISTS @ 16" O.C. MIN. AT LANDING - S.S.D.
- POSITIVE CONNECTION TO FLOOR - S.S.D.

7.1 EXPOSED WOOD RAFTER TAILS - S.S.D

- EXPOSED WOOD FASCIA - S.S.D
- T&G WOOD STARTER BOARDS - SEE NOTE FOR SIZE
- SLAB FOUNDATION - S.S.D.
- CEMENT BOARD SOFFIT
- GYPSUM BOARD SOFFIT
- FURRED CEILING
- DECORATIVE WOOD BEAM (PAINT GRADE)
- INSULATION PER ENERGY CALCS
- HEAT PUMP AIR UNIT IN ATTIC. PROVIDE FUEL GAS, LIGHT, AND SWITCH.
- TRUSS MANUFACTURER TO PROVIDE REQUIRED CLEARANCES.
- DECK/BALCONY GUARD RAIL, +42" A.F.F.

- 7.13 PROVIDE 5/8" TYPE 'X' GYP. BOARD AT GARAGE CEILINGS w/ HABITABLE ROOMS ABOVE AND AT UNDERSIDE OF STAIRS (PER CRC TABLE R302.6)

ENERGY REQUIREMENTS

NOTE: VERIFY WITH ENERGY COMPLIANCE CALCULATIONS.

EXTERIOR WALLS (2x6) - R-21
GLAZING - SEE SCHEDULES
FLOOR (OVER GARAGE) - R-19
ROOF (ATTIC) - R-38
CEILING (BELOW ATTIC) - R-19

REFER TO EN-1, EN-4 SHEETS FOR MIN. GLAZING U-FACTOR & SHGC FOR WINDOWS AND DOORS.



SOUTHWEST ELEVATION

SCALE: 1/4" = 1'-0"



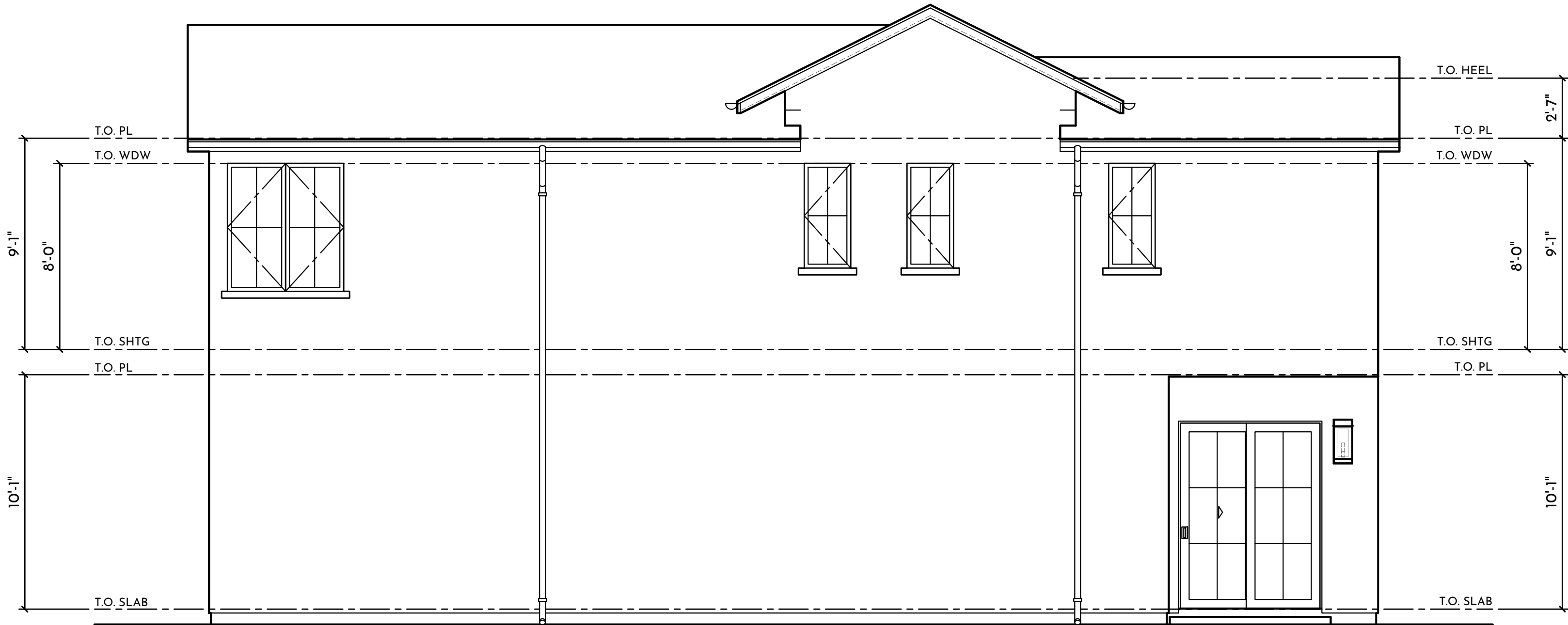
NORTHWEST ELEVATION

SCALE: 1/4" = 1'-0"



NORTHEAST ELEVATION

SCALE: 1/4" = 1'-0"



SOUTHEAST ELEVATION

SCALE: 1/4" = 1'-0"

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SYMBOL LEGEND

- KEY NOTE
- DETAIL REFERENCE

ELEVATION NOTES

0. SPATIAL
- 0.01 LINE OF WALL BEYOND
- 0.02 WALL OPENING
2. SITE
- 2.01 SITE WALL | GATE (SEE LANDSCAPE)
- 2.02 FINISH GRADE
3. CONCRETE
- 3.01 CONCRETE SLAB ON GRADE (SEE STRUCTURAL)
- 3.02 CONCRETE/HARDSCAPE STOOP (SEE LANDSCAPE)
4. MASONRY
- 4.01 THIN STONE VENEER (ADHERED) w/ MORTAR WASH (PLAN 1 - WILDFLOWER BY CREATIVE MINES)
- 4.02 PRECAST CONCRETE TRIM / HEADER (FOAM TRIM w/ SMOOTH PLASTER FINISH ALTERNATE)

5. METALS
- 5.01 C.R. METAL STUCCO WEEP SCREED, TYP.
- 5.02 C.R. METAL GUTTER, TYP.
- 5.03 C.R. METAL DOWNSPOUT, TIE INTO SITE DRAINAGE - PER CIVIL
- 5.04 C.R. METAL FLASHING AT INTERSECTION
- 5.05 C.R. METAL FLASHING AT TOP OF ALL EXPOSED WOOD (TRIM INCLUDED)
- 5.06 LISTED C.R. METAL HORIZONTAL VENT TERMINATION CAP FOR GAS FIREPLACE, PER MANUF. SPECS. SET BOTTOM OF CAP MIN. 8'-0" A.F.F.
- 5.07 C.R. METAL GUARD AND RAILING SYSTEM, +42" A.F.F.
- 5.08 STANDING SEAM METAL ROOF
- 5.09 RECESSED METAL LOUVER VENT (FAUX GABLE DETAIL)
6. WOOD
- 6.01 WOOD FASCIA
- 6.02 WOOD BARGE
- 6.03 WOOD RAFTER TAILS
- 6.04 2X WOOD TRIM
- 6.05 WOOD POST
- 6.06 SHAPED WOOD BEAM
- 6.07 WOOD CORBEL
- 6.08 WOOD GUARD AND RAILING SYSTEM, +42" A.F.F.
- 6.09 SHAPED WOOD KNEE BRACE | KICKER
- 6.10 WOOD TRIM BAND

7. EXTERIOR FINISHES
- 7.01 ROOFING MATERIAL (SEE ROOF PLANS)
- 7.02 3-COAT EXTERIOR PLASTER/STUCCO (SMOOTH FINISH)
- 7.03 PLASTER CONTROL JOINT
- 7.04 VERTICAL SIDING - 10X NICKEL-GAP (TRUEXTERIOR SIDING OR APPROVED EQUAL)
- 7.05 HORIZONTAL SIDING - 8X COVE | DUTCH LAP SIDING (TRUEXTERIOR SIDING OR APPROVED EQUAL)
- 7.06 WOOD (COMPOSITE ALTERNATE) SHUTTER
8. OPENINGS
- 8.01 ENTRY DOOR REFER TO DOOR SCHEDULE
- 8.02 ACCESS DOOR REFER TO DOOR SCHEDULE
- 8.03 SECTIONAL ROLL-UP GARAGE DOOR - WOOD GARAGE DOOR (STAIN GRADE)
15. MECHANICAL
- 15.01 A/C CONDENSER LOCATION

16. ELECTRICAL
- 16.01 LIGHT FIXTURE - CARSON GOOSENECK WALL SCONCE - 12" DOME - BLACK - 16" WALL PROJECTION BY REJUVENATION OR APPROVED EQUAL SEE UTILITY PLAN FOR HEIGHT
- 16.02 LIGHT FIXTURE 1 - FRESNO LARGE 3/4 WALL LANTERN - AGED IRON - BY VISUAL COMFORT OR APPROVED EQUAL SEE UTILITY PLAN FOR HEIGHT
- 16.03 LIGHT FIXTURE 2 - HALLE LARGE WALL LANTERN - AGED IRON - BY VISUAL COMFORT OR APPROVED EQUAL SEE UTILITY PLAN FOR HEIGHT
- 16.04 ADDRESS SIGN, +66 AFF (U.N.O)



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ELEVATIONS

PLAN 1

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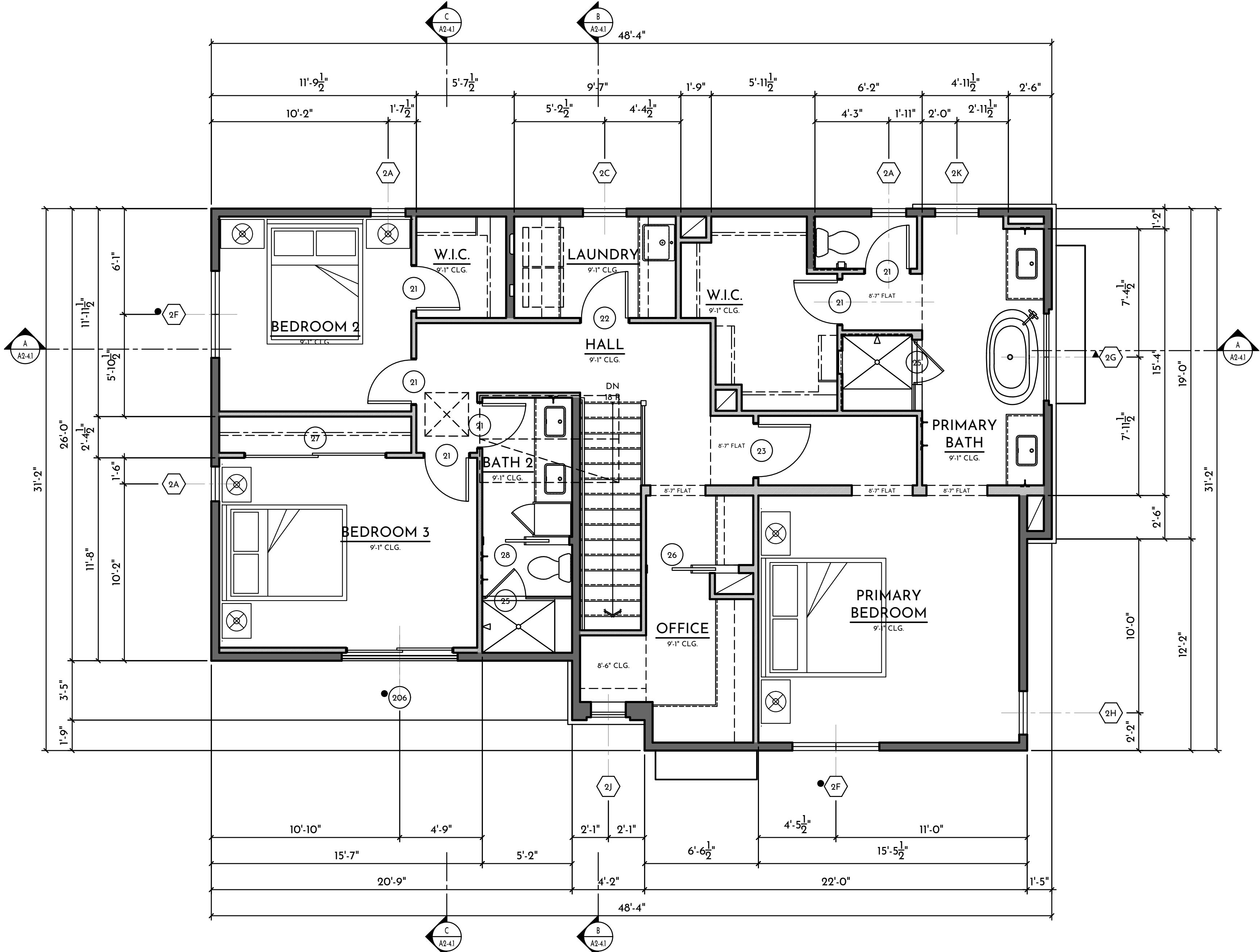
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PLAN 2								
WINDOW SCHEDULE								
X	SIZE (WxH)	TYPE	FRAME	COLOR	MANUFACTURER (OR APPROVED EQUAL)	U-FACTOR	SHGC	REMARKS
2A	2'-0" x 4'-4"	CASEMENT	FIBERGLASS	BRONZE	MARVIN	0.29	0.20	
2B	10'-0" x 5'-6"	CASEMENT FIXED				0.29	0.22	2 - 2'-6"x5'-6" CASEMENT w/ 5'-0"x5'-6" FIXED, MULLED
2C	2'-6" x 4'-6"	CASEMENT				0.29	0.20	
2D	7'-6" x 4'-6"	BIFOLD				0.28	0.18	3-PANEL BI-FOLD (ACCORDION) WINDOW, 3 - 2'-6"x4'-6"
2E	4'-0" x 4'-6"	CASEMENT				0.29	0.20	2 - 2'-0"x4'-6" CASEMENT, MULLED
2F	5'-0" x 5'-0"	CASEMENT				0.29	0.20	2 - 2'-6"x5'-6" CASEMENT, MULLED
2G	5'-0" x 5'-0"	CASEMENT				0.29	0.20	2 - 2'-6"x5'-6" CASEMENT, MULLED
2H	2'-6" x 5'-6"	CASEMENT				0.29	0.20	
2J	2'-0" x 4'-0"	CASEMENT				0.29	0.20	
2K	2'-6" x 5'-0"	CASEMENT				0.29	0.20	
WINDOW NOTES								
1. REFER TO FLOOR PLANS FOR TEMPERED GLASS (SAFETY LOCATIONS) AND EGRESS NOTATIONS								
2. ALL EXTERIOR WINDOWS SHALL COMPLY WITH CRC 337.8.2								
3. CONFIRM ALL WINDOW U-FACTORS AND SHGCs WITH THE ENERGY COMPLIANCE FORMS								
4. ALL - ROUGH OPENING VERIFY WITH MANUFACTURER								
5. SIMULATED DIVIDED LIGHTS (WINDOW MUNTINS) PER EXTERIOR ELEVATIONS								

DOOR SCHEDULE								
X	SIZE (WxH)	TYPE	THICKNESS	COLOR	MANUFACTURER (OR APPROVED EQUAL)	U-FACTOR	SHGC	REMARKS
201	3'-6" x 8'-0"	ENTRY DOOR		STAINED	CUSTOM	0.30	0.23	SOLID CORE w/ TEMPERED GLAZING, STAIN GRADE, WOOD ENTRY DOOR, FOR EGRESS
202	3'-0" x 8'-0"	FRENCH DOOR	1-3/4"	BRONZE	MARVIN	0.30	0.19	FRENCH DOOR w/ TEMPERED GLAZING
203	2'-8" x 8'-0"	SOLID CORE	1-3/4"	PAINTED		-	-	SOLID CORE, w/ TEMPERED GLAZING, PAINT GRADE, WOOD DOOR
204	16'-0" x 8'-0"	SECTIONAL GAR. DR.		STAINED		-	-	SOLID CORE, WOOD GARAGE DOOR - WOOD PANEL
205	2'-8" x 8'-0"	SOLID WOOD	1-3/4"	PER INT.		N/A	N/A	SELF-CLOSING, SELF-LATCHING, TIGHT FIT
206	6'-0" x 8'-0"	SLIDING GLASS		BRONZE	MARVIN	0.30	0.19	2-PANEL SLIDING GLASS DOOR OX
21	2'-6" x 8'-0"	HINGED - INTERIOR	1-3/4"	PER INT.		N/A	N/A	SOLID CORE, PAINT GRADE, WOOD INTERIOR DOOR
22	2'-8" x 8'-0"	HINGED - INTERIOR	1-3/4"	PER INT.		N/A	N/A	SOLID CORE, PAINT GRADE, WOOD INTERIOR DOOR
23	3'-0" x 8'-0"	HINGED - INTERIOR	1-3/4"	PER INT.		N/A	N/A	SOLID CORE, PAINT GRADE, WOOD INTERIOR DOOR
24	2'-6" x 8'-0"	POCKET - INTERIOR	1-3/4"	PER INT.		N/A	N/A	SOLID CORE, PAINT GRADE, WOOD INTERIOR DOOR
25	2'-4" x 7'-0"	GLASS - INTERIOR				N/A	N/A	GLASS SWINGING DOOR - TEMPERED
26	6'-0" x 8'-0"	BYPASS - INTERIOR	1-3/4"	PER INT.		N/A	N/A	SOLID CORE, PAINT GRADE, WOOD INTERIOR DOOR
27	8'-0" x 8'-0"	BYPASS - INTERIOR	1-3/4"	PER INT.		N/A	N/A	SOLID CORE, PAINT GRADE, WOOD INTERIOR DOOR
28	2'-4" x 8'-0"	POCKET - INTERIOR	1-3/4"	PER INT.		N/A	N/A	SOLID CORE, PAINT GRADE, WOOD INTERIOR DOOR
DOOR NOTES								
1. REFER TO FLOOR PLANS FOR TEMPERED GLASS (SAFETY LOCATIONS) AND EGRESS NOTATIONS								
2. ALL EXTERIOR DOORS WITH GLAZING SHALL COMPLY WITH CRC 337.8.2								
3. CONFIRM ALL DOORS U-FACTORS AND SHGCs WITH THE ENERGY COMPLIANCE FORMS								
4. ALL - ROUGH OPENING VERIFY WITH MANUFACTURER								
5. SIMULATED DIVIDED LIGHTS (DOOR MUNTINS) PER EXTERIOR ELEVATIONS								



ENERGY NOTE: ALL EXTERIOR DOORS SHALL BE CAULKED BETWEEN DOOR AND BUILDING, AND SHALL BE WEATHERSTRIPPED



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2ND FLOOR PLAN
PLAN 2

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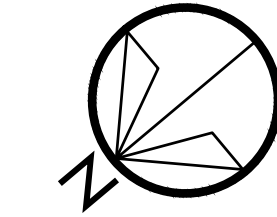
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SECOND FLOOR

PLAN 2



SCALE: 1/4" = 1'-0"

GENERAL NOTES

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- ANY DISCREPANCY FOUND IN THESE DRAWINGS IS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ANY CONSTRUCTION
- FOR FINISHES REFER TO INTERIOR DESIGNER'S SPEC.
- ALL MECHANICAL EQUIPMENTS, ELECTRICAL FIXTURES, PLUMBING FIXTURES, AND STRUCTURAL MEMBERS ARE SHOWN FOR REFERENCE ONLY. REFER TO CONSULTANT'S DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS BY OTHERS.
- CONTRACTOR TO COORDINATE PLUMBING, MECHANICAL, ELECTRICAL PENETRATIONS AND CONNECTIONS WITH SUBCONTRACTORS
- ALL EQUIPMENT, APPLIANCES, AND FIXTURES TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
- PROVIDE THE FOLLOWING AT EGRESS WINDOWS: 57 SQ. FT. OF CLEAR OPERABLE AREA; NET OPERABLE HEIGHT SHALL BE 24" MIN.; NET OPERABLE WIDTH SHALL BE 20" MIN.; BOTTOM OF CLEAR OPENING SHALL BE A MAX. HEIGHT OF 44".
- WINDOWS/DOORS TO HAVE LABEL INDICATING U-VALUE AND SHGC PER ENERGY CALCS.
- CONTRACTOR TO PROVIDE/CONFIRM INSULATION IS PROVIDED THROUGHOUT BUILDING ENVELOPE.

SYMBOL LEGEND

X	KEY NOTE
A D B C	SEE INTERIOR ELEVATION SHEETS FOR CORRESPONDING VIEWS
▲	= TEMPERED GLASS
●	= EMERGENCY EGRESS WINDOW
2x6	WALL FRAMING - S.S.D.
2x4	WALL FRAMING - S.S.D.
	GARAGE DWELLING SEPARATION

FLOOR PLAN NOTES

0. SPATIAL
011 LINE OF FLOOR, DECK, AND/OR WALL ABOVE
012 LINE OF FLOOR AND/OR WALL BELOW
013 LINE OF CEILING CHANGE ABOVE
014 OPENING IN WALL
015 GARAGE CLEAR SPACE (10'-0"x20'-0" MIN.)
4. MASONRY
401 LINE OF ADHERED STONE VENEER FINISH
6. WOOD
601 2X WOOD FRAMING - S.S.D.
602 WOOD HANDRAIL AT 34-38" ABOVE NOSING
603 WOOD GUARD AT 42" A.F.F.
604 WOOD CABINETRY - UPPER CABINET
605 WOOD CABINETRY - LOWER CABINET
606 WOOD CABINETRY - FULL HEIGHT CABINET
607 WOOD CABINETRY - SHELVES
608 WOOD CABINETRY - FULL HEIGHT CLOSET CABINET
609 WOOD CABINETRY - BUILT-IN BANQUETTE SEAT w/ STORAGE BELOW
610 WOOD SPACED DECKING
8. OPENINGS
801 SELF-CLOSING, SELF-LATCHING, TIGHT FITTING, SOLID WOOD 1 3/8" MINIMUM THICK DOOR OR 20 MINUTE DOOR AT OPENINGS FROM DWELLING TO GARAGE
802 ATTIC ACCESS PANEL 30"x30" MIN CLR MAINTAIN 30"x30" CLEAR SPACE TO FLOOR BELOW OPENING

9. FINISHES
901 5/8" GYP. BOARD (1/2" MIN.) AT GARAGE SIDE TO RESIDENCE & AT GARAGE CEILINGS w/ HABITABLE ROOMS ABOVE (CRC TABLE R302.6)
902 DECORATIVE INTERIOR WALL/CEILING FINISH - PER INT. DESIGNER
903 GYPSUM BOARD LOW WALL w/ WOOD CAP AT 42" A.F.F.
904 GYPSUM BOARD NICHE
905 COUNTERTOP - FINISH PER INT. DESIGNER
906 EXPOSED ROOF FRAMING, T&G UNDERSIDE. SEE STRUCT.
10. SPECIALTIES
1001 MUSEET CERAMIC TILED SHAMPOO NICHE, 14" x 20" R.O. 48" A.F.F.
1002 GAS APPLIANCE (FIREPLACE) - MEZZO 60 BY HEAT & GLO. DIRECT VENT, ELECTRIC IGNITION: ANSI Z 2188-2017 OR APPROVED EQUAL
1003 PROVIDE SOLID BLOCKING FOR FUTURE GRAB BAR REINFORCEMENT PER CRC 327.11 - SEE DETAIL 8/AD-12
11. EQUIPMENT
1101 36" RANGE WITH OVEN BELOW
1102 45" REFRIGERATOR SPACE
1103 24" DISHWASHER
1104 24" BUILT-IN MICROWAVE DRAWER (w/ TRIM KIT)
1105 EXHAUST RANGE HOOD - VENT TO OUTSIDE AIR
12. FURNISHINGS
1201 SHELF & POLE
1202 SHELF & DOUBLE POLE
1203 TOWEL BAR MOUNTED AT 54" A.F.F.
1204 TOILET PAPER HOLDER MOUNTED AT 26" A.F.F.
1205 TOWEL HOOK MOUNTED AT 54" A.F.F.

15. MECHANICAL / PLUMBING / ELECTRICAL
1501 DRAIN SINK WITH GARBAGE DISPOSAL
1502 LAVATORY SINK
1503 LAUNDRY SINK
1504 WASHER SPACE - PROVIDE FLOOR DRAIN AND SMITTY PAN. INSTALL ON LEFT SIDE OF DRYER
1505 DRYER SPACE - ROUTE DUCT TO OUTSIDE AIR
1506 HOT-MOPPED SHOWER w/ SHATTER RESISTANT GLASS SHOWER ENCLOSURE, PROVIDE NONABSORBENT AT ALL SURFACES IN PRIMARY SHOWERS / WET AREAS. SHOWER SEAT +20" AFF SLOPED 1/2" PER FOOT, WHERE OCCURS
1507 SHATTER RESISTANT GLASS SHOWER DOOR
1508 FREE STANDING TUB w/ FLOOR MOUNT TUB FILLER
1509 WATER CLOSET (MIN 30" WIDTH AT WALL & 24" MIN. CLEAR IN FRONT)
1510 SHOWER HEAD - 82" AFF
1511 GAS METER - REFER TO EXTERIOR ELEVATIONS FOR LOCATION. MAINTAIN 3'-0" CLEARANCE FROM ANY PIPING TO EDGE OF ELECTRICAL METER
1512 ELECTRIC METER, MAINTAIN 3'-0" CLEAR FROM FACE OF PANEL TO ANY WALL SURFACE OR OBSTRUCTIONS.
1513 CABLE TV/PHONE PANELS
1514 HEAT PUMP AIR UNIT IN ATTIC. PROVIDE FUEL GAS, LIGHT, AND SWITCH
1515 TANKLESS WATER HEATER - BOTTOM @ 48" AFF. REFER TO ENERGY REPORT FOR ENERGY FACTOR SPECS. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
1516 A/C CONDENSER UNIT
1517 ELECTRICAL SUB-PANEL
1518 MECHANICAL CHASE

AREA CALCULATIONS - PLAN 2

FIRST FLOOR (LIVE-ABLE)	835 SQ FT
SECOND FLOOR (LIVE-ABLE)	1,329 SQ FT
TOTAL (LIVE-ABLE)	2,164 SQ FT
GARAGE	
474 SQ FT	
OUTDOOR	

ATTIC VENTILATION CALCULATIONS					
AREA	A	B	C	D	
	ATTIC AREA	REQUIRED VENTING	VENTS w/ 3" MESH O'HAGIN VENT=72		TOTAL VENTING PROVIDED
	(SQ. FT.)	(SQ. IN.)	(SQ. IN.)		(SQ. IN.)
AREA 1	1,375	330 HIGH	(5)72=360 HIGH	360 HIGH	
		330 LOW	(5)72=360 LOW	360 LOW	

ROOF NOTE:
CENTERLINE AT LOWER ATTIC VENT
LOCATIONS INDICATES ALIGNMENT WITH A
WINDOW, DOOR OR OPENING BELOW PER
ELEVATION.

ENERGY NOTE: ALL EXTERIOR
DOORS SHALL BE CAULKED
BETWEEN DOOR AND BUILDING,
AND SHALL BE WEATHERSTRIPPED



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ROOF PLAN
PLAN 2

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SHEET NUMBER:

A2-3.1

PLOT DATE:

4/19/2025

GENERAL NOTES

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- ALL EQUIPMENT, APPLIANCES, AND FIXTURES TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
- ALL ROOFING TO BE A MINIMUM CLASS A (REFLECTANCE = 0.10 & EMISSIVITY = 0.85)
COMPOSITION ROOF:
-GAF TIMBERLINE HD (ESR 1475) OR 'APPROVED EQUAL'
STANDING SEAM METAL ROOF:
-TAYLOR METAL EASY LOCK 24 GAUGE - 16" SEAM (UL ER#25913-01)
- PROVIDE THE FOLLOWING MINIMUM DIMENSIONS FOR VERTICAL LEG

ON ROOF UNDERSHOTS:
8" AT COMPOSITION SHINGLE ROOFS
PLUMBING VENTS, EXHAUST VENTS OR SIMILAR TERMINATION ACCESSORIES SHALL BE ROUTED TO A PLANE ON THE ROOF THAT IS LEAST VISIBLE FROM PUBLIC VIEW AND GROUPED TOGETHER WHEN POSSIBLE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ARCHITECT PRIOR TO INSTALLATION AND CONFIRM LOCATION.

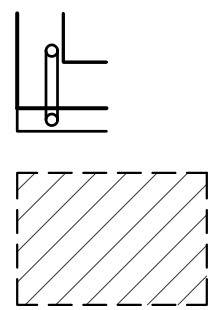
ALL EXPOSED METAL ON ROOF SHALL BE CORROSION RESISTANT AND BE PAINTED TO MATCH THE COLOR OF THE ROOF MATERIAL UNO.

ALL PENETRATIONS IN VALLEYS SHALL BE LOCATED 18" MIN. OUTSIDE VALLEY WATERWAYS, AND 18" MIN. FROM OTHER PENETRATIONS OR PROJECTIONS, SUCH AS PIPES, WALLS, CURBS, ETC. ALL PENETRATIONS SHALL BE OFFSET 18" MIN. FROM WATERWAY TERMINATIONS SUCH AS VALLEY ENDS AND TILE PAN ENDS, ETC. ALL PENETRATIONS SHALL BE VERTICALLY PLUMB THROUGH ROOF SHEATHING AND EXTEND 12" MIN. ABOVE SHEATHING. 26 GA. MIN. METAL FLASHING (TYP.)

FRAMER TO PROVIDE VENTILATION TO AREAS OF ATTIC ISOLATED BY OVER-FRAMING, PROVIDE A 22"X30" ACCESS WAY AT OVER-FRAMING THAT IS OVER 30" CLEAR IN HEIGHT.

SYMBOL LEGEND

- KEY NOTE**
- LINE OF EXTERIOR FACE OF FRAMING / STRUCTURE BELOW
- ROOF PITCH SYMBOL:**
- ARROW POINTS DOWNSLOPE
 - FIRST NUMBER IS VERTICAL RISE
 - SECOND NUMBER IS HORIZ. RUN
- METAL VALLEY FLASHING**
- METAL SADDLE AND CRICKET FLASHING**

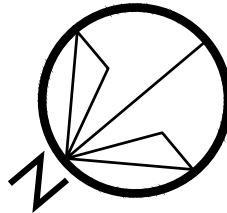


250 SQ. FT. OF SOLAR READY ZONE FOR FUTURE INSTALLATION. PROVIDE A LOCATION FOR INVERTERS AND METERING EQUIPMENT FOR FUTURE SYSTEMS ALONG w/ A PATHWAY FOR ROUTING CONDUIT FROM THE SOLAR ZONES TO THE POINT OF INTERCONNECTION w/ THE ELECTRICAL SERVICE AND PATHWAY FOR ROUTING OF PLUMBING FROM THE SOLAR ZONE TO THE WATER-HEATING SYSTEM.

ROOF PLAN NOTES

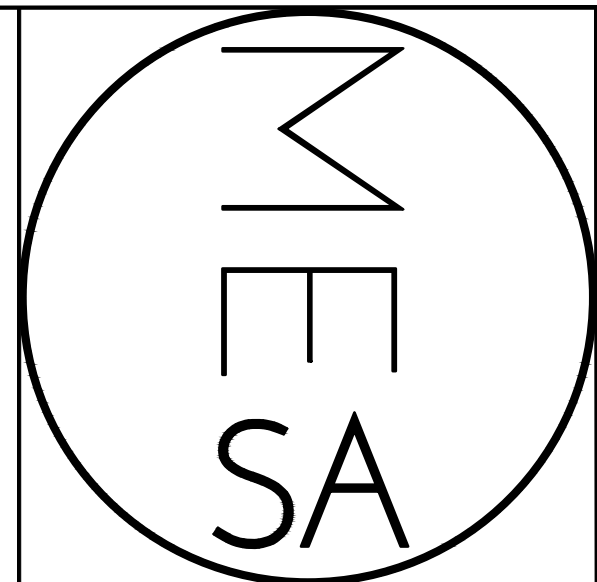
- 0. SPATIAL**
- 011 LINE OF FLOOR AND/OR WALL BELOW
 - 012 LINE OF EAVE
 - 013 LINE OF RAKE/ BARGE
 - 014 GABLE END TRUSS W/ RECESSED FALSE VENT DETAIL PER ELEVATION. SEE DETAILS FOR VERTICAL TRUSS MEMBER COORDINATION
- 5. METALS**
- 501 LINE OF C.R. METAL GUTTER / DOWNSPOUT
 - 502 C.R. METAL CRICKET/SADDLE FLASHING
 - 503 C.R. METAL VALLEY FLASHING
 - 504 O'HAGIN ROOF VENT
 - 505 C.R. METAL DIRECT VENT CAP (INSTALL PER MANUFACTURER'S INSTRUCTIONS)

- 7. THERMAL PROTECTION**
- 7.01 COMPOSITE ASPHALT SHINGLE ROOF
 - 7.02 STANDING SEAM METAL ROOF
- 15. MECHANICAL**
- 15.01 MECHANICAL UNIT (IN ATTIC)



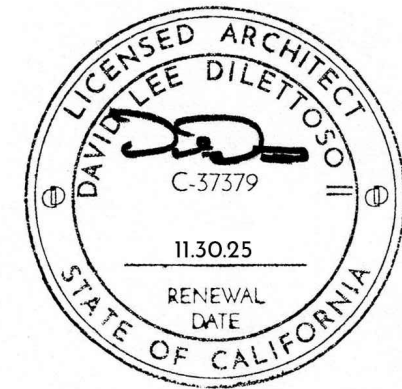
SCALE: 1/4" = 1'-0"

ROOF PLAN
PLAN 2



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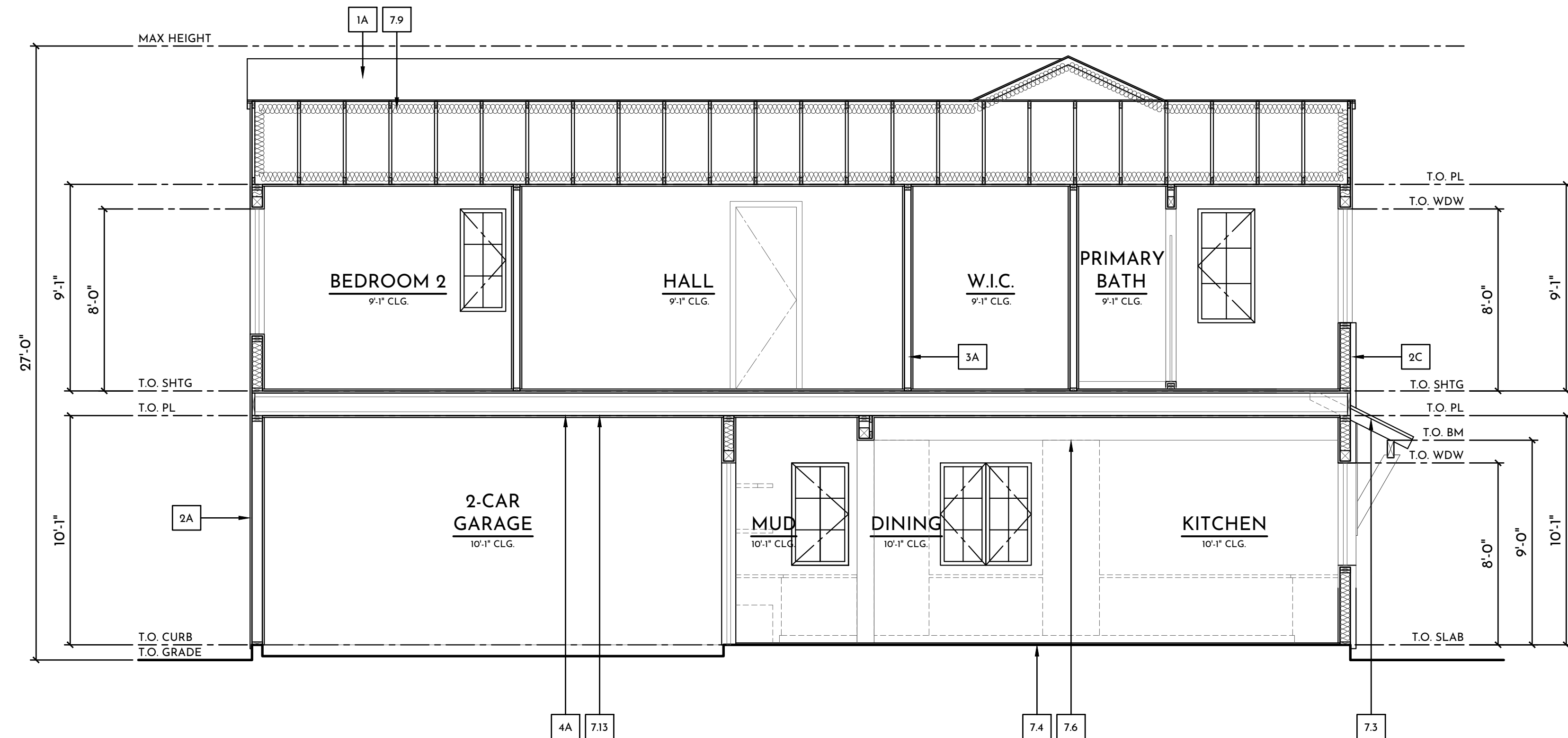
SECTIONS
PLAN 2

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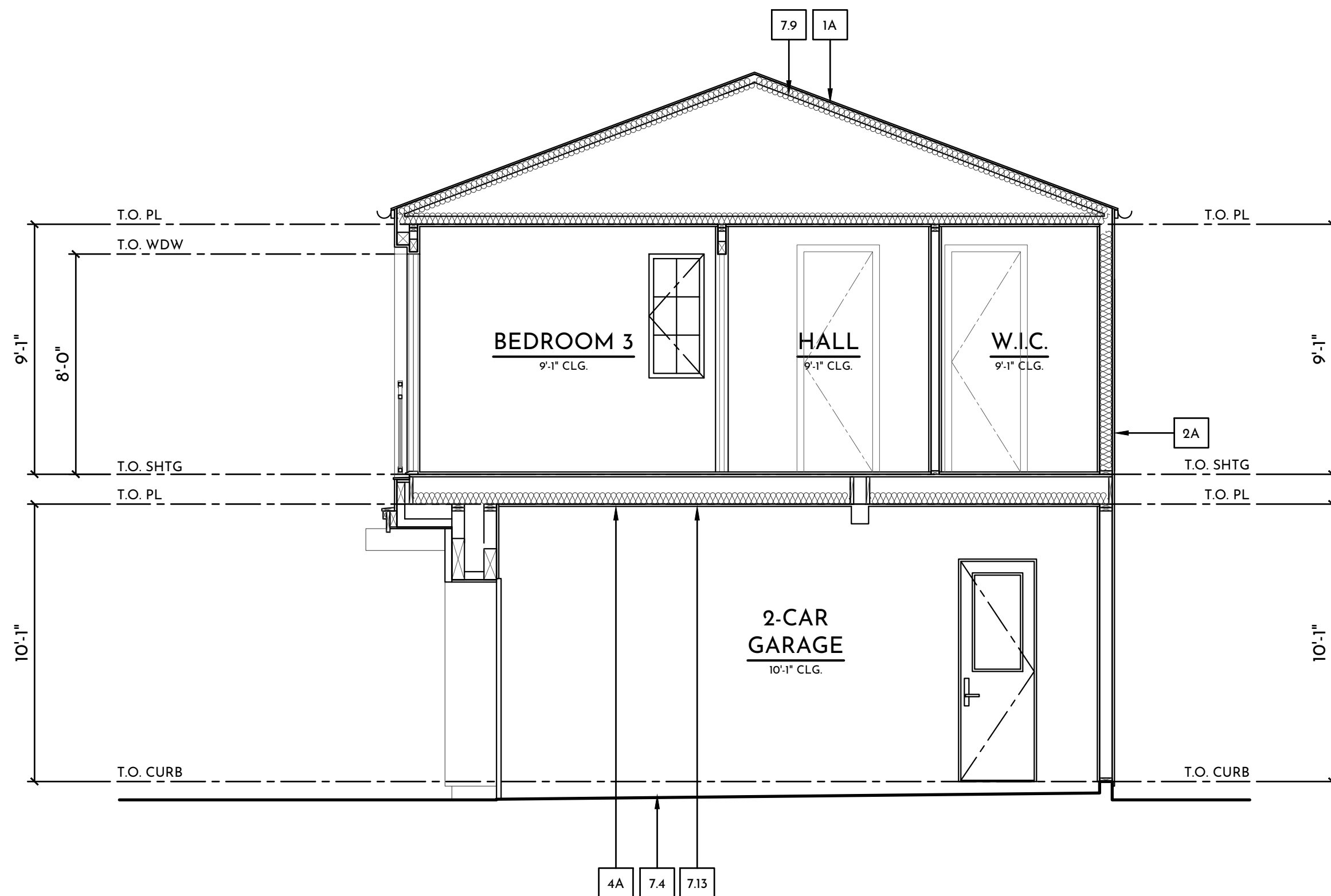
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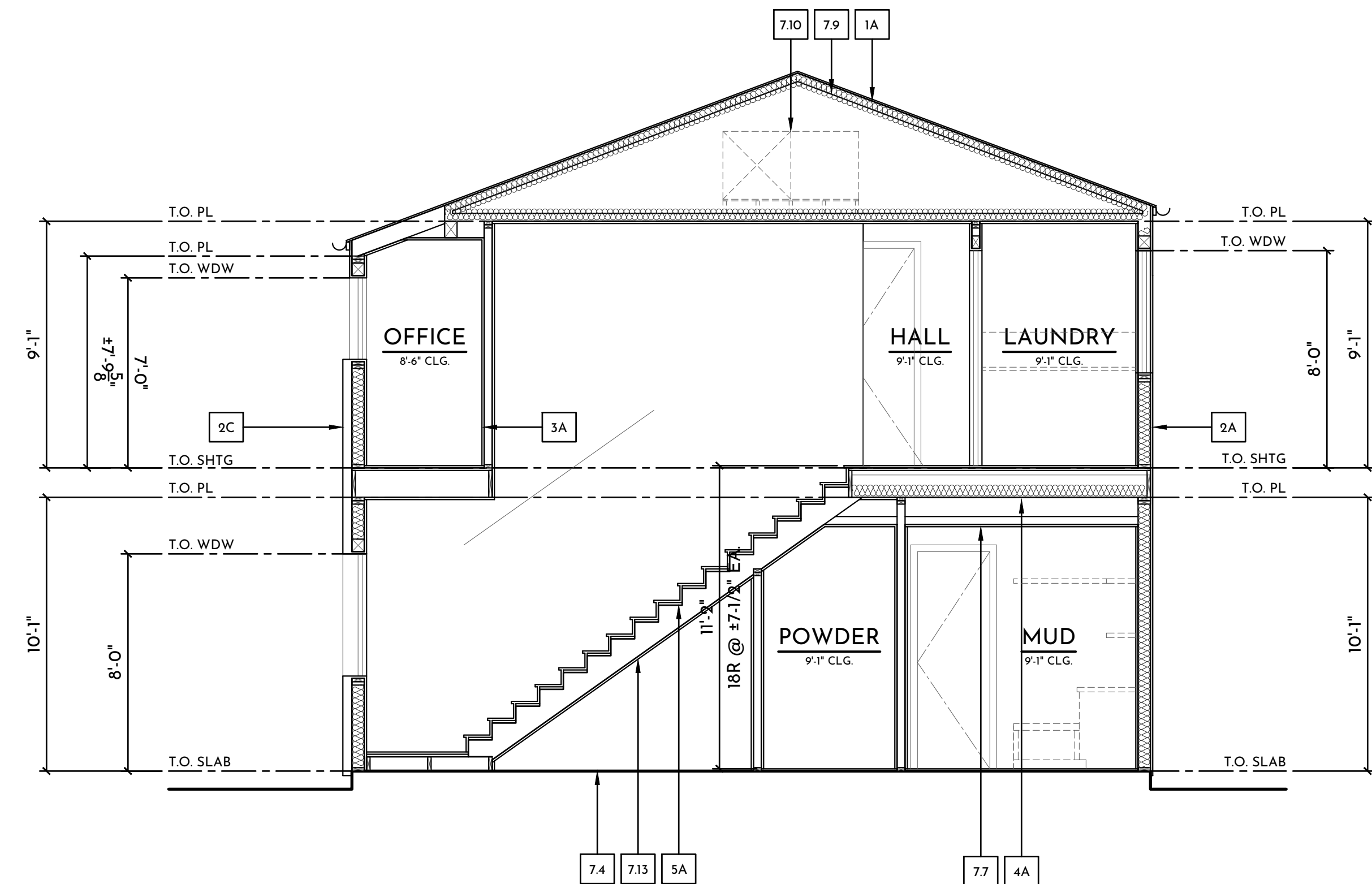
SECTION A-A
ELDEN

SCALE: 1/4" = 1'-0"



SECTION C-C

SCALE: 1/4" = 1'-0"



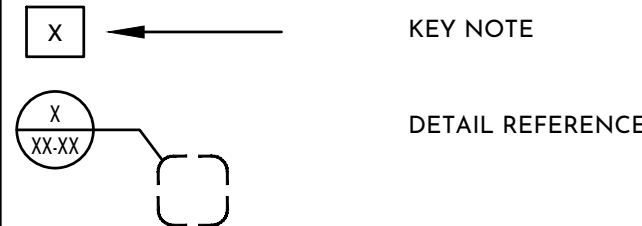
SECTION B-B

SCALE: 1/4" = 1'-0"

GENERAL NOTES

- HORIZONTAL AND VERTICAL DIMENSIONS SHOWN ARE FROM FACE OF STUD OF FACE OF CONCRETE UNLESS NOTED OTHERWISE
- ANY DISCREPANCY FOUND IN THESE DRAWINGS IS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ANY CONSTRUCTION
- FIRST FLOOR DIMENSIONS ARE FROM THE TOP OF HOUSE SLAB
- SECOND FLOOR DIMENSIONS ARE FROM THE TOP OF SUB FLOOR SHEATHING
- REFER TO STRUCTURAL DRAWINGS FOR FRAMING MEMBER SPECIES, GRADES, SIZES, SPACING, CONNECTIONS, ROOF AND FLOOR SHEATHING, SHEAR WALLS AND ADDITIONAL INFORMATION
- FOUNDATION: FOUNDATION IS TO BE A CONCRETE SLAB ON GRADE SYSTEM (U.N.O.) DESIGNED BY OTHERS
- SOLE PLATES: SOLE PLATES SHALL BE PRESSURE TREATED

SYMBOL LEGEND



SECTION NOTES

- 1A. SLOPED ROOF ASSEMBLY:
- ROOFING MATERIAL - PER ROOF PLAN
 - ROOFING UNDERLAYMENT FELT - PER MFR'S SPEC'S
 - ROOF SHEATHING - S.S.D.
 - CALIFORNIA FRAMING (WHERE OCCURS)
 - DESIGNED WOOD TRUSSES OR 2X RAFTERS
 - INSULATION PER ENERGY CALCS
 - 2X WOOD FURRING (WHERE OCCURS)
 - GYPSUM BOARD AT CEILING (OR FINISH PER INT. SPEC)

1B. SLOPED EXPOSED RAFTERS ROOF ASSEMBLY:

- ROOFING MATERIAL - PER ROOF PLAN
- ROOFING UNDERLAYMENT FELT - PER MFR'S SPEC'S
- 2X T&G STARTER BOARD / ROOF SHEATHING - S.S.D.
- EXPOSED WOOD 4x6 RAFTERS, CONVENTIONALLY FRAMED

2A. EXTERIOR WALL ASSEMBLY:

- 7/8" EXTERIOR STUCCO - 3 COAT (SMOOTH)
- WIRE LATH OVER MIN. TWO LAYERS GRADE 'D' 60 MINUTE BUILDING PAPER WHERE PLYWOOD SHEATHING OCCURS
- PLYWOOD SHEAR PANELS (WHERE OCCURS)
- 2X WALL FRAMING - S.S.D.
- INSULATION PER ENERGY CALCS
- GYPSUM WALLBOARD (OR FINISH PER INT. SPEC)

2B. EXTERIOR WALL ASSEMBLY:

- CEMENTITIOUS/FIBER-ASH WOOD COMP. SIDING - TYPE PER ELEV.
- TWO LAYERS GRADE 'D' BUILDING WHERE PLYWOOD SHEATHING OCCURS
- PLYWOOD SHEAR PANELS (WHERE OCCURS)
- 2X WALL FRAMING - S.S.D.
- INSULATION PER ENERGY CALCS
- GYPSUM WALLBOARD (OR FINISH PER INT. SPEC)

2C. EXTERIOR WALL ASSEMBLY:

- ADHERED STONE VENEER w/ SCRATCH/BROWN COAT
- TWO LAYERS GRADE 'D' BUILDING WHERE PLYWOOD SHEATHING OCCURS
- PLYWOOD SHEAR PANELS (WHERE OCCURS)
- 2X WALL FRAMING - S.S.D.
- INSULATION PER ENERGY CALCS
- GYPSUM WALLBOARD (OR FINISH PER INT. SPEC)

3A. INTERIOR WALL ASSEMBLY (NON-RATED):

- GYPSUM WALLBOARD (OR FINISH PER INT. SPEC)
- 2X WALL FRAMING - S.S.D.
- GYPSUM WALLBOARD (OR FINISH PER INT. SPEC)

4A. FLOOR/CEILING ASSEMBLY:

- FLOOR FINISH - SEE PLANS
- SUBFLOOR SHEATHING - S.S.D.
- FLOOR JOISTS - S.S.D.
- 2X WOOD / LIGHT GAUGE METAL FURRING(WHERE OCCURS)
- GYPSUM BOARD (OR FINISH PER INT. SPEC.) (TYPE "X" WHERE OCCURS)

5A. TYPICAL STAIR ASSEMBLY:

- CONTINUOUS HANDRAIL (SECURELY FASTENED TO WALL WHERE SHOWN) BETWEEN 34" MIN - 38" MAX. ABOVE NOSING OF TREAD
- FINISH MATERIAL PER INT. SPEC.
- 1-1/8" THICK TREADS (U.N.O.)
- 3/4" THICK RISERS (U.N.O.)
- MIN. (3) 2 x 14 STRINGERS AT STRAIGHT RUNS
- 2 x 6 JOISTS @ 16" O.C. MIN. AT LANDING - S.S.D.
- POSITIVE CONNECTION TO FLOOR - S.S.D.

71. EXPOSED WOOD RAFTER TAILS - S.S.D

72. EXPOSED WOOD FASCIA - S.S.D

73. T&G WOOD STARTER BOARDS - SEE NOTE FOR SIZE

74. SLAB FOUNDATION - S.S.D.

75. CEMENT BOARD SOFFIT

76. GYPSUM BOARD SOFFIT

77. FURRED CEILING

78. DECORATIVE WOOD BEAM (PAINT GRADE)

79. INSULATION PER ENERGY CALCS

710. HEAT PUMP AIR UNIT IN ATTIC. PROVIDE FUEL, GAS, LIGHT, AND SWITCH.

711. TRUSS MANUFACTURER TO PROVIDE REQUIRED CLEARANCES.

711. DECK/BALCONY GUARD RAIL, +42" A.F.F.

713. PROVIDE 5/8" TYPE 'X' GYP. BOARD AT GARAGE CEILINGS w/ HABITABLE ROOMS ABOVE AND AT UNDERSIDE OF STAIRS (PER CRC TABLE R302.6)

ENERGY REQUIREMENTS

NOTE: VERIFY WITH ENERGY COMPLIANCE CALCULATIONS.

EXTERIOR WALLS (2x6) - R-21

GLAZING - SEE SCHEDULES

FLOOR (OVER GARAGE) - R-19

ROOF (ATTIC) - R-38

CEILING (BELOW ATTIC) - R-19

REFER TO EN-1, EN-4 SHEETS FOR MIN. GLAZING U-FACTOR & SHGC FOR WINDOWS AND DOORS.



SOUTHWEST ELEVATION

SCALE: 1/4" = 1'-0"



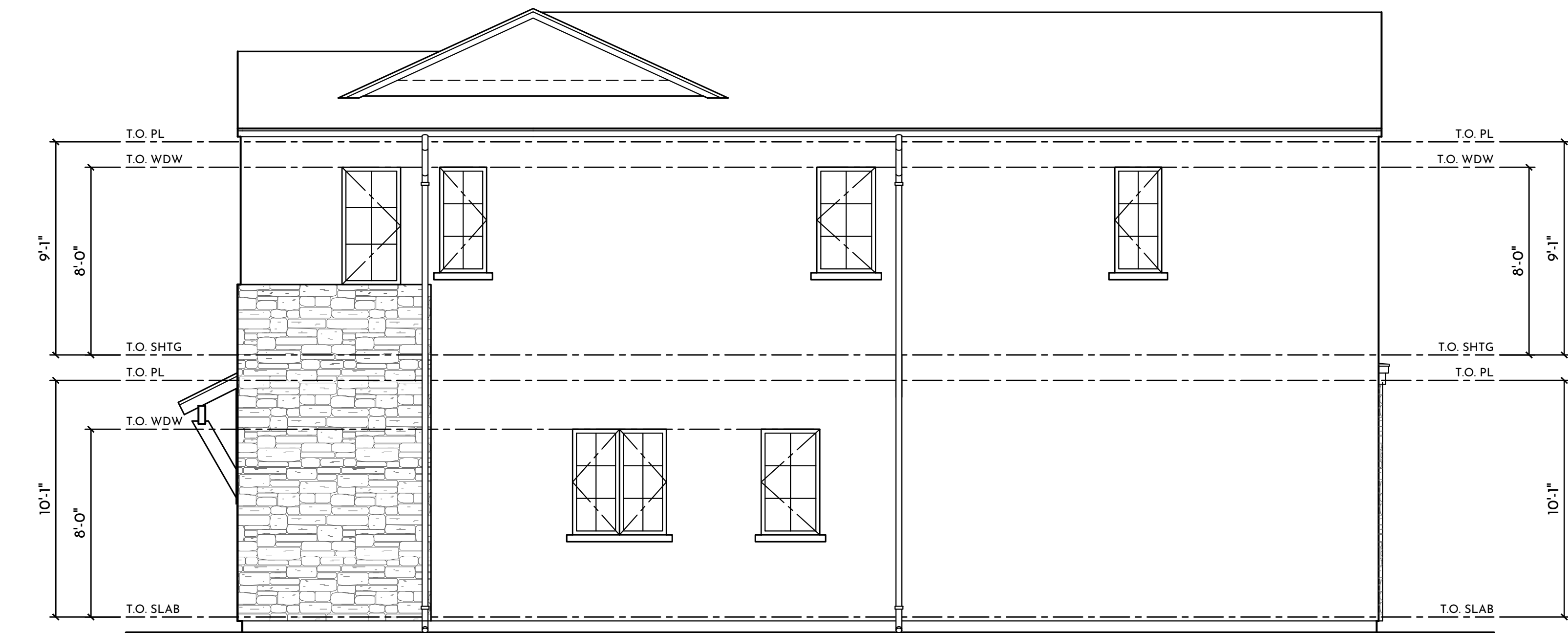
NORTHWEST ELEVATION

SCALE: 1/4" = 1'-0"



NORTHEAST ELEVATION

SCALE: 1/4" = 1'-0"



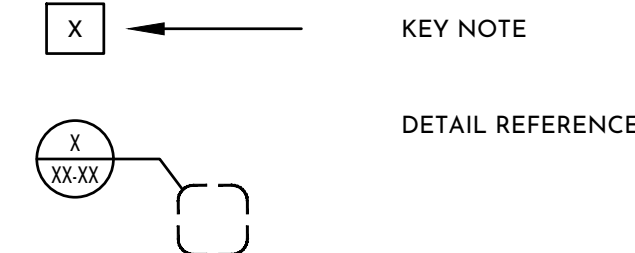
SOUTHEAST ELEVATION

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SYMBOL LEGEND



ELEVATION NOTES

0. SPATIAL
 - 0.01 LINE OF WALL BEYOND
 - 0.02 WALL OPENING
2. SITE
 - 2.01 SITE WALL | GATE (SEE LANDSCAPE)
 - 2.02 FINISH GRADE
3. CONCRETE
 - 3.01 CONCRETE SLAB ON GRADE (SEE STRUCTURAL)
 - 3.02 CONCRETE/HARDSCAPE STOOP (SEE LANDSCAPE)
4. MASONRY
 - 4.01 THIN STONE VENEER (ADHERED) w/ MORTAR WASH (PLAN 1 - WILDFLOWER BY CREATIVE MINES)
 - 4.02 PRECAST CONCRETE TRIM / HEADER (FOAM TRIM w/ SMOOTH PLASTER FINISH ALTERNATE)

5. METALS

- 5.01 C.R. METAL STUCCO WEEP SCREED, TYP.
- 5.02 C.R. METAL GUTTER, TYP.
- 5.03 C.R. METAL DOWNSPOUT, TIE INTO SITE DRAINAGE - PER CIVIL
- 5.04 C.R. METAL FLASHING AT INTERSECTION
- 5.05 C.R. METAL FLASHING AT TOP OF ALL EXPOSED WOOD (TRIM INCLUDED)
- 5.06 LISTED C.R. METAL HORIZONTAL VENT TERMINATION CAP FOR GAS FIREPLACE, PER MANUF. SPECS. SET BOTTOM OF CAP MIN. 8'-0" A.F.F.
- 5.07 C.R. METAL GUARD AND RAILING SYSTEM, + 42" A.F.F.
- 5.08 STANDING SEAM METAL ROOF
- 5.09 RECESSED METAL LOUVER VENT (FAUX GABLE DETAIL)

6. WOOD

- 6.01 WOOD FASCIA
- 6.02 WOOD BARGE
- 6.03 WOOD RAFTER TAILS
- 6.04 2X WOOD TRIM
- 6.05 WOOD POST
- 6.06 SHAPED WOOD BEAM
- 6.07 WOOD CORBEL
- 6.08 WOOD GUARD AND RAILING SYSTEM, +42" A.F.F.
- 6.09 SHAPED WOOD KNEE BRACE | KICKER
- 6.10 WOOD TRIM BAND

7. EXTERIOR FINISHES

- 7.01 ROOFING MATERIAL (SEE ROOF PLANS)
- 7.02 3-COAT EXTERIOR PLASTER/STUCCO (SMOOTH FINISH)
- 7.03 PLASTER CONTROL JOINT
- 7.04 VERTICAL SIDING - 10X NICKEL-GAP (TRUEXTERIOR SIDING OR APPROVED EQUAL)
- 7.05 HORIZONTAL SIDING - 8X COVE | DUTCH LAP SIDING (TRUEXTERIOR SIDING OR APPROVED EQUAL)
- 7.06 WOOD (COMPOSITE ALTERNATE) SHUTTER

8. OPENINGS

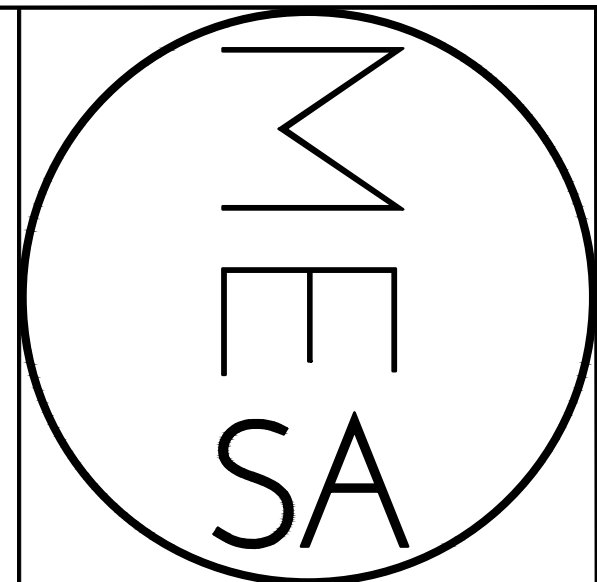
- 8.01 ENTRY DOOR REFER TO DOOR SCHEDULE
- 8.02 ACCESS DOOR REFER TO DOOR SCHEDULE
- 8.03 SECTIONAL ROLL-UP GARAGE DOOR - WOOD GARAGE DOOR (STAIN GRADE)

15. MECHANICAL

- 15.01 A/C CONDENSER LOCATION

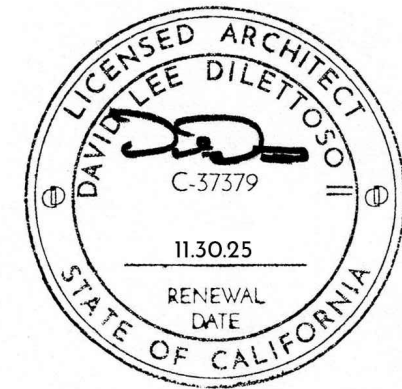
16. ELECTRICAL

- 16.01 LIGHT FIXTURE - CARSON GOOSENECK WALL SCONCE - 12" DOME - BLACK - 16" WALL PROJECTION BY REJUVENATION OR APPROVED EQUAL SEE UTILITY PLAN FOR HEIGHT
- 16.02 LIGHT FIXTURE 1 - FRESNO LARGE 3 WALL LANTERN - AGED IRON - BY VISUAL COMFORT OR APPROVED EQUAL SEE UTILITY PLAN FOR HEIGHT
- 16.03 LIGHT FIXTURE 2 - HALLE LARGE WALL LANTERN - AGED IRON - BY VISUAL COMFORT OR APPROVED EQUAL SEE UTILITY PLAN FOR HEIGHT
- 16.04 ADDRESS SIGN, +66 AFF (U.N.O)



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WWW.MESASTUDIO.DESIGN
949.204.0076

STAMP:



2280 ELDEN AVE. DEV.

24016

152 ALBERT PLACE LLC.

PLANNING APP - PDES-24-0013

BUILDING DEPARTMENT SUBMITTAL:

1ST SUBMITTAL -
2ND SUBMITTAL -
3RD SUBMITTAL -
4TH SUBMITTAL -

REVISIONS:

SHEET TITLE:

ELEVATIONS
PLAN 2

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SHEET NUMBER:

A2-5.1

PLOT DATE:

4/19/2025