



CITY OF COSTA MESA

P.O. BOX 1200 • 77 FAIR DRIVE • CALIFORNIA 92628-1200

ECONOMIC AND DEVELOPMENT SERVICES DEPARTMENT

May 28, 2024

Tyler Hertzke / Roland Barrera
814 West 19th Street
Costa Mesa, CA 92627

RE: OUTDOOR DINING APPLICATION (PODA-24-0001) & MINOR CONDITIONAL USE PERMIT (PMCP-24-0008) FOR WESTEND LOCATED AT 814 WEST 19TH STREET

To Whom It May Concern:

The Zoning Administrator for the City of Costa Mesa has approved the above-referenced application based on the attached report, findings of fact, and subject to the conditions of approval. Except where deviations have been specifically granted, this project is otherwise subject to applicable requirements of the City of Costa Mesa.

This decision will become final at 5:00 p.m. on June 4, 2024 unless it is appealed by an affected party by filing the necessary application and paying the appropriate fee, or is called up for review by a member of the City Council.

Please contact the project planner, Justin Arios, at 714-754-5667 or by email at justin.arios@costamesaca.gov with any questions.

Sincerely,

Scott Drapkin
Assistant Director of Development Services / Zoning Administrator

Attachments: Report, Applicant Letter, and Approved Conceptual Site Plan

cc: Engineering
Fire Marshal
Monica Chang
18169 Santa Laurretta Circle
Fountain Valley, CA 92708

PLANNING APPLICATION SUMMARY

Location	814 West 19th Street	Application Number	PODA-24-0001 & PMCP-24-0008
Request	Zoning Applications PODA-24-0001 and PMCP-24-0008 request approvals of a Minor Conditional Use Permit and Outdoor Dining Permit to expand the existing Westend Restaurant's public service area outdoors within the front of the building and parking lot area, to allow sales of alcohol for onsite consumption after 11 p.m. and allow live entertainment and dancing more than 200 feet from a residential zone.		
CEQA	Exempt per CEQA Guidelines Section 15303 (New Construction or Conversion of Small Structures)		
Final Action	Zoning Administrator		

SUBJECT PROPERTY

Zoning District	C1 (Local Business District)
General Plan Land Use Designation	General Commercial
Lot Dimensions	35 FT x 107.5 FT
Lot Area	3,762.5 SF
List of Approved Plans / Land Use Entitlements	19 West Urban Plan
Existing Development	An existing 1,034-square-foot building with 101-square-foot front patio area and 296-square-foot rear patio occupied by a food and beverage establishment (Westend).

SURROUNDING PROPERTY

	Zoning District	General Plan Land Use Designation	Existing Development
North	MG (General Industrial)	Light Industrial	Industrial Uses
East	C1 (Local Business)	General Commercial	Commercial Uses
South (Across W. 19 th Street)	C1 (Local Business)	General Commercial	Commercial Uses
West	C1 (Local Business)	General Commercial	Commercial Uses

Development Standard	Required / Allowed C1 Zone	Provided / Proposed
Building Height	2 stories / 30'	1 story / 16'
Setbacks		
Front	20'	10' 2" ¹
Side (left / right)	0' / 15'	0' / 12' ²
Rear	0'	30' 5"
Parking	4 spaces ³	1 spaces ⁴ 18 spaces (with private off-site agreement)

- 1 Existing, legal nonconforming front setback.
- 2 See staff report discussion regarding proposed outdoor dining area covers/structures encroachment [CMMC Section 13-48(a)(1)(k)].
- 3 Parking at 4 per 1,000 sq. ft. ratio for 1,034 sq. ft. building (outdoor dining area does not require additional parking (see Parking discussion below)
- 4 Proposed parking includes a bike rack credit of one space. Parking for the commercial use is legal non-conforming.

BACKGROUND

The project site is located along the north side of West 19th Street between Federal Avenue and Placentia Avenue. The property is zoned C1 (Local Business District) and has a General Plan land use designation of "General Commercial". The property is located in the City's "19 West Urban Plan" area; however, since a mixed-use project is not being proposed, the Urban Plan provisions are not applicable.

Physical on-site improvements include an existing 1,034-square-foot building with an approximate 175 square-foot front courtyard area. The front courtyard area is not currently approved for customer dining services. The property obtains access from a narrow on-site driveway that connects a three-car surface parking lot located at the rear of the property with West 19th Street. The project site is surrounded by commercially zoned properties to the south (across West 19th Street), east and west; and by industrially zoned properties to the north (along Placentia Avenue). Existing eating and drinking establishments are located on both sides of the subject property.

The existing use, Westend, was approved administratively with a business license to replace an existing food and beverage serving establishment in 2017. The use prior to Westend was "Big Belly Deli". The business license for Westend was originally approved as a coffee/café eatery with beer and wine, as well as antiques/retail. The approved hours of operation are from 6 a.m. to 11 p.m., with a maximum of 300 square feet of public seating area.

ANALYSIS

On January 16, 2024, the City Council determined that outdoor dining promotes private and public economic interests, creates a community oriented and pedestrian friendly dining environment, and adopted ordinance modifications that encourage existing and new food and beverage serving establishments to offer outdoor dining.

The proposed project is to permit outdoor dining and construct a new outdoor patio structure, expand the hours of operation for service of alcoholic beverages, and to allow for live entertainment at an existing food and beverage establishment. The proposed hours of operation are Mondays through Fridays, 5 PM to 2 AM and Saturdays and Sundays from 2 PM to 2 AM.

As indicated above, the project is located in the C1 Zoning District. Pursuant to the CMMC, the C1 "District is intended to meet the local business needs of the community by providing a wide range of goods and services in a variety of locations throughout the City." Pursuant to CMMC Table 13-30, establishments where food and beverages are served are subject to Article 4 of the City's Zoning Code; Article 4 is applicable to the proposed project in that the following operational changes are proposed to an existing restaurant:

1. To expand the serving hours of alcoholic beverages for on-site consumption between 11 p.m. and 2 a.m.;
2. To provide live entertainment;

3. Alterations resulting in a cumulative increase of 100 square feet or more in the floor area devoted to customer service, e.g., food and/or beverage service or entertainment, during the lifetime of the establishment; and
4. The construction of new, or additional outdoor dining areas.

Minor Conditional Use Permit Required

The project requires a Minor Conditional Use Permit (MCUP) for the following aspects of the proposed project:

- Establishing an outdoor dining area within an existing parking area that results in more than a 50-percent increase of public indoor area [CMMC Table 13-47(b)];
- The removal of more than 25% of existing required parking [CMMC Table 13-47(b)];
- For an outdoor dining area cover/structure to encroach into a setback area [CMMC Section 13-48(a)(1)(k)];
- For sale of alcoholic beverages for on-site consumption after 11 p.m. located outside 200 feet of a residential zone [CMMC Table 13-47(b)]; and
- To provide live entertainment after 11 p.m. located outside 200 feet of a residential zone [CMMC Table 13-47(b)];

Pursuant to the CMMC, the approval of an MCUP requires that the Zoning Administrator make findings related to neighborhood compatibility, health and safety, and land use compatibility. Proposed uses subject to MCUPs will generally have site-specific conditions of approval to ensure the required findings can be met. A detailed project analysis regarding MCUP findings is provided below in this report, and site-specific conditions of approval are also included.

Proposed Outdoor Dining

In accordance with CMMC Table 13-47(b), a Minor Conditional Use Permit is required in conjunction with the proposed outdoor dining in that the project proposes the expansion of more than 50% of indoor public area outdoors in a parking/setback area, the removal of more than 25% of existing required parking (two of three existing parking spaces to be removed), and the encroachment of the outdoor dining structure into the a required side-setback.

As described in the applicant letter and shown on the project plans, the applicant is proposing the construction of a new 720-square-foot rear patio outdoor dining area, with 343 square feet of public serving area. The applicant is proposing generally an open structure with an angled roof (maximum height of 13 feet). A 16-foot wall is also proposed on the west side of the structure, an approximate seven-foot high partial wall is proposed on the east side of the structure and the rear of outdoor dining structure stands approximately 13-foot high (mostly consisting of relatively open air metal mesh panels). Access to the structure is obtained via the interior of the restaurant and two outdoor doors located at the rear of the patio structure.

The required side setback for the C1 zone is 15 feet on one side and a zero setback is allowed on the opposite side. The applicant is proposing the rear patio structure with a zero setback on the west side of the property and a 12-foot side setback on the east side of the property. Although the proposed rear outdoor dining structure would encroach into the required 15-foot C1 zone side setback area (by approximately three feet), pursuant to CMMC Section 13-48(a)(1)(k), outdoor dining area covers/structures may encroach into a setback area with approval of a minor conditional use permit.

The applicant is also requesting approval to provide outdoor dining in the front of the property located within an existing fenced-in patio courtyard area. As proposed, the applicant would provide 80 square feet of public serving area in this location. Pursuant to CMMC Table 13-47(b), an outdoor area proposed in an existing courtyard area is permitted by right.

Live Entertainment and Operation Hours After 11 PM

Pursuant to the City of Costa Mesa Municipal Code (CMMC) Table 13-47(a), the project requires approval of an MCUP for the provision of live entertainment and the sale of alcoholic beverages for on-site consumption after 11 p.m. The proposed hours of operation are Mondays through Fridays, 5 PM to 2 AM and Saturdays and Sundays from 2 PM to 2 AM. Live entertainment is proposed from 11 PM to closure. As described in the applicant letter, the applicant is proposing to offer a multitude of live entertainment venues. The proposed live entertainment includes various genres of musical performances, open mic, DJ, comedy, dance performances and live art entertainment. The proposed areas of entertainment include the interior of the building and the proposed rear patio area. As part of the proposed live entertainment, the applicant submitted a sound plan to ensure the use operates without impacting the surrounding developments and businesses. This includes installation of soundproofing and regular noise level readings to prevent off-site noise impacts. As conditioned, the project is required to operate in compliance with the City's Noise Ordinance.

The applicant is also proposing on-site security consisting of three security guards with one of the three security staff stationed at the front of the restaurant checking for age identification. The three security staff will be present from 9 PM to closure.

Parking

The project does not include an expansion of interior floor area; however, additional customer service areas are proposed with the proposed outdoor dining areas into the rear parking lot and front courtyard. Pursuant to the City's Parking Ordinance, Section 13-89, "outdoor seating areas shall not be included in the floor area calculations for the purposes of determining the required parking". Therefore, the project does not require additional parking. In addition, the CMMC Table 13-47(b) allows with the approval of a Minor Conditional Use Permit for the removal of required parking for the development of outdoor dining areas. The applicant is proposing the removal of two of the three existing parking spaces in conjunction with the development of the rear outdoor dining area. To compensate for the loss of these two parking spaces, the applicant has a private

agreement to utilize 17 parking spaces with the adjacent property owners of an industrial property located at 1945 Placentia Avenue. These spaces are available in that the restaurant general operates during offset hours of the existing industrial use.

Review Criteria

All planning applications are reviewed pursuant to CMMC Section 13-29(e) to ensure a proposal is compatible with the surrounding area, and in compliance with applicable zoning standards and General Plan policies. Additionally, the Zoning Administrator must make specific findings pursuant to the Zoning Code for the specific planning applications.

The following are the applicable Review Criteria pursuant to CMMC Zoning Code Section 13-29(e):

(1) Compatible and harmonious relationship between the proposed building and site development, and use(s), and the building and site developments, and uses that exist or have been approved for the general neighborhood.

The proposed use is compatible and harmonious with developments in the same general area and would not be materially detrimental to other properties within the area. The use is located along a commercial corridor developed with other similar food and beverage establishments, operating under similar hours, with live entertainment and with outdoor dining. In addition, the use is surrounded by other commercial properties to the east, west and south, and industrial properties to the north. The nearest residential property is located approximately 265 feet from the subject property.

(2) Safety and compatibility of the design of buildings, parking area, landscaping, luminaries and other site features which may include functional aspects of the site development such as automobile and pedestrian circulation.

Safety and compatibility of the design of buildings, parking area, landscaping, luminaries and other site features which may include functional aspects of the site development such as automobile and pedestrian circulation have been considered. The proposed development complies with all development standards and other requirements, such as ADA requirements. The applicant also has a private agreement for off-site parking at an adjacent industrial property. Proposed outdoor dining areas have been conditioned to comply with the development standards for all outdoor dining areas per CMMC Section 13-48(a)(1). The applicant is also proposing three security guards.

(3) Compliance with any performance standards as prescribed in the Zoning Code.

The proposed outdoor dining area in an existing parking lot, removal of two parking spaces, live entertainment and alcoholic beverages consumption after 11 p.m., and an outdoor dining structure to encroach into a setback is allowed subject to the approval

of an MCUP. The proposed project, as conditioned, complies with applicable development standards and will continue to meet those standards and requirements. Additionally, the proposed outdoor dining areas have been specifically conditioned to comply with the outdoor dining development standards pursuant to CMMC Section 13-48(a)(1), and the City's noise Ordinance provisions.

(4) Consistency with the general plan and any applicable specific plan.

The proposed project is in conformance with the City of Costa Mesa General Plan. The Costa Mesa General Plan establishes the long-range planning and policy direction that guides change and preserves the qualities that define the community. The 2015-2035 General Plan sets forth the vision for Costa Mesa. This vision focuses on protecting and enhancing Costa Mesa's diverse residential neighborhoods, accommodating an array of businesses that both serve local needs and attract regional and international spending, and continuing to provide cultural, educational, social, and recreational amenities that contribute to the quality of life in the community. Over the long term, General Plan implementation will ensure that development decisions and improvements to public and private infrastructure are consistent with the goals, objectives, and policies contained in this Plan. The following analysis evaluates proposed project consistency with applicable policies and objectives of the 2015-2035 General Plan:

Policy LU-1.1: *Provide for the development of a mix and balance of housing opportunities, commercial goods and services, and employment opportunities in consideration of the needs of the business and residential segments of the community.*

Consistency: The proposed project upholds the balance of land uses satisfying the needs of the community as it pertains to commercial goods and services, and employment opportunities by providing for outdoor dining which creates a community-oriented and pedestrian friendly dining environment.

Policy LU-6.7: *Encourage new and retain existing businesses that provide local shopping and services.*

Consistency: The proposed project would encourage the retention of an existing established restaurant within the City, thus encouraging the long-term productivity and viability of the community's economic base. The proposed project would expand an existing local land use, which contributes to the City's tax base and ultimately preserves the City's long-term fiscal health.

(5) The planning application is for a project-specific case and is not to be construed to be setting a precedent for future development.

This planning application allows for an existing restaurant to provide additional outdoor dining area, provide live entertainment and expand hours of operation. The review of this application and any conditions applied thereto are relevant to the specific situs and circumstances involved at this point-in-time. Because of these factors, the

determination and any applied conditions are unique and should not be construed to be precedent setting for future applications.

FINDINGS

- A. The proposed project complies with Title 13, Section 13-29(g)(2), Minor Conditional Use Permit "findings," based on the following:

Finding: *The proposed development or use is substantially compatible with developments in the same general area and would not be materially detrimental to other properties within the area.*

Facts in Support of Findings: The proposed use is compatible and harmonious with developments in the same general area and would not be materially detrimental to other properties within the area. The use is located along a commercial corridor developed with other similar food and beverage establishments, operating under similar hours, with live entertainment and with outdoor dining. In addition, the use is surrounded by other commercial properties to the east, west and south, and industrial properties to the north. The nearest residential property is located approximately 265 feet from the subject property. The project is conditioned to operate in compliance with the City's Noise Ordinance. The applicant also has an agreement with an adjacent industrial property to provide parking.

Finding: *Granting the conditional use permit or minor conditional use permit will not be materially detrimental to the health, safety and general welfare of the public or otherwise injurious to property or improvements within the immediate neighborhood.*

Facts in Support of Findings: The proposed development complies with all development standards and other requirements, such as ADA requirements. Compliance with the applicable Building, Fire Safety and Health Codes will also ensure that the project is not materially detrimental to the health, safety and general welfare of the public or otherwise injurious to property or improvements within the immediate neighborhood. Additionally, the proposed outdoor dining areas have been conditioned to comply with the development standards for all outdoor dining areas per CMMC Section 13-48(a)(1) and the City's noise ordinance. On-site security and additional parking will also be provided.

Finding: *Granting the conditional use permit or minor conditional use permit will not allow a use, density or intensity which is not in accordance with the general plan designation and any applicable specific plan for the property.*

Facts in Support of Findings: Granting the minor conditional use permit will not allow a use, density or intensity that is not in accordance with the General Plan designation. The site has a General Plan designation of General Commercial, which is intended to permit a wide range of commercial uses that serve both local and regional needs. Appropriate uses include smaller retail stores, theaters,

restaurants, hotels and motels, and automobile sales and service establishments. As such, the proposed restaurant operations and use are anticipated by General Plan designation. Lastly, the City Council recently determined that outdoor dining promotes private and public economic interests, creates a community oriented and pedestrian friendly dining environment, and adopted ordinance modifications that encourage existing and new food and beverage serving establishments to offer outdoor dining.

- B. The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303 (Class 3), New Construction and Conversion of Small Structures. This project site contains an existing commercial building that has been used for a restaurant use, and the application does not propose a change in use. The project is consistent with the applicable General Plan land use designation and policies as well as with the applicable zoning designation and regulations. Furthermore, none of the exceptions that bar the application of a categorical exemption pursuant to CEQA Guidelines Section 15300.2 applies. Specifically, the project would not result in a significant cumulative impact; would not have a significant effect on the environment due to unusual circumstances; would not result in damage to scenic resources; is not located on a hazardous site or location; and would not impact any historic resources.
- C. The project is exempt from Chapter XII, Article 3, Transportation System Management, of Title 13 of the Costa Mesa Municipal Code.

CONDITIONS OF APPROVAL (PODA-24-0001 & PMCP-24-0008)

- Plng. 1. The use shall be limited to the type of operation described in the staff report. Any change in the operational characteristics shall be subject to Planning Division review and may require an amendment to the Minor Conditional Use Permit, subject to either Zoning Administrator or Planning Commission approval, depending on the nature of the proposed change. The applicant is reminded that Code allows the Planning Commission to modify or revoke any planning application based on findings related to public nuisance and/or noncompliance with conditions of approval [Title 13, Section 13-29(o)].
- 2. The applicant shall contact the Planning Division to arrange a Planning inspection of the site. This inspection is to confirm that the conditions of approval and code requirements have been satisfied.
- 3. Any change in the operational characteristics of the use shall be subject to Planning Division review and may require an amendment to the minor conditional use permit, subject to either Zoning Administrator or Planning Commission approval, depending on the nature of the proposed change.
- 4. Outdoor dining areas shall be maintained in good condition, kept clean and shall not result in conditions which are harmful or injurious to the public health, safety and welfare.

5. Outdoor dining areas shall be removed and the areas returned to previous conditions if the corresponding food and beverage establishment is replaced by a non-food and beverage establishment, or if the outdoor dining area is no longer in use.
6. Outdoor dining areas and their corresponding restaurant shall comply with all applicable Building and Fire Safety code requirements, circulation standards, and aesthetic development standards outlined in Section 13-48 at the time of their construction.
7. All outdoor dining areas shall observe State and local health guidelines for restaurants.
8. Any service of alcoholic beverages in outdoor dining areas shall be subject to approval by the California Department of Alcoholic Beverage Control and shall adhere to all requirements and standards implemented by said State agency.
9. All proposed outdoor dining structures and improvements shall be subject to Fire and Building Department approval.
10. Noise concerns shall be addressed in a timely manner pursuant to Title 13, Chapter XIII of the Costa Mesa Municipal Code. A contact phone number shall be posted at the establishment's entrance and outdoor dining area so any noise concerns can be reported to the business operator. Outdoor dining areas shall be subject to review by authorized City officials to ensure that noise complaints and/or potential noise ordinance violations are addressed. If necessary, modifications of the operating characteristics of outdoor dining areas may be required. If any noise complaints and/or noise ordinance violations are not adequately addressed, approvals for outdoor dining areas may be revoked at the discretion of the appropriate review authority.
11. Live entertainment shall be permitted as described in the staff report. If the live entertainment creates off-site noise and/or other impacts, and complaints are received, the City may require that the live entertainment either be limited to the inside of the restaurant or a reduction of the hours of in live entertainment is provided. A noise study with structural and non-structural noise mitigations may also be required. The noise study will be paid by the restaurant operator under the administration of the City.
12. All sales and service staff (within 90 days of hire) shall complete Responsible Beverage Service (RBS) training with a provider approved by the California Department of Alcoholic Beverage Control. A copy of the training certificates shall be kept on premises and presented to any authorized City official upon request.
13. On-site security shall be provided as described in the applicant letter, including:
 - Three security guards with one of the three security staff stationed at the front of the restaurant checking for age identification.The operator shall be required to provide additional on-site security if requested by the Police Department, or by the Director of Economic

- and Development Services Department, or if determined by the restaurant management as necessary for restaurant operations.
14. Landscaping shall be installed around outdoor dining areas to the greatest extent possible.
 15. Outdoor dining areas shall not result in any customer parking offsite, (including in any adjacent commercial property parking areas, unless authorized by both property owners), with the exception of available public parking. Customer parking shall not park in adjacent residential areas or on residential streets. If parking shortages or other parking-related problems arise, the business operator shall institute appropriate operational measures necessary to minimize or eliminate the problem in a manner deemed appropriate by the Director of Economic and Development Services or designee, including, but not limited to, reducing operating hours of the business, reducing interior or exterior seating capacities, hiring an additional employee trained in traffic control to monitor parking lot use and assist with customer parking lot circulation, and/or requiring employees to bike, walk or take public transit.

CODE REQUIREMENTS

The following list of State and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa. The applicant is also required to comply with any other applicable State and local laws not provided below.

- PIng. 1. Approval of the planning/zoning application is valid for two years from the effective date of this approval and will expire at the end of that period unless applicant establishes the use by one of the following actions: 1) a building permit has been issued and construction has commenced, and has continued to maintain a valid building permit by making satisfactory progress as determined by the Building Official, 2) a certificate of occupancy has been issued, or 3) the use is established and a business license has been issued. A time extension can be requested no less than 30 days or more than sixty (60) days before the expiration date of the permit and submitted with the appropriate fee for review to the Planning Division. The Director of Development Services may extend the time for an approved permit or approval to be exercised up to 180-days subject to specific findings listed in Title 13, Section 13-29 (k) (6). Only one request for an extension of 180 days may be approved by the Director. Any subsequent extension requests shall be considered by the original approval authority.
2. Hours of construction shall comply with Section 13-279, Title 13, of the Costa Mesa Municipal Code.
 3. Street address shall be visible from the public street. The street address may be displayed on the fascia adjacent to the main entrance

- or on another prominent location. Numerals shall be a minimum twelve (12) inches in height with not less than three-fourth-inch stroke and shall contrast sharply with the background.
4. Any mechanical equipment such as air-conditioning equipment and duct work shall be screened from view in a manner approved by the Planning Division.
 5. Trash enclosure(s) or other acceptable means of trash disposal shall be provided. Design of trash enclosure(s) shall conform to City standards.
 6. Vehicle standing, loading and unloading shall be conducted so as not to interfere with normal use of streets, sidewalks, driveways and on-site parking.
 7. No vehicle loading area shall encroach into a required building setback along a public right-of-way.
 - Bldg. 8. Comply with the requirements of the following adopted codes: 2022 California Residential Code, 2022 California Building Code, 2022 California Electrical Code, 2022 California Mechanical Code, 2022 California Plumbing Code, 2022 California Green Building Standards Code and 2022 California Energy Code (or the applicable adopted, California Residential Code, California Building Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Green Building Standards and California Energy Code at the time of plan submittal or permit issuance) and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa. Requirements for accessibility to sites, facilities, buildings and elements by individuals with disability shall comply with chapter 11B of the 2022 California Building Code.
 9. The conditions of approval and ordinance or code provisions of Outdoor Dining Application PODA-24-0001 & Minor Conditional Use Permit PMCP-24-0008 including subsequent amendments shall be blueprinted on the face of the site plan as part of the plan check submittal package when building permits are necessary.
 10. Plans shall be prepared by a California licensed Architect or Engineer. Plans shall be wet stamped and signed by the licensed Architect or Engineer prior to the issuance of building permits.
 11. Provide a plan to the County of Orange Health Department for review and approval.
 12. Due to added seating the number of plumbing fixtures shall comply with the 2019 California Plumbing Code Section 422.1 and Table 422.1.
 - Fire 13. A complete plan submittal and permit shall be required, in accordance with Building Code Sections CBC 105.1, CBC 105.3, and CBC 107.2.1 through 107.2.8.
 14. Equipment shall comply with California Building and Fire Code requirements, including, but not limited to, the requirement that

- equipment be approved by a recognized testing laboratory for the specific use.
15. Comply with the requirements of the 2022 California Fire Code, including the 2022 Intervening Update and referenced standards as amended by the City of Costa Mesa.
 16. Quarterly Fire & Life Safety Inspections will be conducted by the Community Risk Reduction Division to verify compliance with the approval operation. The applicant will pay for the inspection according to the Additional Required Inspections as adopted in the Fee Schedule.
 17. Annual Fire & Life Safety Inspections will be conducted by the Fire Station Crew for emergency response pre-planning and site access familiarization. The applicant will pay for the inspection according to the adopted Fee Schedule.
 18. All contractors and subcontractors must have valid business licenses to do business in the City of Costa Mesa. Final inspections, final occupancy and utility releases will not be granted until all such licenses have been obtained.
- Bus.
Lic.

LANDLORD'S REQUIRED SUBCONTRACTOR LIST

NOTE: THE FOLLOWING SUBCONTRACTORS ARE REQUIRED BY THE LANDLORD TO BE USED BY THE TENANT G.C. VERIFY ALL REQUIRED LANDLORD SUB-CONTRACTORS WITH LANDLORD PRIOR TO BIDDING PROJECT.

CONCRETE SLAB
Rick Hamm Construction, Inc.
201 W. Carlton Avenue
Orange, CA 92667
Rick Hamm
rick@rickhamm.com
Ph: 714.532.0815
Toll Free: 800.742.4266
Cell: 714.931.8475

STOREFRONT (NO LONGER REQUIRED)
Huntington Glazing
5344 Alhambra Ave.
Los Angeles, CA 90032
Gabriel Velez
gvelez@huntingtonglazing.net
323.353.4431 cell

LOCKSMITH
Tony's Locksmith
429 Avenida de la Estrella
San Clemente, CA 92672
Type: 6 pin Schlage
Eric Smith
eric.s.smith@cox.net
Ph: 949.452.5700
Cell: 949.436.0467

WASTE REMOVAL / DUMPSTER
CRAR
31641 Ortega Highway
San Juan Capistrano, CA 92693
Maria Lazaruk
Ph: 714.372.6288
Toll Free 877.728.0446

ROOFING
Diamond Roofing
34 Indian Pipe
Dove Canyon, CA 92679
Tom Barry
tom@diamondroofing.com
Dir: 949.298.3212
Fax: 949.298.3206
Cell: 949.683.2000

ROOFING
FIRE LIFE SAFETY & FIRE SPRINKLER:
Nutech Fire Alarm & Security
11223 Old River School Rd
Downey, CA 90241
Jesse Hernandez
jhernandez@nutech.com
Dir: 562.948.3473
Fax: 562.948.3474
Cell: 562.307.1743

ABBREVIATIONS

A.B.	ANCHOR BOLT	MAX.	MAXIMUM
A.F.F.	ABOVE FINISH FLOOR	MFG.	MANUFACTURER
&	AND	MIN.	MINIMUM
ALUM.	ALUMINUM	MISC.	MISCELLANEOUS
ARCH	ARCHITECTURAL	M.O.	MASONRY OPENING
@	AT	MTD.	MOUNTED
BLDG.	BUILDING	N.I.C.	NOT IN CONTRACT
B.O.	BOTTOM OF	NO.	NUMBER
BRG.	BEARING	NTS.	NOT TO SCALE
C.	CENTER LINE	O.C.	ON CENTER
CFM.	CUBIC FEET PER MINUTE	O.D.	OUTSIDE DIAMETER
C.J.	CONTROL JOINT	OPNG.	OPENING
CLR.	CLEAR	OPP.	OPPOSITE
CMU.	CONCRETE MASONRY UNITS	O.S.B.	ORIENTED STRAND BOARD
COL.	COLUMN	P.L.F.	POUNDS PER LINEAL FOOT
CONC.	CONCRETE	P.S.I.	POUNDS PER SQUARE INCH
CONT.	CONTINUOUS	RE.	REFER TO, REFERENCE FROM
CYL.	CYLINDER	REINF.	REINFORCING
DN.	DOWN	REQD.	REQUIRED
Ø	DIAMETER	R.O.	ROUGH OPENING
EA.	EACH	SIM.	SIMILAR
ELEV.	ELEVATION	SPECS.	SPECIFICATIONS
E.I.F.S.	EXTERIOR INSULATING FINISH SYSTEM	STL.	STRUCTURAL
FDN.	FOUNDATION	SQ.	SQUARE
F.O.C.	FACE OF CURB / CONCRETE	REF.	REFER TO, REFERENCE FROM
F.O.M.	FACE OF MASONRY	REINFORCING	REQUIRED
FIN.	FINISH	R.O.	ROUGH OPENING
FLR.	FLOOR	T&G.	TONGUE & GROOVE
FT.	FEET	T.O.C.	TOP OF CURB/CONCRETE
FTG.	FOOTING	T.O.D.	TOP OF DRAIN
FR-S		T.E.	TRASH ENCLOSURE
		TYP.	TYPICAL
		VERT.	VERTICAL
GA.	GAUGE	U.D.L.	UNIFORM DISTRIBUTED LOAD
GALV.	GALVANIZED	U.N.O.	UNLESS NOTED OTHERWISE
G.I.	GALVANIZED IRON / STEEL		
G.L.	GLUE LAMINATED STRUCTURE MEMBER		
GYP. BRD.	GYP. BOARD	W.	WITH
H.C.A.	HEADED CONCRETE ANCHOR	W.P.	WEATHERPROOF
H.M.	HOLLOW METAL	W.W.F.	WELDED WIRE FABRIC
HORIZ.	HORIZONTAL		
HR.	HOUR		
HT.	HEIGHT		
H.V./A.C.	HEATING VENTILATION / AIR CONDITIONING		
I.D.	INSIDE DIMENSION		
IN.	INCH		
LBS.	POUNDS		
L.O.W.	LIMIT OF WORK		

Westend Restaurant

814 WEST 19TH STREET
COSTA MESA, CA. 92626

CODE AUTHORITIES

BUILDING CODE	2022 CALIFORNIA BUILDING CODE
PLUMBING CODE	2022 CALIFORNIA PLUMBING CODE
MECHANICAL CODE	2022 CALIFORNIA MECHANICAL CODE
ELECTRICAL CODE	2022 CALIFORNIA ELECTRICAL CODE
FIRE CODE	2022 CALIFORNIA FIRE CODE
HEALTH CODE	2022 CALIFORNIA FOOD CODE
ENERGY CODE	2022 CALIFORNIA ENERGY CODE
ACCESSIBILITY CODE	2022 CAL. GREEN ENERGY CODE REQUIREMENTS ADAAG

SCOPE OF WORK

THIS PROJECT CONSISTS OF A TENANT IMPROVEMENT OF AN EXISTING RESTAURANT. WE WILL BE REMOVING A BACK PATIO OF 250 S.F. AND REPLACING IT WITH A NEW COVERED BACK PATIO OF 651 S.F. WE WILL ALSO BE GETTING THE EXISTING 150 S.F. FRONT PATIO PERMITTED.

REGULATORY AGENCIES

Planning & Zoning Dept.	City of Costa Mesa Planning Division 77 Fair Drive Costa Mesa, Ca. 92626 Contact: Counter Technician Tel: (714) 754-5245
Building Dept.	City of Costa Mesa Building Division 77 Fair Drive Costa Mesa, Ca. 92626 Contact: Counter Technician Tel: (714) 754-5273
Fire Dept.	City of Costa Mesa Fire & Rescue 77 Fair Drive Costa Mesa, Ca. 92626 Contact: Counter Technician Tel: (714) 754-5106

BUILDING CODE & ZONING DATA

1. OCCUPANCY GROUP:	B / A-2
2. ZONE:	COMMERCIAL
3. APN:	115-350-42
4. TRACT NO.	
5. BUILDING TYPE:	WN-B
6. WEST END RESTAURANT AREA:	
FRONT PATIO AREA :	101
INTERIOR AREA :	1,034
REAR PATIO AREA :	720
TOTAL AREA :	1,877
7. MEANS OF EGRESS:	TWO REQUIRED, TWO PROVIDED
8. FIRE SPRINKLERS:	YES
9. SEE SHEET A-0.1 FOR ALL CODE COMPLIANT AND BUILDING INFORMATION	

DRAWING INDEX AND REVISIONS

ARCHITECTURAL DRAWINGS	
T-1	TITLE / PROJECT INFORMATION
SP-1.0	SITE PLAN
A-0.1	EXITING AND OCCUPANCY PLAN
A-1.0	AS-BUILT FLOOR PLAN
A-2.0	AS-BUILT ELEVATIONS
A-3.0	OVER ALL FLOOR PLAN & ENLARGED FLOOR PLANS
A-4.0	REFLECTED CEILING PLAN & ROOF PLAN
A-5.0	ELEVATIONS
A-6.0	SECTIONS AND DETAILS

SPECIAL INSPECTION

DEFERRED SUBMITTALS

ACCESSIBILITY INSPECTED

I AM THE DESIGNER/OWNER IN RESPONSIBLE CHARGE OF THIS TENANT IMPROVEMENT PROJECT. I HAVE INSPECTED THE SITE/PREMISES AND DETERMINED THAT EXISTING CONDITIONS ARE IN FULL COMPLIANCE WITH CURRENT SITE ACCESSIBILITY REQUIREMENTS TO THE EXTENT REQUIRED BY LAW.

SIGNATURE: _____
PRINT NAME: _____
DATE: _____

IF THE BUILDING INSPECTOR DETERMINES NONCOMPLIANCE WITH ANY CURRENT ACCESSIBILITY PROVISIONS OF THE LAW, HE/SHE SHALL REQUIRE SUBMITTAL OF COMPLETE AND DETAILED PLANS TO THE BUILDING DEVELOPMENT REVIEW DIVISION OF THE DEVELOPMENT SERVICES DEPARTMENT FOR FURTHER REVIEW. PLANS MUST CLEARLY SHOW ALL EXISTING NON-COMPLYING CONDITION AFFECTED BY THE REMODEL (INCLUDING SIRE PLAN, FLOOR PLAN, DETAILS, ETC.) AND PROPOSED MODIFICATIONS OF DEFICIENCIES TO MEET CURRENT ACCESSIBILITY PROVISIONS. THE PLANS MUST BE STAMPED BY THE FIELD INSPECTOR PRIOR TO SUBMITTAL FOR PLAN REVIEW.

GRAPHIC SYMBOLS

(1)	DOOR NUMBER
(A)	WINDOW TYPE
(21)	KITCHEN EQUIPMENT NUMBER
(10)	ROOM/SPACE NUMBER
(13)	FURNITURE NUMBER
(3)	MISCELLANEOUS EQUIPMENT NUMBER
(4)	WASHROOM & KITCHEN ACCESSORIES NUMBER
(1)	REFERENCE WALL TYPE
(1)	SECTION/DETAIL
(1)	WALL SECTION
(1)	ELEVATION REFERENCE
(1)	DETAIL REFERENCE
(1)	FLOOR PLAN
(1)	SCALE: 1/4" = 1'-0"
(1)	DRAWING TITLE W/ NORTH
(1)	ELEVATION NOTE
(1)	REVISION NUMBER



PROJECT DIRECTORY

LANDLORD:	Monica Chang 7042 Kearny Dr. Huntington Beach, Ca 92658 Contact: Monica Chang Email: Tel: (714) 357-1858 Fax:	STRUCTURAL:	Shuchi Yaghi Structural Engineering 112 E. Chapman Ave. Suite D Orange, Ca 92866 Contact: Chuck Yaghi Email: yaghi-engineers@live.com Tel: (714) 997-9120 Fax: (714) 744-3676
TENANT:	Westend 814 West 19th street Costa Mesa, Ca 92626 Contact: Roland Barrera Email: barrera.roland@icloud.com Tel: (714) 290-0375	MECHANICAL ELECTRICAL PLUMBING:	RPM Engineers, Inc. 102 Discovery Irvine, Ca 92618 Contact: Raymond Phua Email: rayp@rpmpe.com Tel: (949) 450-1229 ext. 200
ARCHITECT:	J.C. Marvick & Associates, INC. 1827 Capital Street, suite 102 Corona, Ca 92880 Contact: Chuck Marvick Email: jcmarvick@sbcglobal.net Tel.: (951) 808-0520 Fax: (951) 808-0560		



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Corona, Calif. 92878 951-808-0520



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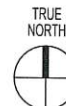
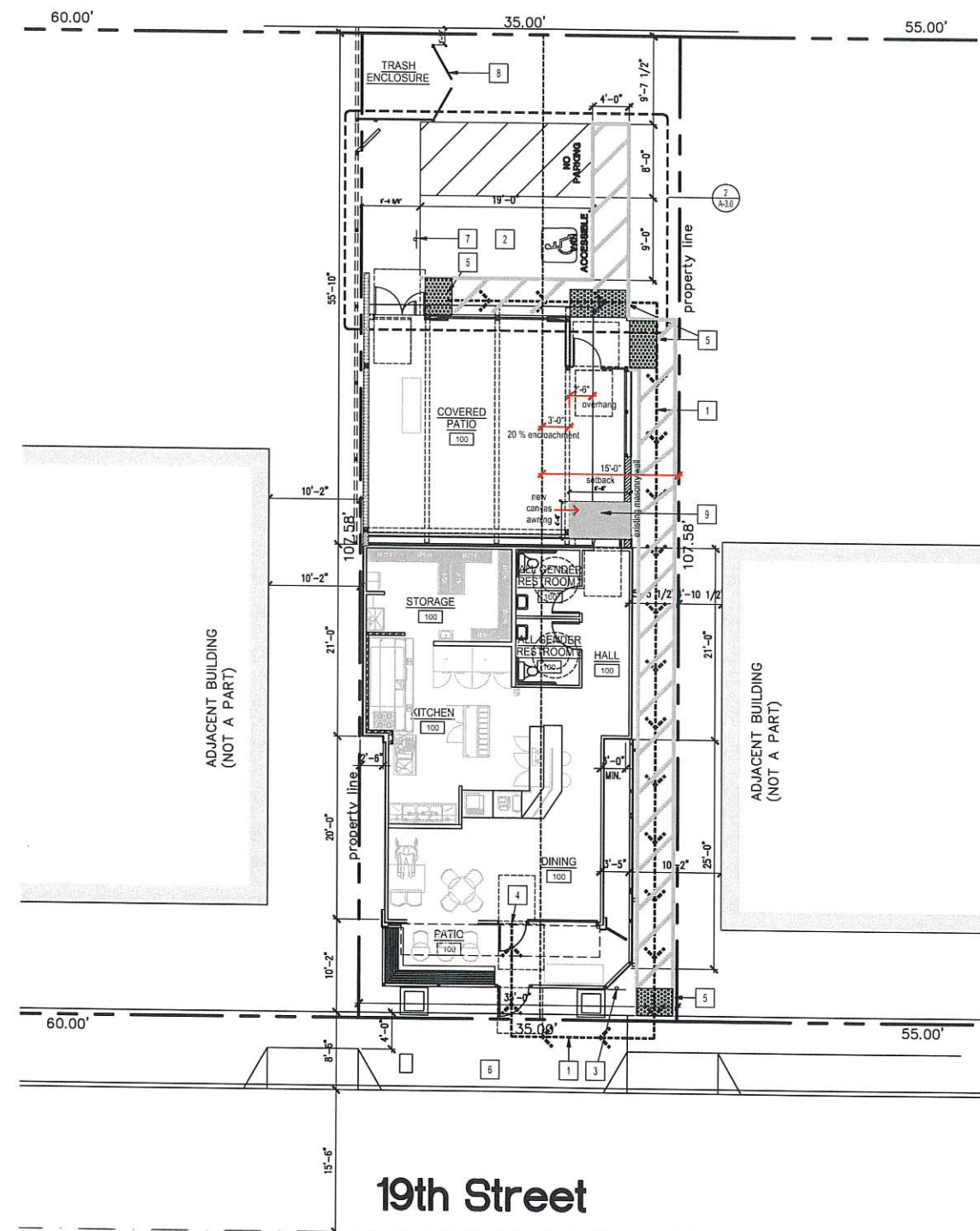
Westend Restaurant
 SITE IMPROVEMENT
 814 WEST 19TH STREET
 COSTA MESA, CA 92627

ISSUE RECORD

6-1-23	C.U.P. SUBMITTAL

DRWN:	CHECKED:
C.M.	C.M.
PROJECT NUMBER:	22-13 WEST END RESTAURANT
SHEET TITLE:	
TITLE / PROJECT INFORMATION	
SHEET NUMBER:	

T-1



SITE PLAN
SCALE: 1/8" = 1'-0"

KEY NOTES

- 1 (N) PATH OF TRAVEL
- 2 (N) ACCESSIBLE PARKING VAN STALL PER DETAIL 7/SP-1.1
- 3 (N) ACCESSIBLE SITE SIGN PER DETAIL 8/SP-1.1
- 4 (E) MAIN ENTRY - 1/2" MAX THRESHOLD, 2% MAX SLOPE IN ALL DIRECTIONS AT BOTH SIDES OF THE DOOR LANDING
- 5 (N) ADA COMPLIANT TRUNCATED DOMES - SEE DETAIL 6/SP-1.1
- 6 (E) CONCRETE SIDEWALK
- 7 (N) ACCESSIBLE PARKING SIGN PER DETAIL 2.3 AND 4/SP-1.1
- 8 (E) TRASH ENCLOSURE AND GATE
- 9 (N) CANVAS AWNING AT REAR EXIT DOOR
- 10



SITE PARKING

NOTE NO PROPOSED CHANGE OF USE.

GENERAL NOTES

1. ALL SIDEWALKS SHALL HAVE A SLOPE LESS THAN 1:20 OR 5%.
2. WALKS ALONG AN ACCESSIBLE ROUTE OF TRAVEL SHALL BE 48" MIN. IN WIDTH AND SHALL HAVE A SLIP RESISTANT SURFACE. PER 2016 CBC 11B-301 AND 401.
3. THE MAXIMUM PERMITTED CROSS SLOPE SHALL BE 1:48 PER SECTION 11B-405.3.
4. ANY ABRUPT LEVEL CHANGES WILL BE 1/2" OR LESS ALONG ANY ACCESSIBLE ROUTE OF TRAVEL. WHEN CHANGES DO OCCUR, THEY SHALL BE BELIEVED WITH A SLOPE OF 1:2 OR LESS. LEVEL CHANGES OF 1/2" OR LESS MAY BE VERTICAL.
5. A 60"x60" LEVEL AREA (OR NOT TO EXCEED 2% SLOPE FOR DRAINAGE) IS PROVIDED AT AREAS WHERE A DOOR (OR GATE) SWINGS TOWARD THE WALK IN THE ACCESSIBLE ROUTE OF TRAVEL. PER SECTION 11B-404.
6. 80" HEADROOM MIN. IS TO BE PROVIDED FROM ALL WALKWAYS SURFACES TO OBSTRUCTIONS, PER SECTION 11B-307.2.
7. NO ABRUPT CHANGES IN ELEVATION ALONG PATH OF TRAVEL SHOWN. THE SLOPE AND CROSS SLOPE ALONG THE PATH OF TRAVEL SHALL NOT EXCEED 5% AND 2% RESPECTIVELY. (INSPECTOR TO VERIFY).
8. IF A WALK CROSSES OR ADJOINS A VEHICULAR WAY AND THE WALKING SURFACES ARE NOT SEPARATED BY CURBS, RAILINGS OR OTHER ELEMENTS BETWEEN THE PEDESTRIAN AREAS AND VEHICULAR AREAS, THE BOUNDARY BETWEEN THE AREAS SHALL BE DEFINED BY A CONTINUOUS DETECTABLE WARNING WHICH IS 36" WIDE, COMPLYING WITH 2016 CBC SECTION 11B-406.

GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF FRAMING, OR CENTERLINE OF STRUCTURE UNLESS NOTED OTHERWISE.
2. DASHED CIRCLE IN RESTROOMS INDICATES 5'-0" TURNING DIAMETER REQUIRED BY ADA.
3. REFER TO FLOOR PLAN ON A-3.0 FOR ALL DIMENSIONS.
4. STUD SIZES AS INDICATED PER FLOOR PLAN LEGEND.
5. INTERIOR DOORS ARE 4" OFF OF PERPENDICULAR WALL UNLESS NOTED OTHERWISE.
6. NEW SIGN INDICATION NUMBER OF ROOM OCCUPANTS PERMITTED. THE SIGN SHALL BE DURABLE AND HAVE CONTRASTING COLOR FROM THE BACKGROUND. SIGN SHALL READ: "MAXIMUM OCCUPANT LOAD _____ PERSONS".
7. TACTILE EXIT SIGNAGE (TYP.) AT EACH EXIT DOOR. SEE SHEET A-0.1 EXITING PLAN.
8. ALL DIMENSIONS ARE TO BE HELD PER DRAWING UNLESS NOTED OTHERWISE. CONTACT ARCHITECT IF DISCREPANCY IS REQUIRED DUE TO AS-BUILT CONDITIONS.
9. PROVIDE FULL HEIGHT BLOCKING IN WALL FOR ALL SHELVING. TYP.



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Westend Restaurant
SITE IMPROVEMENT
814 WEST 19TH STREET
COSTA MESA, CA 92627

DATE	DESCRIPTION
6-1-23	C.U.P. SUBMITTAL
7-8-23	C.U.P. UPDATE

DRAWN: C.M. CHECKED: C.M.

PROJECT NUMBER:
22-13 WEST END RESTAURANT

DRAWING TITLE:
SITE PLAN

DRAWING NUMBER:
SP-1.0

DATE OF LAST PRINT:
5-16-23

OCCUPANT LOAD (AFTER DINING)

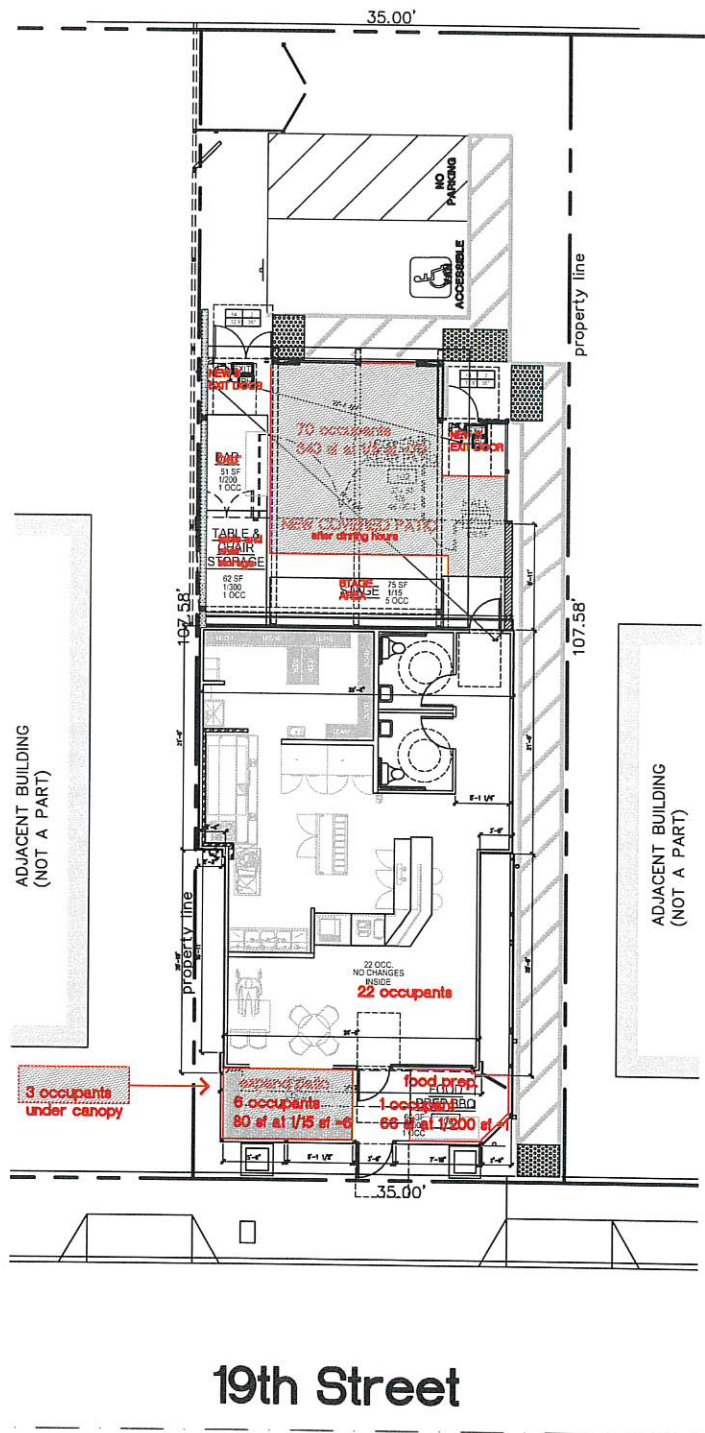
WEST END Room Type	Area	Occupancy	S.F. / Person	Persons
COVERED REAR PATIO	334 s.f.	ASSEMBLY	5	66
BAR	51 s.f.	KITCHEN COMMERCIAL	200	1
STAGE	75 s.f.	KITCHEN COMMERCIAL	15	5
ENTRY PATIO - COVERED	35 s.f.	ASSEMBLY	15	3
FOOD PREP BBQ	66 s.f.	KITCHEN, COMMERCIAL	200	3
TOTAL AT WEST END	1,677 s.f.	TOTAL		78

Occupancy CBC Table 1004.1.1

Occupancy S.F. Type	S.F. Per Person	S.F. Unit
BAR AREA	200	Gross
STAGE AREA	15	Gross
PUBLIC ASSEMBLY AREA	15	Gross
PUBLIC ASSEMBLY STANDING	5	Gross
STORAGE / STOCK	300	Gross

OCCUPANT LOAD (DINING HOURS)

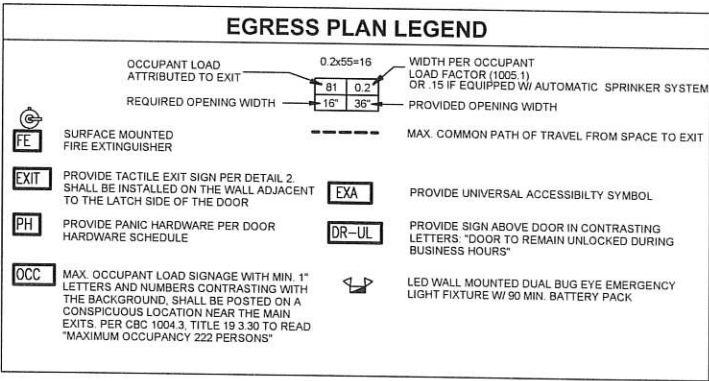
WEST END Room Type	Area	Occupancy	S.F. / Person	Persons
COVERED REAR PATIO	542 s.f.	ASSEMBLY	15	36
HALL	-	-	-	-
ENTRY PATIO - COVERED	35 s.f.	ASSEMBLY	15	3
FOOD PREP BBQ	66 s.f.	KITCHEN, COMMERCIAL	200	3
INTERIOR SPACE - NO CHANGES	1,034 s.f.	-	-	22
TOTAL AT WEST END	1,677 s.f.	TOTAL		64



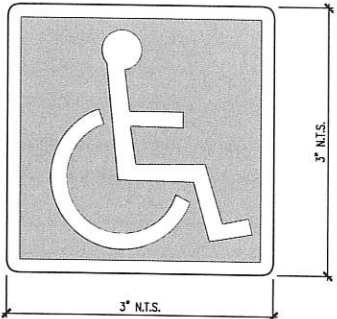
19th Street

EXIT AND OCCUPANCY PLAN (AFTER DINING)

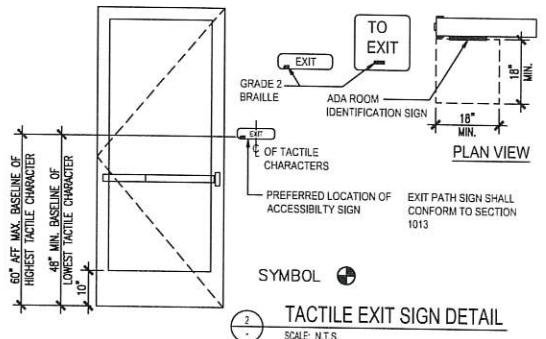
SCALE: 1/8" = 1'-0"



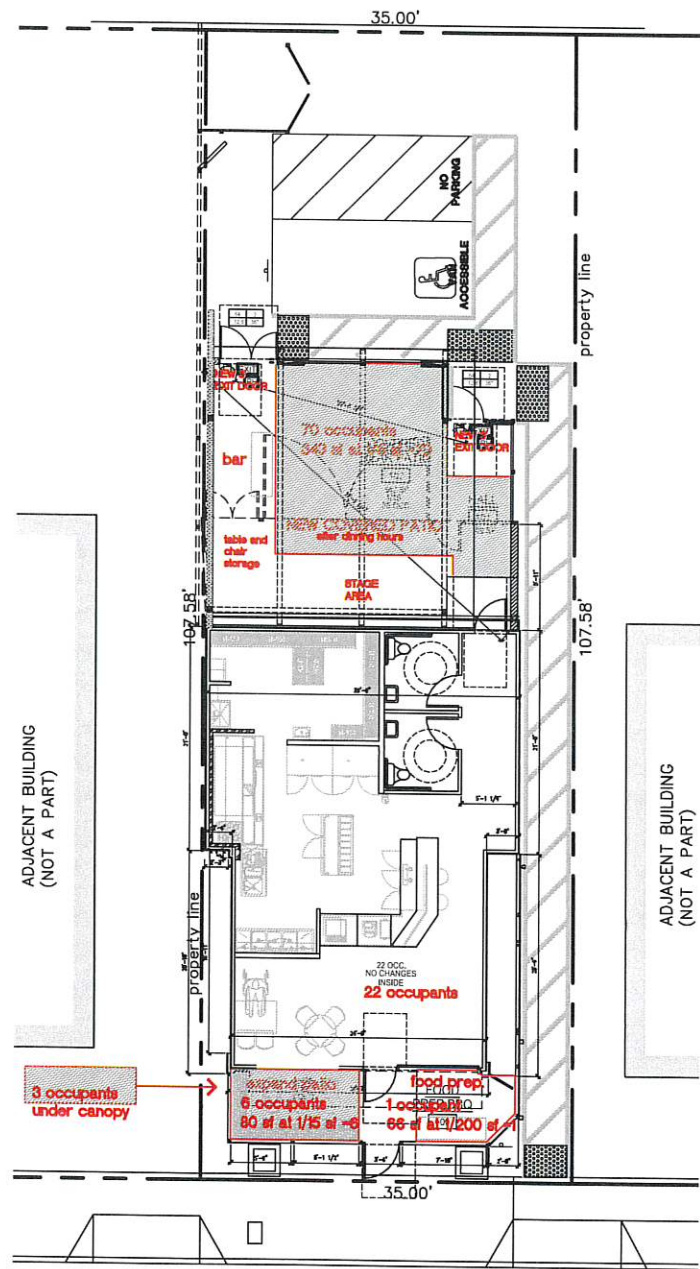
THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE THE STANDARD USED TO IDENTIFY FACILITIES THAT ARE ACCESSIBLE TO AND USABLE BY PHYSICALLY HANDICAPPED PERSONS. THE SYMBOL SHALL CONSIST OF A WHITE FIGURE ON A BLUE BACKGROUND. THE BLUE SHALL BE EQUAL TO COLOR #15090 IN FEDERAL STANDARD 695A.



INTERNATIONAL ACCESSIBILITY SIGN
SCALE: N.T.S. SYMBOL EXA



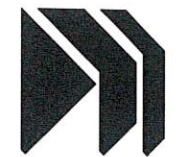
TACTILE EXIT SIGN DETAIL
SCALE: N.T.S.



19th Street

EXIT AND OCCUPANCY PLAN (DINING HOURS)

SCALE: 1/8" = 1'-0"



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Westend Restaurant

SITE IMPROVEMENT
814 WEST 19TH STREET
COSTA MESA, CA 92627

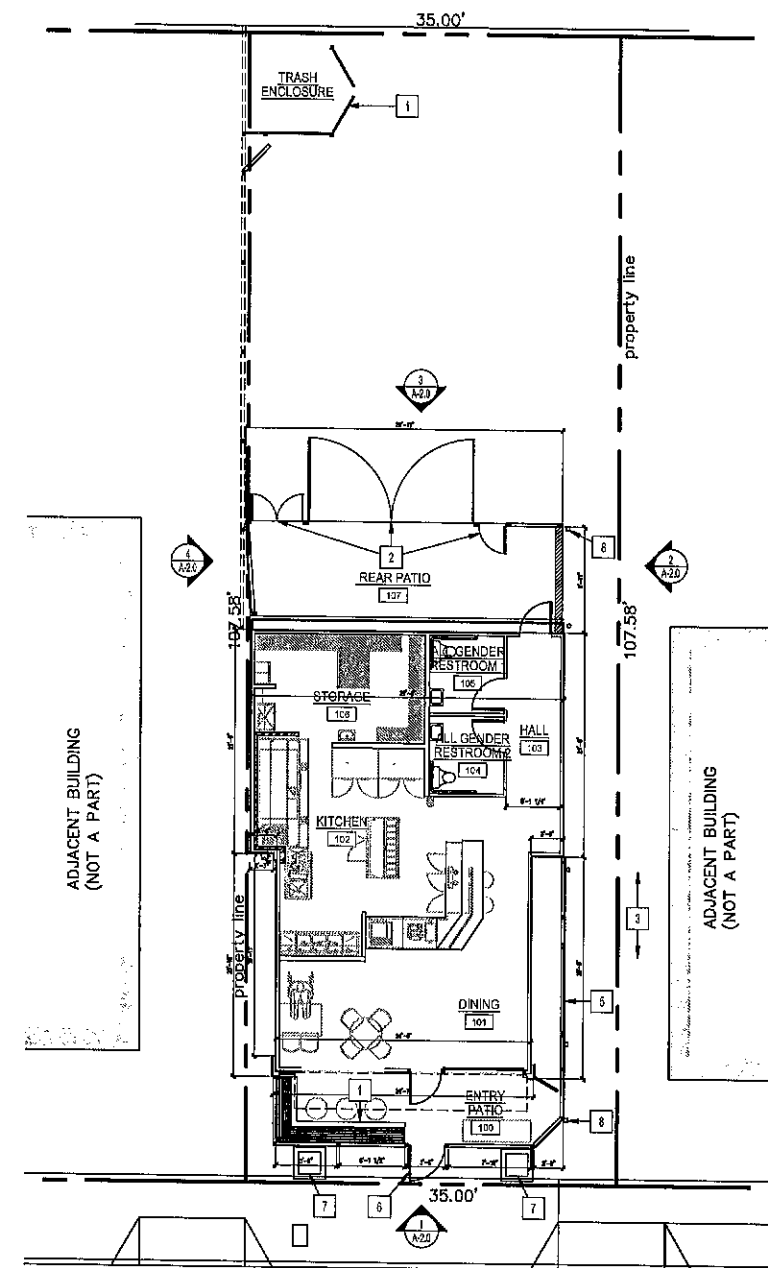
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6-1-23	C.U.P. SUBMITTAL

DRAWN	CHECKED
C.M.	C.M.

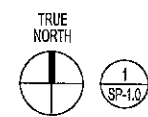
PROJECT NUMBER:
22-13 WEST END RESTAURANT

PROJECT TITLE:
EXIT AND OCCUPANCY PLAN

A-0.1



19th Street



AS-BUILT FLOOR PLAN

SCALE: 1/8" = 1'-0"

KEY NOTES

- 1 (E) OUTDOOR WOOD BENCH SEATING
- 2 (E) PATIO GATES
- 3 (E) DRIVE ISLE TO REAR
- 4 (E) PATIO STORAGE
- 5 (E) 6' HIGH WOOD FENCE
- 6 (E) 8' HIGH PATIO GATE
- 7 (E) 3' HIGH PLANTER
- 8 (E) BOLLARDS TO REMAIN

WALL LEGEND

- (E) INTERIOR: 2x4 WOOD STUDS @ 16" O.C. W/ 5/8" TYPE 'X' GYP BOARD
- (E) INTERIOR: 2x6 WOOD STUDS @ 16" O.C. W/ 5/8" TYPE 'X' GYP BOARD



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Westend Restaurant

SITE IMPROVEMENT
814 WEST 19TH STREET
COSTA MESA, CA 92627

5-1-23 C.U.P. SUBMITTAL

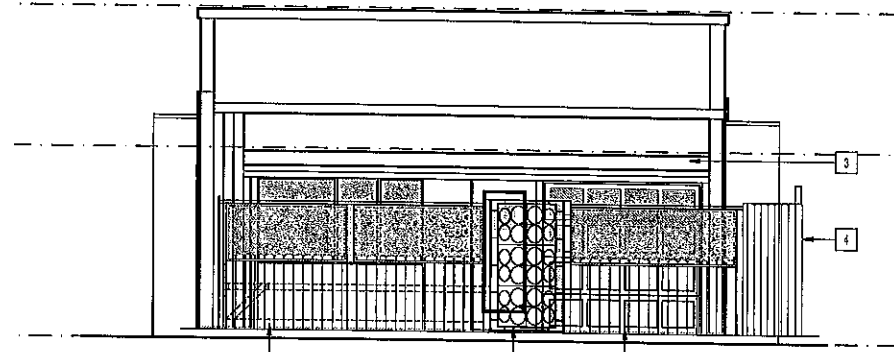
C.M. C.M.

22-13 WEST END RESTAURANT

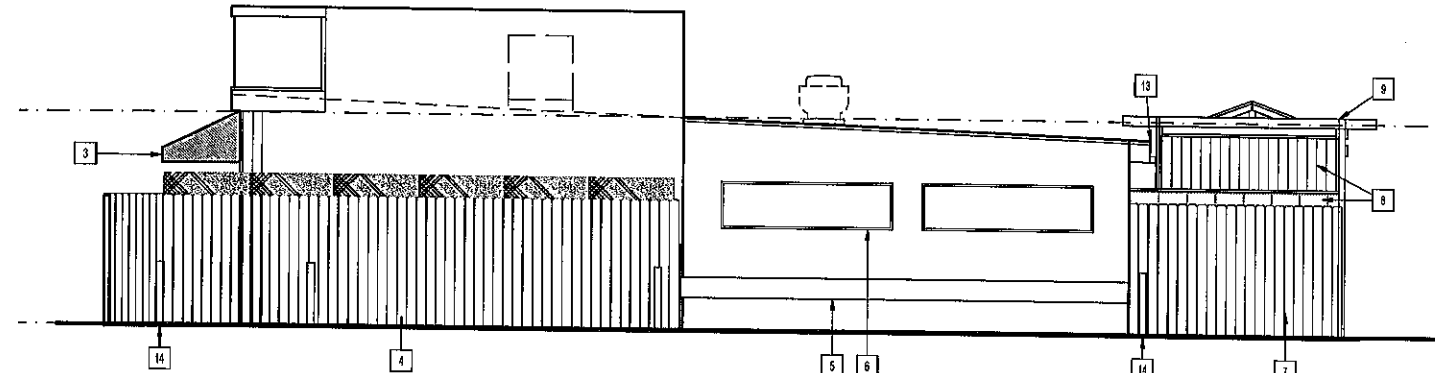
AS-BUILT FLOOR PLAN

A-1.0

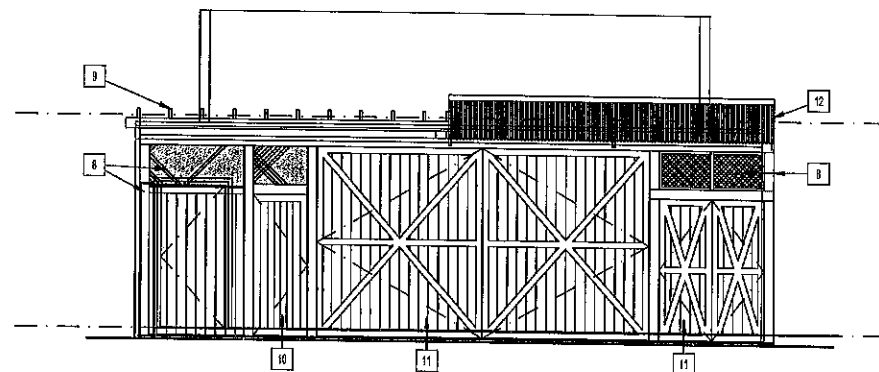
5-16-23



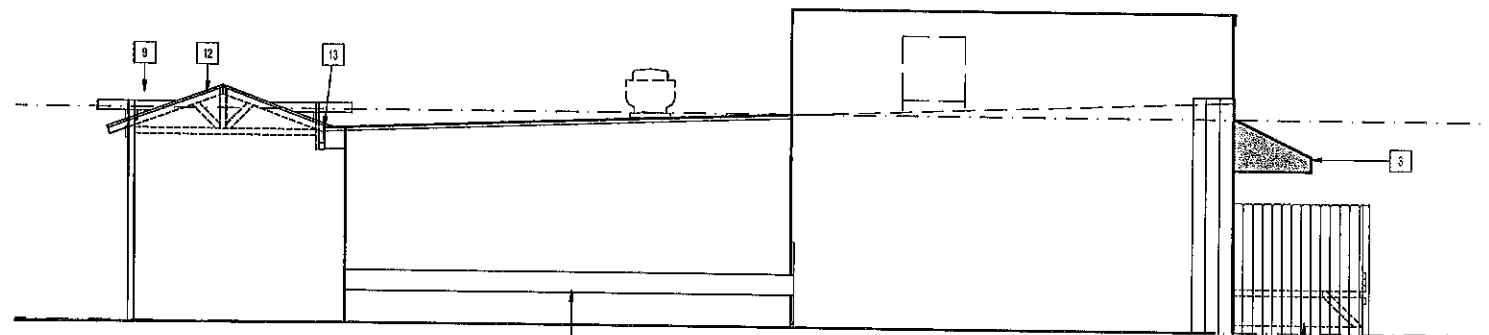
1 AS-BUILT SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 AS-BUILT EAST ELEVATION
SCALE: 1/4" = 1'-0"



3 AS-BUILT NORTH ELEVATION
SCALE: 1/4" = 1'-0"



4 AS-BUILT WEST ELEVATION
SCALE: 1/4" = 1'-0"

KEY NOTES

- 1 (E) WROUGHT IRON ENTRY GATE
- 2 (E) 42" HIGH WOOD FENCE W/ WROUGHT IRON ABOVE
- 3 (E) FABRIC AWNING
- 4 (E) 6' HIGH WOOD FENCE
- 5 (E) 2x12 WOOD TRIM
- 6 (E) WINDOWS
- 7 (E) WOOD FENCING APPLIED TO AN (E) 7' HIGH CMU WALL
- 8 (E) WOOD FENCE WITH LATTICE ABOVE
- 9 (E) 2x WOOD TRELLIS
- 10 (E) REAR WOOD DOOR
- 11 (E) REAR WOOD GATES
- 12 (E) WOOD FRAMED PATIO COVER WITH METAL ROOFING
- 13 (E) REAR FASCIA AND RAIN GUTTER
- 14 (E) BOLLARDS TO REMAIN - TYP.



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COSTA MESA, CA 92627

REVISION RECORD:
6-1-23 C.U.P. SUBMITTAL

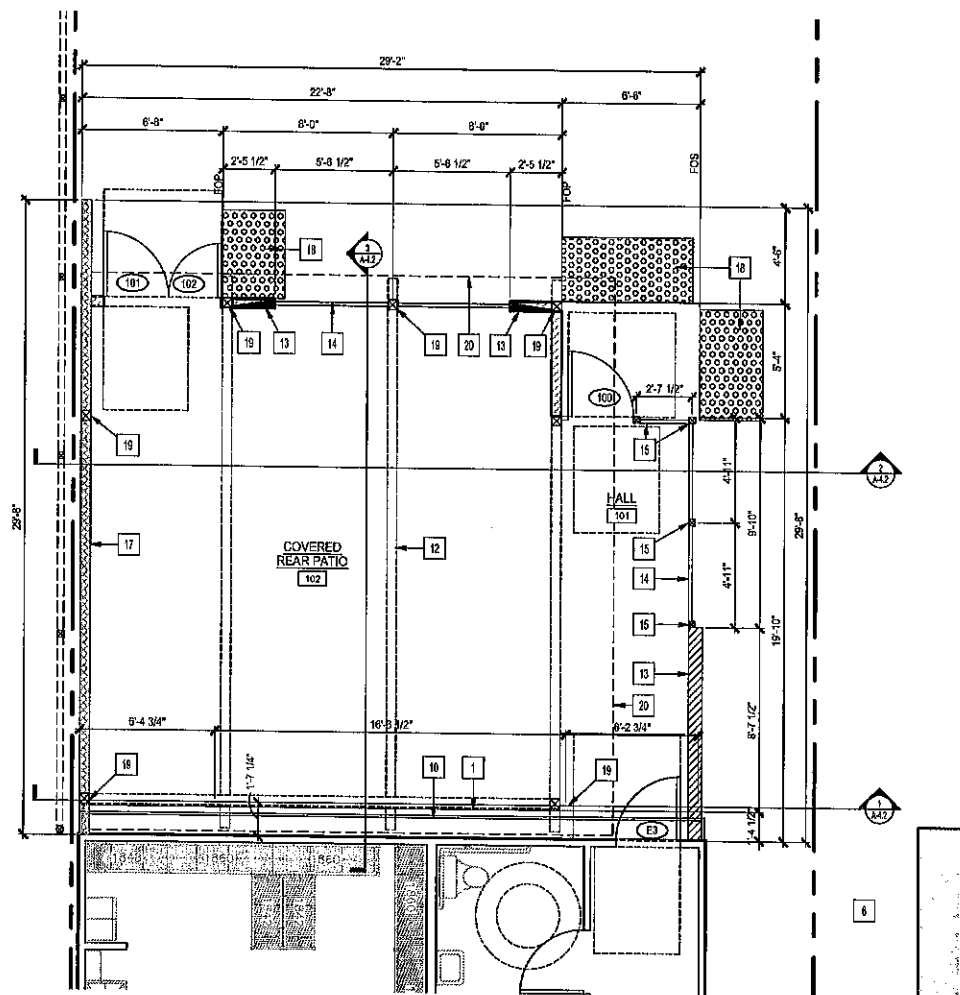
DRAWN: C.M.
CHECKED: C.M.

PROJECT NUMBER:
22-13 WEST END RESTAURANT

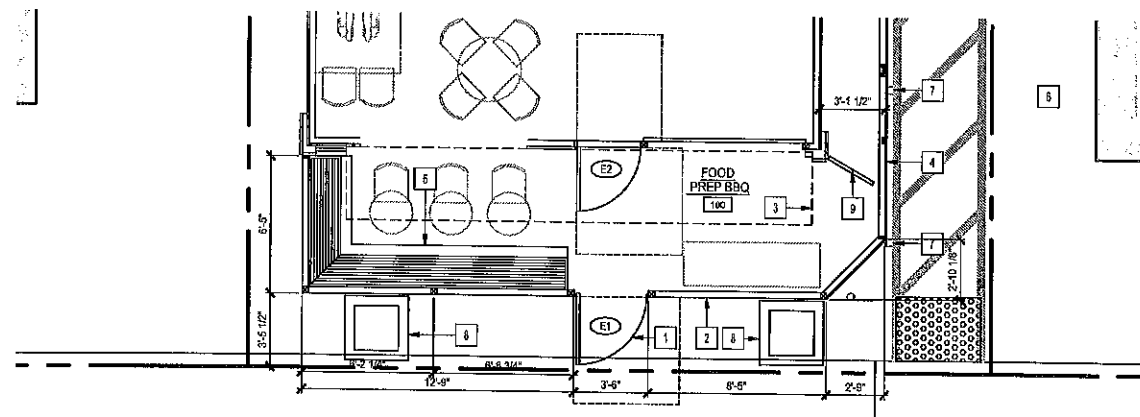
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AS-BUILT ELEVATIONS

SHEET NUMBER:
A-2.0

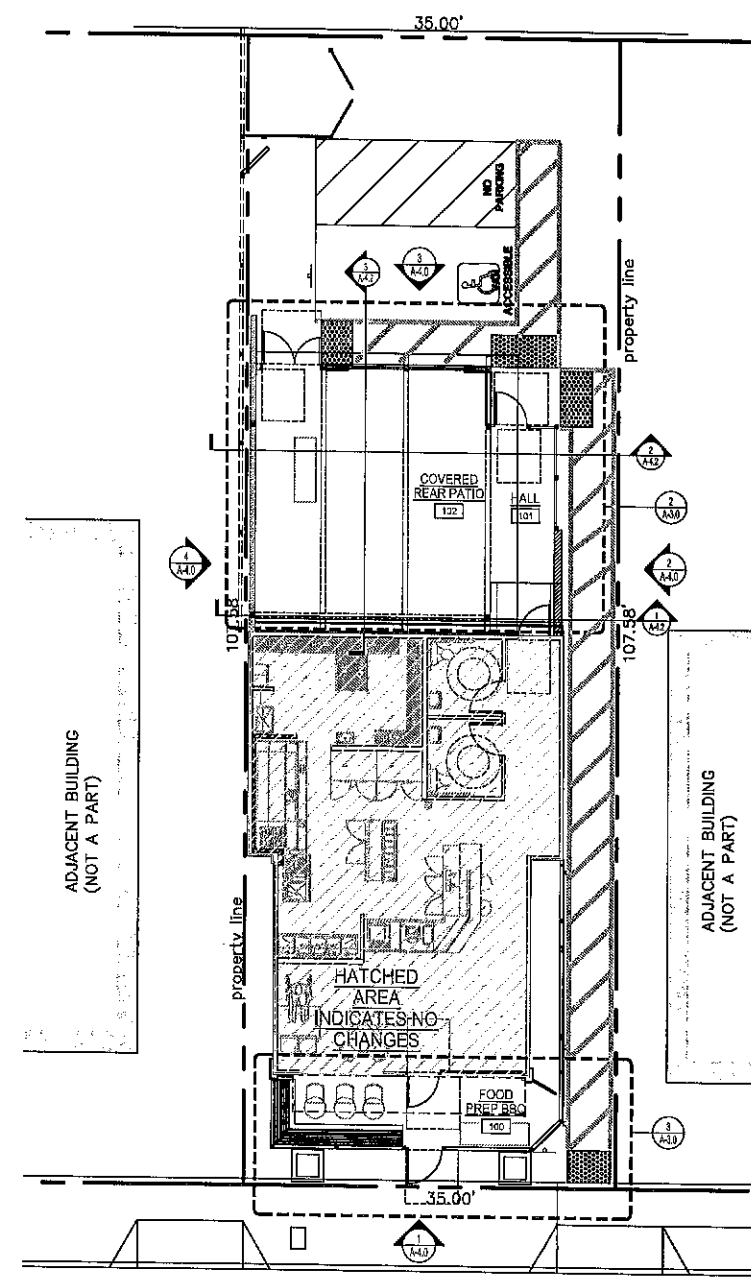
DATE OF LAST PRINT:
5-16-23



TRUE NORTH
 2
 A-3.0
ENLARGED COVERED REAR PATIO PLAN
 SCALE: 1/4" = 1'-0" (720 SQ.FT.)



TRUE NORTH
 3
 A-3.0
ENLARGED ENTRY PATIO PLAN
 SCALE: 1/4" = 1'-0"



TRUE NORTH
 1
 SP-1.0
OVER ALL FLOOR PLAN
 SCALE: 1/8" = 1'-0"

KEY NOTES

- 1 (E) WROUGHT IRON ENTRY GATE
- 2 (E) 42" HIGH WOOD FENCE W/ WROUGHT IRON ABOVE
- 3 (E) FABRIC AWNING
- 4 (E) 8' HIGH WOOD FENCE
- 5 (E) OUTDOOR WOOD BENCH SEATING
- 6 (E) DRIVE ISLE TO REAR
- 7 (E) BOLLARDS TO REMAIN
- 8 (E) 3' HIGH PLANTER
- 9 (E) PATIO STORAGE GATE TO REMAIN
- 10 (E) REAR FASCIA AND RAIN GUTTER
- 11 (N) BOLLARDS - TYP.
- 12 (N) WOOD FRAMED PATIO COVER WITH METAL ROOFING
- 13 (N) STUCCO WALL PER PLAN
- 14 (N) METAL MESH PANEL
- 15 (N) 4x4 POST PER PLAN
- 16 (N) REAR DOOR PER SCHEDULE
- 17 (N) CMU WALL PER PLAN
- 18 (N) TRUNCATED DOMES PER PLAN
- 19 (N) 6x8 POST PER PLAN

GENERAL NOTES

- 1. ALL DIMENSIONS ARE TO FACE OF FRAMING, OR CENTERLINE OF STRUCTURE UNLESS NOTED OTHERWISE.
- 2. DASHED CIRCLE IN RESTROOMS INDICATES 5'-0" TURNING DIAMETER REQUIRED BY ADA.
- 3. REFER TO FLOOR PLAN ON A-3.0 FOR ALL DIMENSIONS.
- 4. STUD SIZES AS INDICATED PER FLOOR PLAN LEGEND.
- 5. INTERIOR DOORS ARE 4" OFF OF PERPENDICULAR WALL UNLESS NOTED OTHERWISE.
- 6. NEW SIGN INDICATION NUMBER OF ROOM OCCUPANTS PERMITTED. THE SIGN SHALL BE DURABLE AND HAVE CONTRASTING COLOR FROM THE BACKGROUND. SIGN SHALL READ: "MAXIMUM OCCUPANT LOAD: PERSONS".
- 7. TACTILE EXIT SIGNAGE (TYP.) AT EACH EXIT DOOR. SEE SHEET A-4.1 EXIT PLAN.
- 8. ALL DIMENSIONS ARE TO BE HELD PER DRAWING UNLESS NOTED OTHERWISE. CONTACT ARCHITECT IF DISCREPANCY IS REQUIRED DUE TO AS-BUILT CONDITIONS.
- 9. PROVIDE FULL HEIGHT BLOCKING IN WALL FOR ALL SHELVING, TYP.

WALL LEGEND

- (E) INTERIOR: 2x4 WOOD STUDS @ 16" O.C. W/ 5/8" TYPE 'X' GYP BOARD
- (E) INTERIOR: 2x6 WOOD STUDS @ 16" O.C. W/ 5/8" TYPE 'X' GYP BOARD
- (N) EXTERIOR: 2x8 WOOD STUDS @ 16" O.C. W/ 5/8" SHEATHING, 2 LAYERS OF BUILDING PAPER, WIRE, SCRATCH & BROWN COATS, TOP COAT
- (N) EXTERIOR: 2x8 WOOD STUDS @ 16" O.C. W/ 1x6 VERTICAL SIDING ON EXTERIOR AND 1-1/4" ON PATIO INSIDE



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Westend Restaurant
 SITE IMPROVEMENT
 814 WEST 19TH STREET
 COSTA MESA, CA 92627

ISSUE RECORD:

6-1-23 C.U.P. SUBMITTAL

DESIGNED BY: C.M.

CHECKED BY: C.M.

PROJECT NUMBER:

22-13 WEST END RESTAURANT

SHEET TITLE:

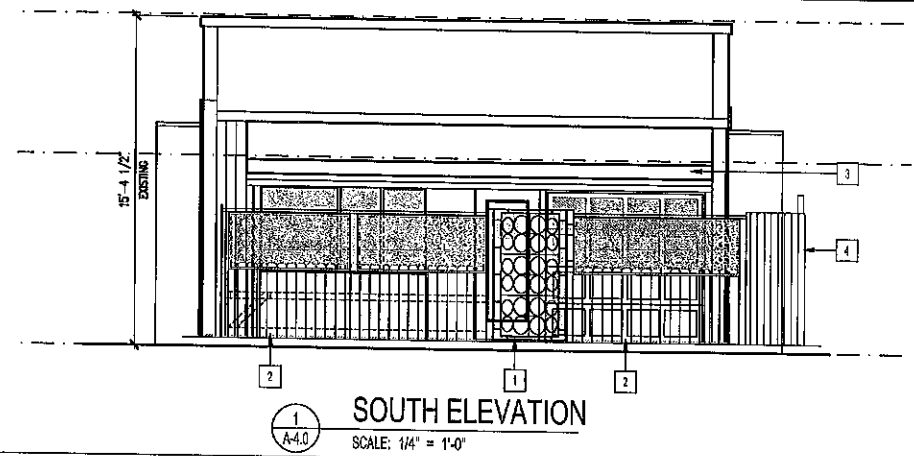
FLOOR PLAN

DRAWN BY:

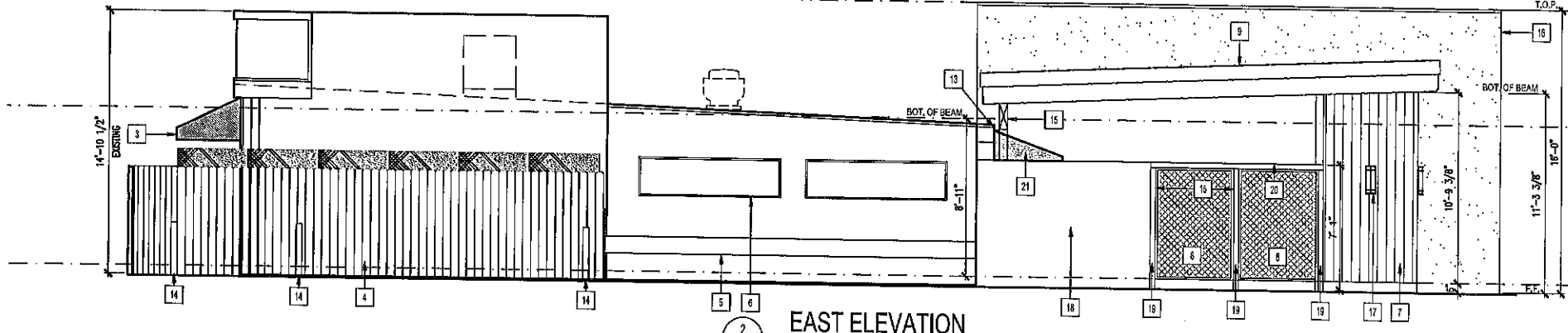
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DATE OF LAST PRINT:

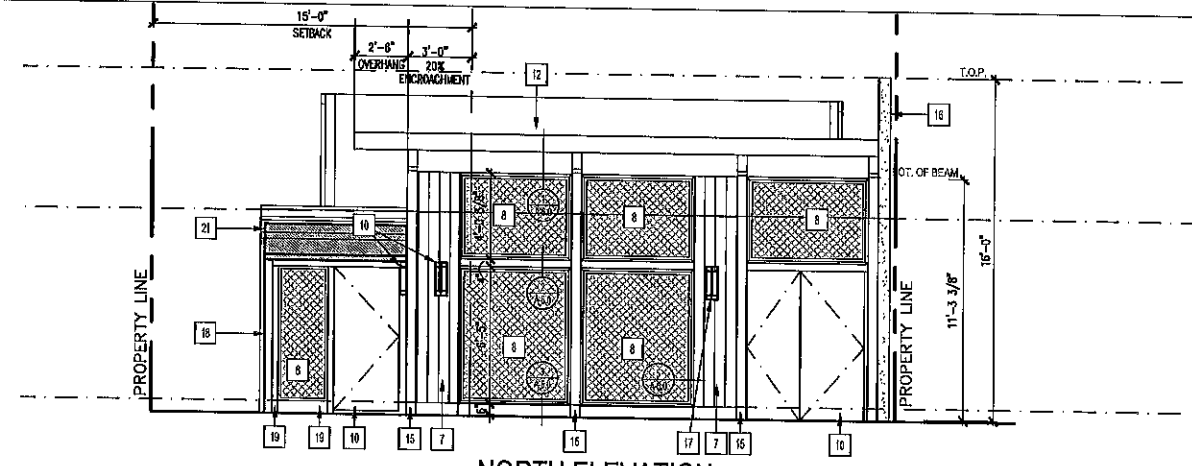
5-18-23



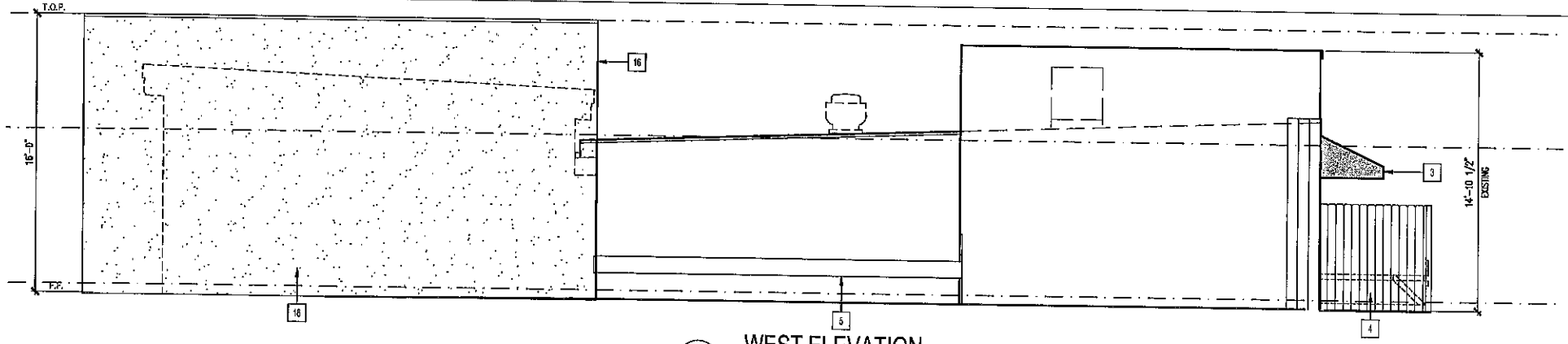
1 SOUTH ELEVATION
A-4.0 SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
A-4.0 SCALE: 1/4" = 1'-0"



3 NORTH ELEVATION
A-4.0 SCALE: 1/4" = 1'-0"



4 WEST ELEVATION
A-4.0 SCALE: 1/4" = 1'-0"

KEY NOTES

- 1 (E) WROUGHT IRON ENTRY GATE
- 2 (E) 42" HIGH WOOD FENCE W WROUGHT IRON ABOVE
- 3 (E) FABRIC AWNING
- 4 (E) 6" HIGH WOOD FENCE
- 5 (E) 2x12 WOOD TRIM
- 6 (E) WINDOWS
- 7 (N) 1x6 WOOD SIDING PER PLAN
- 8 (N) METAL MESH PANEL
- 9 (N) TPO ROOFING
- 10 (N) REAR DOOR PER DOOR SCHEDULE
- 11 (E) REAR WOOD GATES
- 12 (N) WOOD FRAMED PATIO COVER - SEE FRAMING PLAN
- 13 (E) REAR FASCIA AND RAIN GUTTER
- 14 (E) BOLLARDS TO REMAIN - TYP.
- 15 (N) 2x POST PER PLAN
- 16 (N) STUCCO WALL PER PLAN
- 17 (N) WALL SCORCE MOUNT AT S-6" A.F.F. TO BOTTOM OF FIXTURE - SEE ELECTRICAL DRAWINGS
- 18 (E) CMU WALL TO REMAIN
- 19 (N) 4x4 POST PER PLAN
- 20 (N) 4x4 HEADER PER PLAN
- 21 (N) CANVAS AWNING AT REAR DOOR



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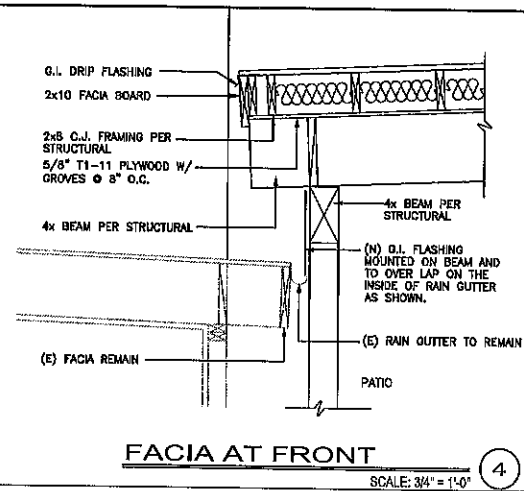


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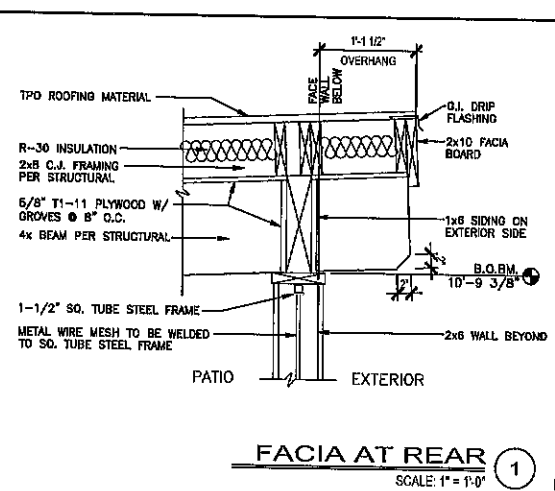
Westend Restaurant
 SITE IMPROVEMENT
 814 WEST 19TH STREET
 COSTA MESA, CA 92627

DATE RECORDED:	8-1-23	C.U.P. SUBMITTAL
DATE:		
BY:		
CHECKED:		
DATE:		
PROJECT NUMBER:	22-13 WEST END RESTAURANT	
SHEET TITLE:	ELEVATIONS	
DATE OF LAST P.P.P.		

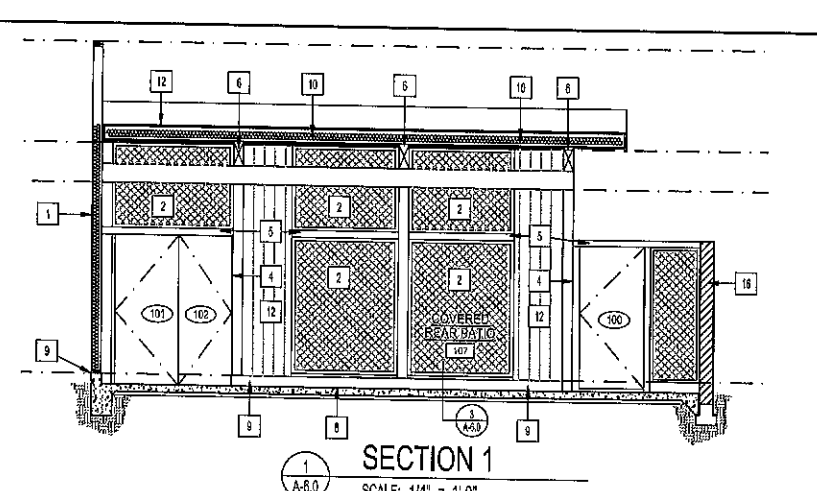
A-5.0



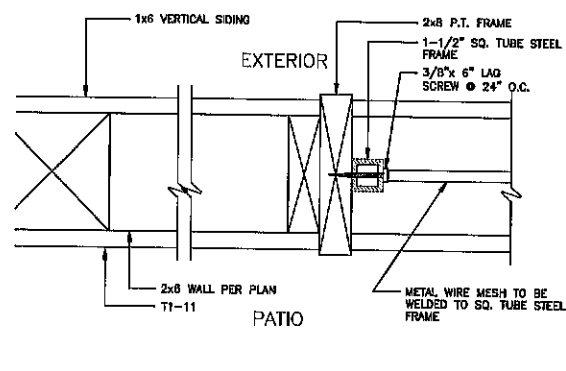
FACIA AT FRONT
SCALE: 3/4" = 1'-0"
④



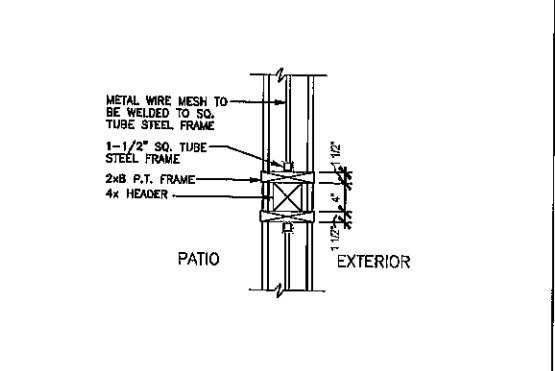
FACIA AT REAR
SCALE: 1" = 1'-0"
①



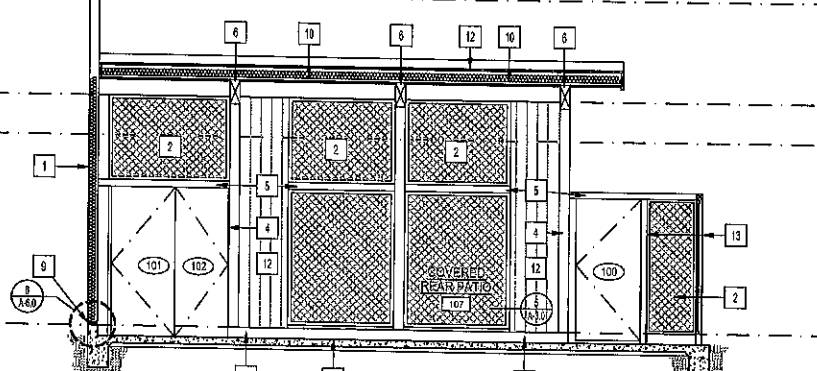
SECTION 1
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A-8.0



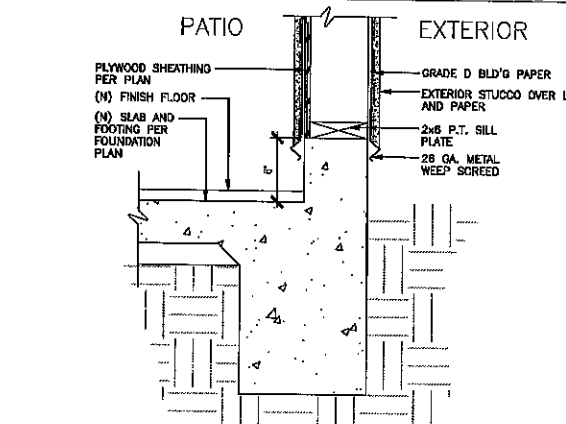
MESH PANEL TO WALL
SCALE: 1" = 1'-0"
⑤



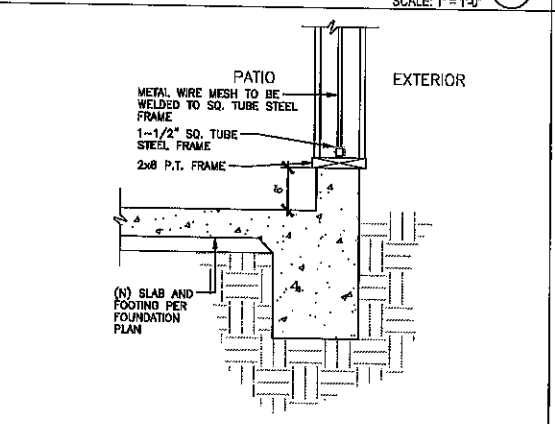
HEADER AT MESH PANEL
SCALE: 1" = 1'-0"
②



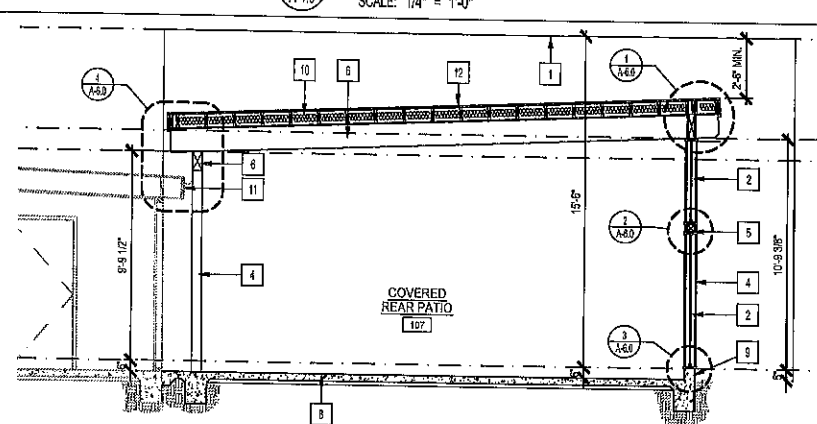
SECTION 2
SCALE: 1/4" = 1'-0"
A-4.0



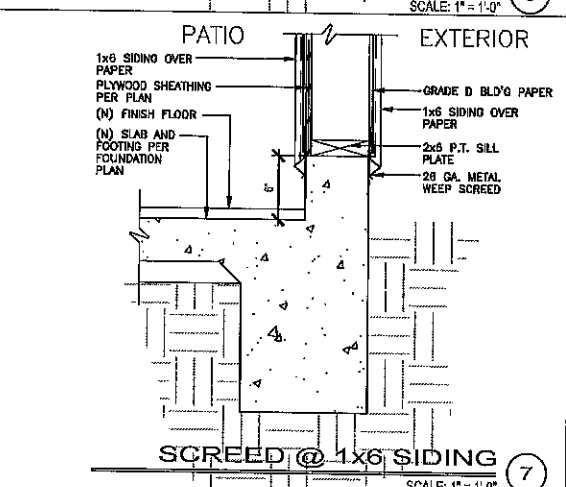
SCREED @ STUCCO WALL
SCALE: 1" = 1'-0"
⑥



MESH PANEL AT CURB
SCALE: 1" = 1'-0"
③



SECTION 3
SCALE: 1/4" = 1'-0"
A-4.0



SCREED @ 1x6 SIDING
SCALE: 1" = 1'-0"
⑦

KEY NOTES

- 1 (N) 2x6 WOOD STUD @ 16" O.C. STUCCO WALL PER PLAN
- 2 (N) METAL MESH PANEL
- 3 (N) REAR DOOR PER SCHEDULE
- 4 (N) 6x POST PER FRAMING PLAN
- 5 (N) 4x HEADER PER FRAMING PLAN
- 6 (N) 8x BEAM PER FRAMING PLAN
- 7 (N) TPO ROOFING PER PLAN
- 8 (N) SLAB ON GRADE AND FOOTINGS PER FOUNDATION PLAN
- 9 (N) 6" CURB PER FOUNDATION PLAN
- 10 (N) 2x8 PER FRAMING PLAN
- 11 (E) REAR FASCIA AND RAIN GUTTER
- 12 (N) 1x6 SIDING
- 13 (N) 4x POST
- 14 (N) METAL MESH PANEL RAILING
- 15 (N) 2x4 CAP
- 16 (E) 8" CMU WALL



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COSTA MESA, CA 92627

DATE REVISION	6-1-23	C.U.P. SUBMITTAL
OWNER:	C.M.	C.M.
PROJECT NUMBER:	22-13 WEST END RESTAURANT	
SHEET TITLE:	SECTIONS & DETAILS	
SHEET NUMBER:	A-6.0	
DATE OF LAST PRINT:	5-16-23	