

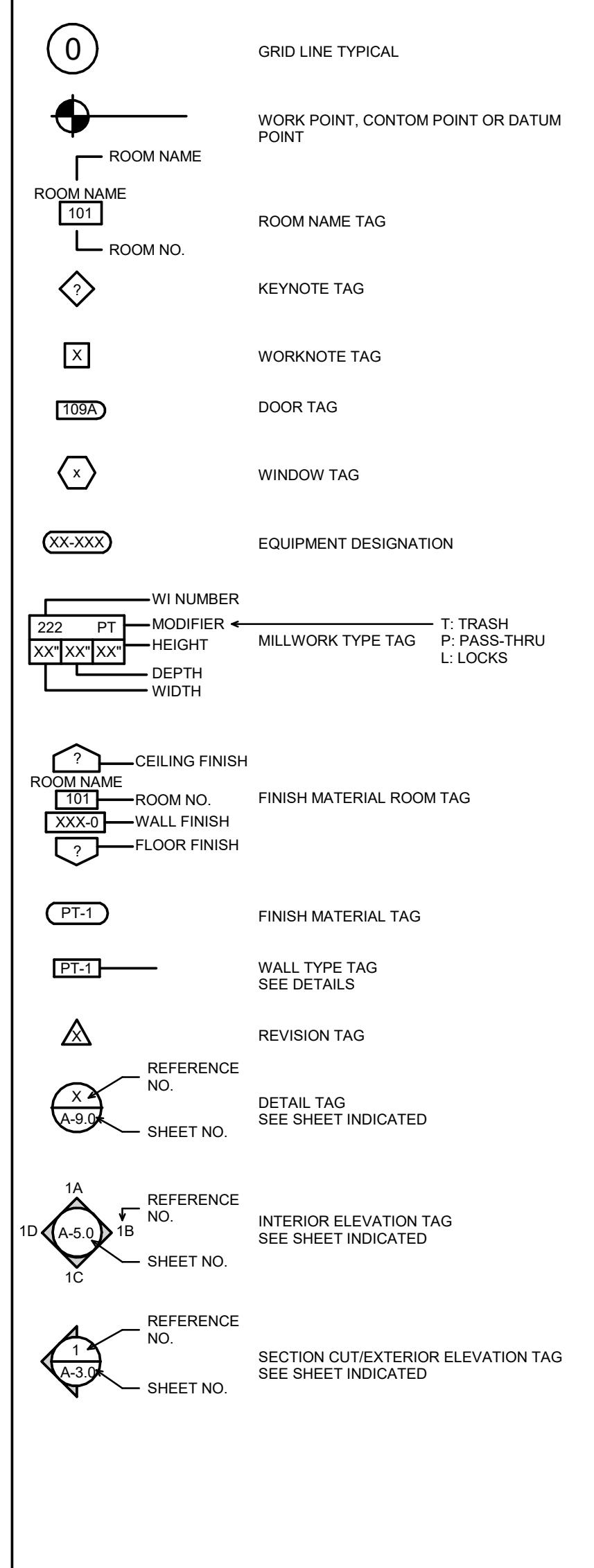
# VETERINARY EMERGENCY GROUP - COSTA MESA

2800 HARBOR BLVD  
COSTA MESA, CA 92626

## GENERAL NOTES

- DO NOT SCALE DRAWINGS.
- UNLESS NOTED OTHERWISE, ELEVATIONS SHOWN IN THESE PLANS ARE IN RELATION TO FINISH FLOOR SET AT 100'-0".
- PROVIDE FIRE RATED SOLID WOOD BLOCKING FOR ALL WALL, MOLDING, TRIM, SINKS, TOILET PARTITIONS, COUNTERTOPS, GRAB BARS, BASE CABINETS, WALL CABINETS, AND CEILING HUNG EQUIPMENT.
- WORK TO BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE, AND TRUE AND IN PROPER ALIGNMENT.
- PENETRATIONS IN SOUND WALLS OR SOUND CEILING SHALL BE EFFECTIVELY SEALED TO PREVENT SOUND LEAKAGE.
- MANUFACTURED MATERIALS, EQUIPMENT, ETC. TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS, UNLESS NOTED OTHERWISE.
- VERIFY EXISTING DIMENSIONS IN FIELD.
- ALL CONSTRUCTION IS TO BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, AND NATIONAL CODES, OR THE CONSTRUCTION DOCUMENTS, WHICH EVER IS MORE RESTRICTIVE.
- GENERAL CONTRACTOR MUST VERIFY DIMENSIONS PRIOR TO THE COMMENCEMENT OF WORK. CONSULT WITH ARCHITECT REGARDING ERRORS, OMISSIONS, OR CHANGES IN THE WORK PRIOR TO COMMENCEMENT OF CONSTRUCTION. IF THE ARCHITECT IS NOT CONSULTED, THE OWNER AND CONTRACTOR AGREE TO INDEMNIFY AND HOLD HARMLESS THE ARCHITECT FROM ANY CLAIMS ARISING FROM SUCH CHANGES.
- THE OWNER AND CONTRACTOR WILL UTILIZE CONSTRUCTION TECHNIQUES AND PRACTICES STANDARD AND ACCEPTABLE TO THE ARCHITECT. THE OWNER AND CONTRACTOR WILL NOT ASSUME RESPONSIBILITY OR LIABILITY FOR METHODS OF CONSTRUCTION, OR CONSTRUCTION DETAILS.
- OWNER AND GENERAL CONTRACTOR TO COORDINATE ITEMS NOT IN CONTRACT, SUCH AS COMPUTER WIRING, PHONE SYSTEMS, MUSIC SYSTEM, ETC.
- DRAWINGS SHOWING EXISTING CONDITIONS MAY NOT REPRESENT ALL CONDITIONS THAT MAY BE DISCOVERED IN FIELD OR DURING CONSTRUCTION. COORDINATE WITH OWNER AND ARCHITECT IF DIFFERENT OR UNEXPECTED CONDITIONS ARE DISCOVERED.
- "EQUAL" SUBSTITUTIONS MUST BE SUBMITTED TO, AND APPROVED BY THE BUILDING OFFICIAL PRIOR TO INSTALLATION OF THE ITEM.
- DIMENSIONS ARE TO FACE OF STUD.
- ROOF IS BONDED BY WEST ROOFING (972-869-2655) AND THE CONTRACTOR MUST USE THIS ROOFING COMPANY FOR ALL ROOF FLASHING WORK

## DRAWING SYMBOLS



## ABBREVIATIONS

#	POUND/NUMBER	DET.	DETAIL	H.G.	HARDWARE GROUP	H.G.	HARDWARE GROUP
(E)	EXISTING	DIA.	DIAMETER	H.M.	HOLLOW METAL	H.M.	HOLLOW METAL
(N)	NEW	DISP.	DISPENSER	H.D.	HARDWARE	H.D.	HARDWARE
<	ANGLE	DN.	DOWN	H.DR.	HORIZONTAL	H.DR.	HORIZONTAL
@	AT	DR.	DOOR	HR.	HOUR	HR.	HOUR
FL.	CENTERLINE	DRW.	DRAWSHOT	H.S.	HOLLOW STEEL SECTION	H.S.	HOLLOW STEEL SECTION
PL.	PLATE/PROPERTY LINE	DVG.	DRAWING	HT.	HEIGHT	HT.	HEIGHT
dia.	DIA. DIAMETER/ROUND	DWR.	DRAWER	I.D.	INSIDE DIAMETER/DIMENSION	I.D.	INSIDE DIAMETER/DIMENSION
				I.D.F.	INTERMEDIATE DIMENSION	I.D.F.	INTERMEDIATE DIMENSION
				INT.	INTERIOR	INT.	INTERIOR
				JAN.	JANITOR	JAN.	JANITOR
				JT.	JOINT	JT.	JOINT
				KIT.	KITCHEN	KIT.	KITCHEN
				L.A.	LABORATORY	L.A.	LABORATORY
				LAM.	LAMINATE	LAM.	LAMINATE
				LAV.	LAVATORY	LAV.	LAVATORY
				LKR.	LOCKER	LKR.	LOCKER
				LT.	LIGHT	LT.	LIGHT
				M.C.	MEDICINE CABINET	M.C.	MEDICINE CABINET
				M.O.	MASONRY OPENING	M.O.	MASONRY OPENING
				MAX.	MAXIMUM	MAX.	MAXIMUM
				MDF.	MEDIUM DENSITY FIBERBOARD	MDF.	MEDIUM DENSITY FIBERBOARD
				MECH.	MECHANICAL	MECH.	MECHANICAL
				MEMB.	MEMBRANE	MEMB.	MEMBRANE
				MFR.	MANUFACTURER	MFR.	MANUFACTURER
				MUL.	MULCH	MUL.	MULCH
				MUL.	MULLION	MUL.	MULLION
				T.	TREAD	T.	TREAD
				T&R.	TOP AND BOTTOM	T&R.	TOP AND BOTTOM
				T.C.	TONGUE AND GROOVE	T.C.	TONGUE AND GROOVE
				T.C.F.	TOP OF CURB	T.C.F.	TOP OF CURB
				T.O.	TOP	T.O.	TOP
				T.O.F.	TOP OF FRAMING	T.O.F.	TOP OF FRAMING
				T.O.S.	TOP OF STEEL	T.O.S.	TOP OF STEEL
				T.S.	TOP TUBE	T.S.	TOP TUBE
				T.V.	TELEVISION	T.V.	TELEVISION
				T.W.	TOP OF WALL	T.W.	TOP OF WALL
				TEL.	TELEPHONE	TEL.	TELEPHONE
				TER.	TERRAZZO	TER.	TERRAZZO
				T.H.	THICK	T.H.	THICK
				TYP.	TYPICAL	TYP.	TYPICAL
				U.N.O.	UNLESS NOTED OTHERWISE	U.N.O.	UNLESS NOTED OTHERWISE
				UR.	URINAL	UR.	URINAL
				VCT.	VINYL COMPOSITION TILE	VCT.	VINYL COMPOSITION TILE
				VERT.	VERTICAL	VERT.	VERTICAL
				VEST.	VESTIBULE	VEST.	VESTIBULE
				V.I.F.	VERIFY IN FIELD	V.I.F.	VERIFY IN FIELD
				W.	WEST	W.	WEST
				W.C.	WATER CLOSET	W.C.	WATER CLOSET
				W/	WITH	W/	WITH
				W/O	WITHOUT	W/O	WITHOUT
				WD.	WOOD	WD.	WOOD
				WDW.	WINDOW	WDW.	WINDOW
				WP.	WATERPROOF	WP.	WATERPROOF
				WT.	WAINTSCOT	WT.	WAINTSCOT
				WT.	WEIGHT	WT.	WEIGHT
				XFRM.	TRANSFORMER	XFRM.	TRANSFORMER

## SCOPE OF WORK - PROJECT DESCRIPTION

- PROJECT ENTAILS INITIAL BUILD OUT OF A TENANT SPACE (THREE SUITES CONVERTED TO ONE) LOCATED IN AN EXISTING BUILDING AT 2800 HARBOR BLVD. COSTA MESA, CA 92626. THIS PROJECT DOES NOT ENTAIL REMODEL OF EXISTING FAÇADE OR EXTERIOR AT THIS LOCATION. THE SPACE IS TO BE A VETERINARY EMERGENCY FACILITY FRAMED WITH LIGHT GAUGE STEEL.

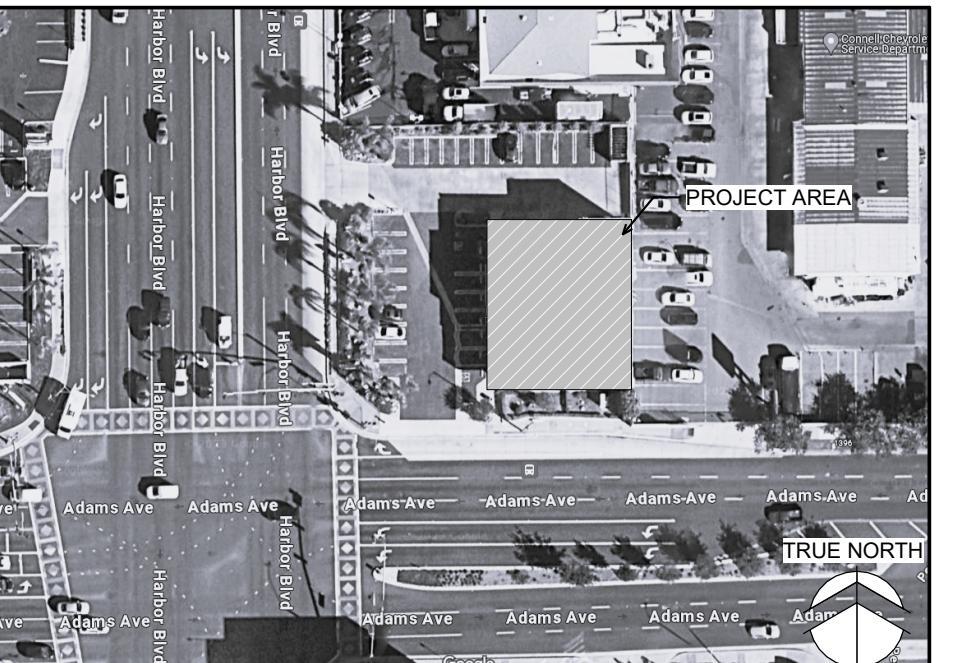
## DEFERRED SUBMITTALS

- FINAL FIRE ALARM AND DETECTION SYSTEMS
- EXTERIOR SIGNAGE
- COMPRESSED GAS PERMIT

## LEGAL DESCRIPTION

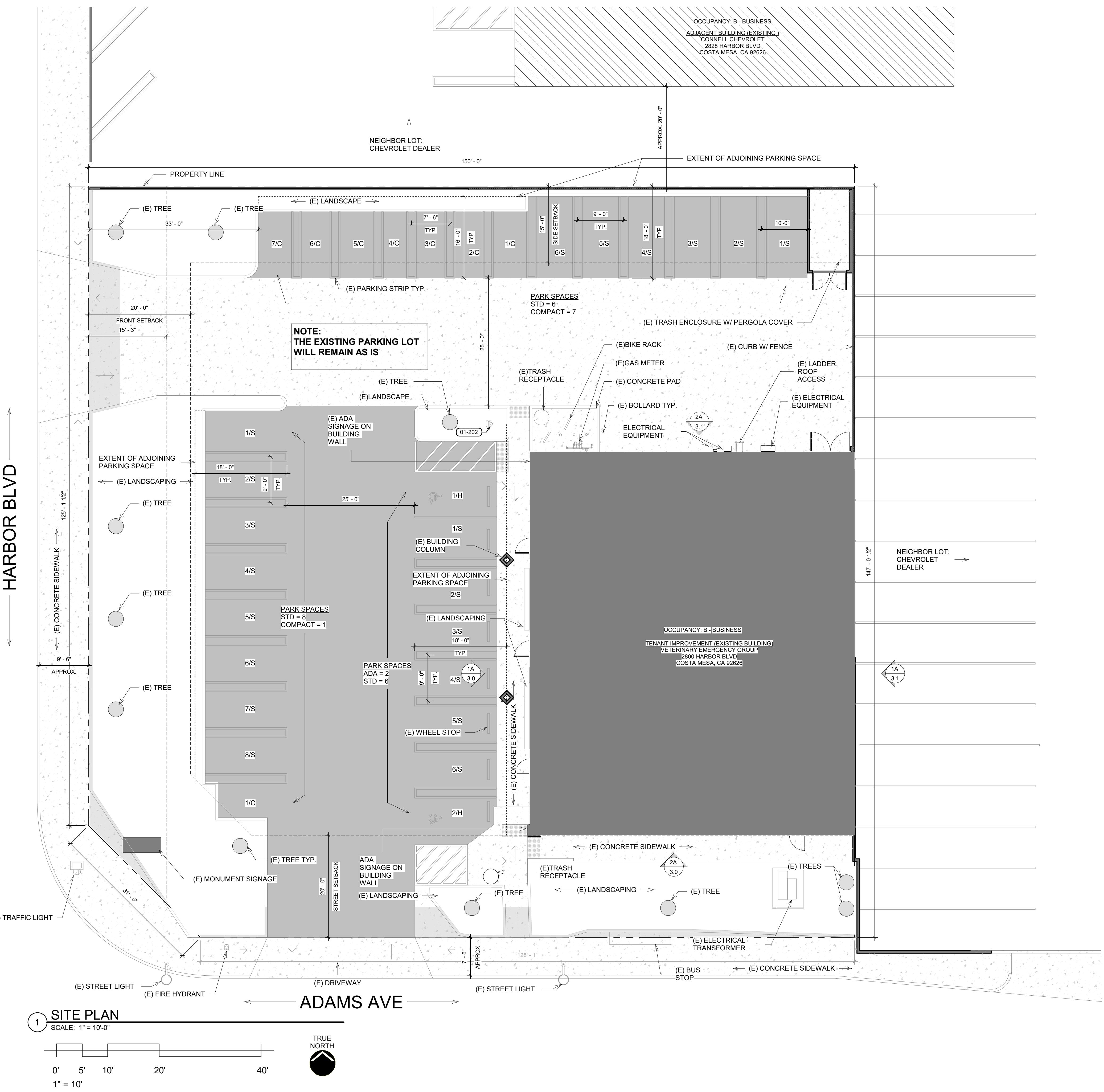
THE SOUTH 150.00 FEET OF THE WEST 150.00 FEET MEASURED FROM THE TANGENT PORTIONS OF THE SOUTH AND WEST LINES OF THOSE PORTIONS OF BLOCKS A, B, G, H, K AND L OF FAIRVIEW, IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 25, PAGES 77 AND 78 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF LOS ANGELES COUNTY, CALIFORNIA TOGETHER WITH THOSE PORTIONS OF CYPRESS AVENUE, ELM AVENUE, MYRTLE AVENUE AND FAIRVIEW STREET SHOWN ON SAID MAP AND VACATED BY ORDER OF THE BOARD OF SUPERVISORS OF SAID ORANGE COUNTY, JUNE 16, 1942, A CERTIFIED COPY OF WHICH WAS RECORDED JUNE 20, 1942 IN BOOK 1135, PAGE 566 OF OFFICIAL RECORDS, AND THAT PORTION OF FAIRVIEW AVENUE, NOW KNOWN AS HARBOR BOULEVARD AS SHOWN ON SAID MAP.

## VICINITY PLAN



## DIRECTORY

OWNER	MECHANICAL & PLUMBING
NAME	WRIGHT ENGINEERING
ADDRESS	44 S. BROADWAY, LL3
CONTACT	RYAN BROWN
PHONE	303.819.9763
E-MAIL	ashleyhoults@wight-engineering.com
ARCHITECT	TERWISSCHA CONSTRUCTION, INC.
NAME	TERWISSCHA CONSTRUCTION, INC.
ADDRESS	1550 WILLMAR AVENUE S.E.
CONTACT	TERWISSCHA CONSTRUCTION, INC.
PHONE	320.235.3137
E-MAIL	tparsen@twcinc.com
ELECTRICAL	WILLMAR ELECTRIC SERVICE
NAME	WILLMAR ELECTRIC SERVICE
ADDRESS	1550 WILLMAR AVENUE S.E.
CONTACT	TERWISSCHA CONSTRUCTION, INC.
PHONE	320.235.3137
E-MAIL	tparsen@twcinc.com
STRUCTURAL	CALGREEN
NAME	CALGREEN
ADDRESS	190 UNION ST, SUITE 303
CONTACT	TERWISSCHA CONSTRUCTION, INC.
PHONE	330.316.0873
E-MAIL	tparsen@twcinc.com
MECHANICAL	STRUCTURAL
NAME	STRUCTURAL
ADDRESS	190 UNION ST, SUITE 303
CONTACT	TERWISSCHA CONSTRUCTION, INC.
PHONE	330.316.0873
E-MAIL	tparsen@twcinc.com
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**VETERINARY EMERGENCY  
GROUP - COSTA MESA**

 2800 HARBOR BLVD  
 COSTA MESA, CA 92626

**GENERAL NOTES**

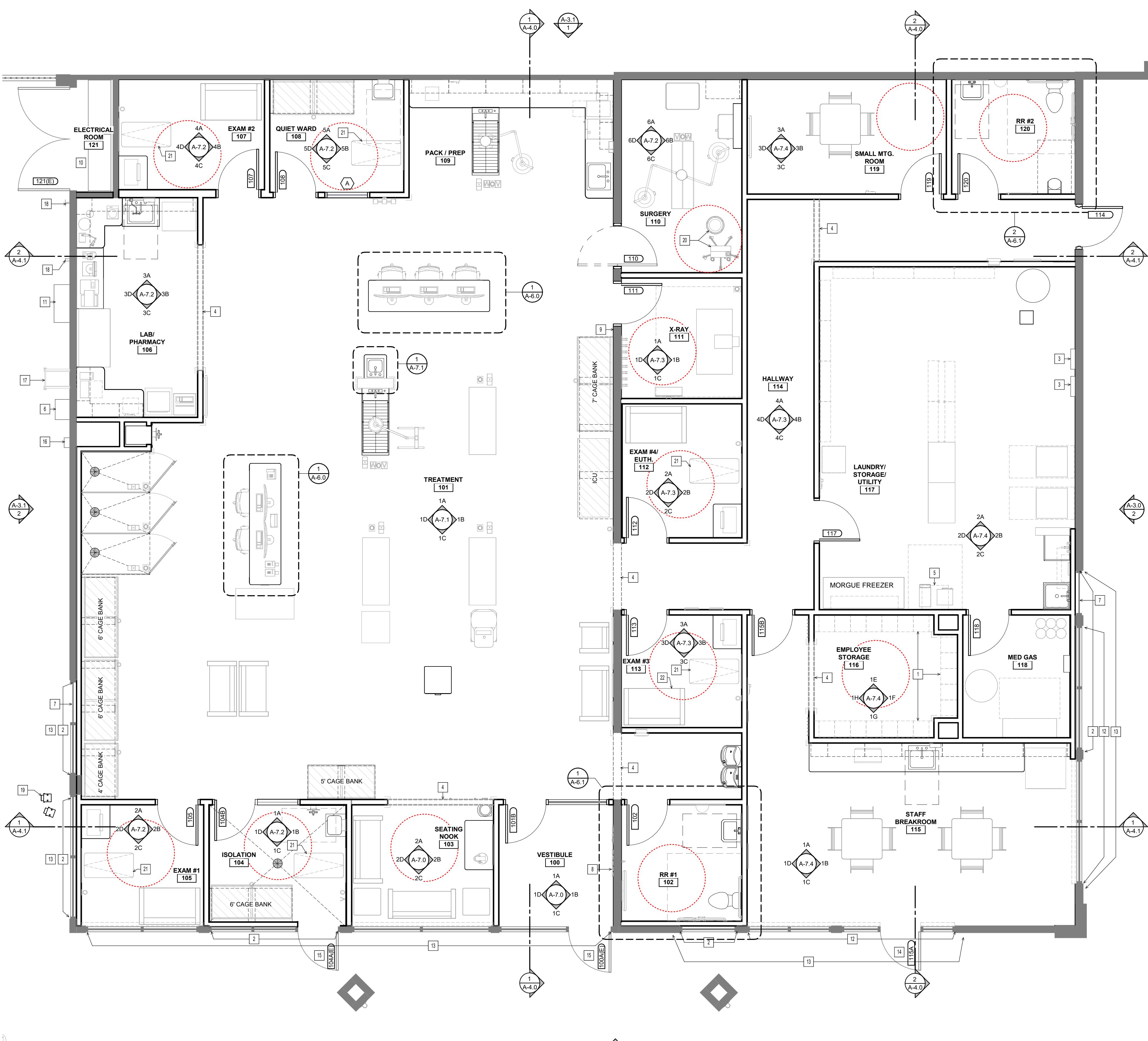
1. RE: DOOR & WINDOW SCHEDULE A-8.0 FOR SIZES AND TYPES.
2. RE: CS-0.1 FOR CODE, OCCUPANCY AND TYPICAL MOUNTING HEIGHT INFO.
3. RE: A-5.4, A-5.5, & A-5.6 FOR MILLWORK DETAILS.
4. ALL EXISTING COLUMNS TO REMAIN.

**LEGEND**

SYMBOL	DESCRIPTION
	INDICATES EXISTING WALL
	INDICATES CAGE LOCATIONS
	ADA CIRCULAR TURNING SPACE: 60 INCH DIAMETER MIN.

**FLOOR PLAN - WORKING NOTES**

SYMBOL	DESCRIPTION
1	CUSTOM BUILT MILLWORK FOR EMPLOYEE STORAGE. REFER TO SHEET A-5.6.
2	PROVIDE FULL HEIGHT REFLECTIVE FILM TO WINDOW PER SPEC.
3	ELECTRIC PANELS: RE: ELECT. DWGS.
4	BULKHEAD ABOVE: RE: RCP
5	I.T. RACK MOUNTING LOCATION
6	MANUAL TRANSFER SWITCH: RE: ELECT. DWGS.
7	EXISTING DOOR HARDWARE TO BE REMOVED/ BOLTED SHUT. PATCH AND REPAIR TO MATCH EXISTING COLOR.
8	SIGNAGE PROVIDED BY OTHERS
9	PROVIDE ACTIVATION BUTTON FOR XRAY RIGHT OUTSIDE DOOR; RE: ELECTRICAL DRAWINGS FOR MORE INFO
10	EXISTING ROOM TO REMAIN AS IS
11	EXISTING METER: RE: ELECT. DWGS. G.C. TO VERIFY LOCATION IN FIELD AND IF DIFFERENT CONDITION IS FOUND NOTIFY ARCHITECT
12	REMOVE EXISTING WOOD SLATS ON LOWER PORTION OF WINDOW. G.C. TO ADD ALTERNATE FOR ADDITION/REPLACEMENT OF GLASS AS REQUIRED - VERIFY WITH OWNER FOR APPROVAL
13	PREP AND REPAINT ALL EXISTING STOREFRONT FRAMES (INSIDE AND OUTSIDE). VERIFY COLOR WITH OWNER
14	EXISTING DOOR HARDWARE TO BE REPLACED WITH A SINGLE DOOR CENTERED AT SF. FRAME COLOR TO MATCH EXISTING ADJACENT
15	G.C. TO ADD ALTERNATE FOR REPLACEMENT OF SF DOOR - CONFIRM EXISTING CONDITIONS WITH OWNER TO DETERMINE REPLACEMENT APPROVAL
16	GENERATOR TAN BOX: RE: ELECTRICAL DRAWINGS
17	EXISTING ROOF ACCESS TO REMAIN
18	EXISTING EQUIPMENT PANEL REMAIN
19	EXISTING GAS METER: RE: PLUMBING DWGS
20	MOVABLE EQUIPMENT: RE: EQUIPMENT PLAN & SCHEDULE
21	EXAM TABLE TO BE FOLDED UP WHEN NOT IN USE; RE: EQUIPMENT PLAN & SCHEDULE
22	MOVABLE FURNITURE: RE: EQUIPMENT PLAN & SCHEDULE


**FLOOR PLAN**

 SCALE: 1/4" = 1'-0"  
 0' 2' 4' 8' 16'  
 1/4" = 1'

PROJECT NORTH

A-2.0

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PROJ. NO: 45-24-404

DRAWN BY: RCR

CHECKED BY: WW

 ISSUE SCHEDULE  
 NO. DESCRIPTION DATE  
 1 FOR CONSTRUCTION 06/26/24

 REVISION SCHEDULE  
 NO. DESCRIPTION DATE  
 1 CUP COMMENTS 05/10/24

 SEAL  
 LICENSED ARCHITECT  
 TIMOTHY JAY PARSONS  
 C-38144  
 STATE OF CALIFORNIA  
 RENEWAL DATE  
 7-31-2025



**VETERINARY EMERGENCY  
GROUP - COSTA MESA**

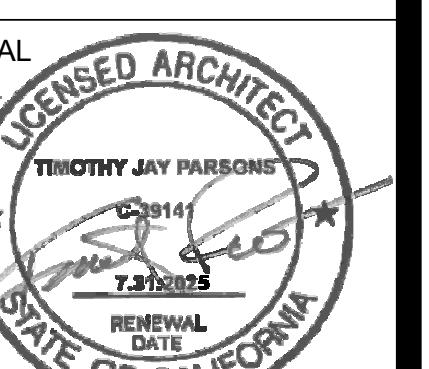
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CHECKED BY: WW

ISSUE SCHEDULE  
NO. DESCRIPTION DATE  
1 FOR CONSTRUCTION 06/26/24

REVISION SCHEDULE  
NO. DESCRIPTION DATE  
3 CUP COMMENT 3 07/24/24



EXTERIOR ELEVATIONS

**GENERAL NOTES**

1. NEWLY INSTALLED FINISH MATERIAL SHALL COMPLY WITH SECTIONS 5.504.4.1 THROUGH 5.504.4.8.1 FROM CHAPTER 5 OF THE 2022 CALIFORNIA GREEN BUILDING CODE.

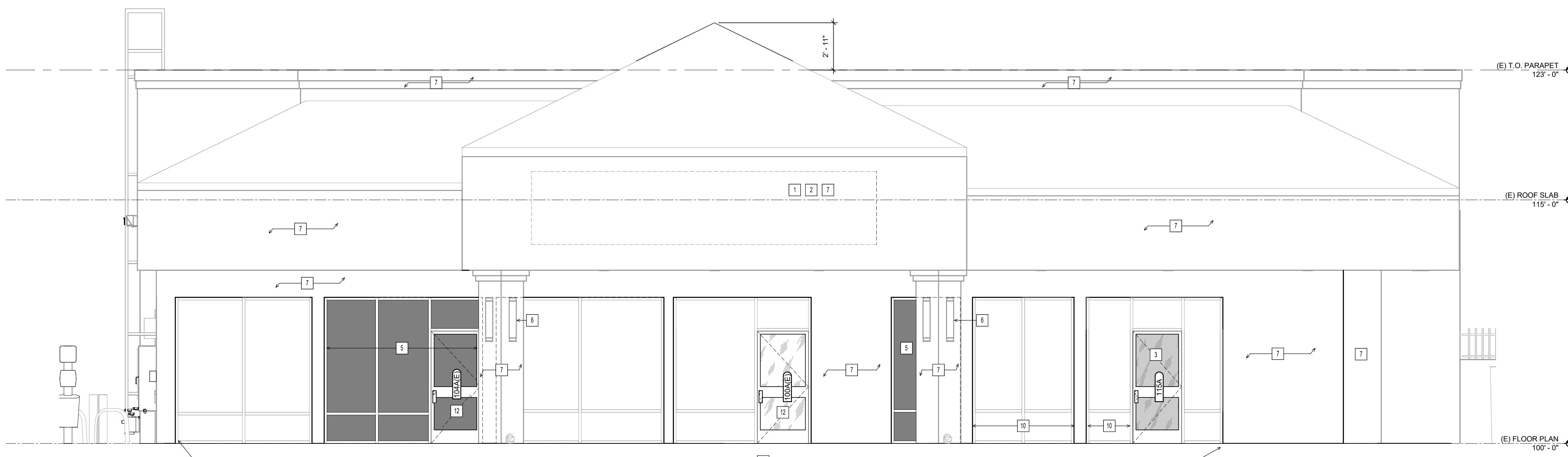
**LEGEND**

**WINDOW FILM SPECIFICATIONS**

SYMBOL	FINISH DESCRIPTION
	REFLECTIVE WINDOW FILM MFR: 3M SUN CONTROL WINDOW FILM PRODUCT: AFFINITY 15

**EXTERIOR ELEV. - WORKING NOTES**

SYMBOL	DESCRIPTION
1	ELECTRICAL CONTRACTOR TO PROVIDE ELECTRICAL CONNECTION AND J-BOX AS REQUIRED FOR SIGN
2	G.C. TO COORDINATE LOCATION WITH SIGN VENDOR AND OWNER. SIGN VENDOR TO MAKE FINAL CONNECTIONS AND TEST PRIOR TO TURN OVER
3	EXISTING DOUBLE DOORS TO BE REPLACED WITH A SINGLE DOOR CENTERED AT SF. FRAME COLOR TO MATCH EXISTING ADJACENT
4	EXISTING DOOR HARDWARE TO BE REMOVED/BOLTED SHUT. PATCH AND REPAIR TO MATCH EXISTING AS NEEDED
5	PROVIDE NEW REFLECTIVE FILM ON INTERIOR SIDE OF WINDOW TO FULL HEIGHT; RE: SPECS
6	TYPICAL EXISTING LIGHTING TO REMAIN
7	REPAIN ALL EXISTING EXTERIOR STUCCO FINISHES WITH SHERWIN WILLIAMS SW7647 "CRUSHED ICE"
8	EXISTING METER: RE-ELECT. DWGS. G.C. TO VERIFY LOCATION IN FIELD AND IF DIFFERENT CONDITION IS FOUND NOTIFY ARCHITECT
9	GENERAL APPROVAL OF ALL EXISTING DRAWINGS
10	REMOVE EXISTING WOOD SLATS ON LOWER PORTION OF WINDOW. G.C. TO ADD ALTERNATE FOR ADDITION/REPLACEMENT OF GLASS AS REQUIRED - VERIFY WITH OWNER FOR APPROVAL
11	CLEAN AND REPAIN STOREFRONT (INSIDE AND OUT) AS NECESSARY DUE TO EXISTING WEAR AND TEAR
12	G.C. TO CARRY AN ADD ALTERNATE FOR REPLACEMENT OF DOORS AS NECESSARY. EXISTING CONDITION TO BE VERIFIED BY G.C.
13	EXISTING EQUIPMENT PANEL REMAIN
14	EXISTING ROOF ACCESS TO REMAIN

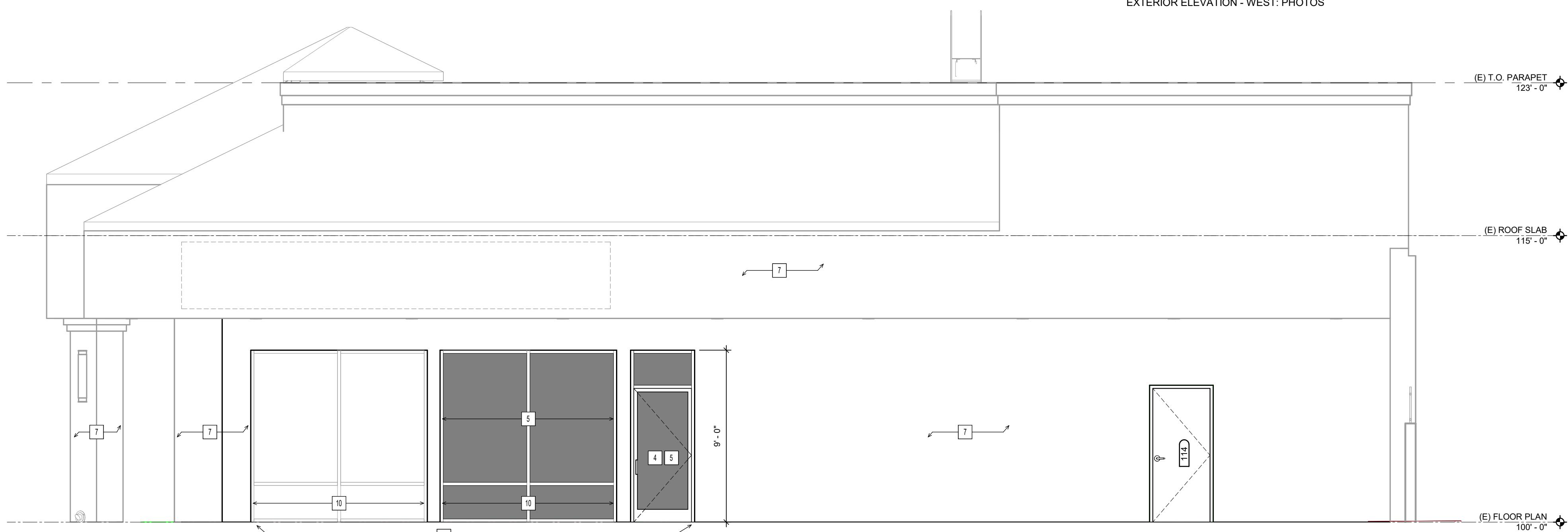


**1 EXTERIOR ELEVATION - WEST**

SCALE: 1/4" = 1'-0"  
0' 2' 4' 8' 16'  
1/4" = 1'



EXTERIOR ELEVATION - WEST: PHOTOS



**2 EXTERIOR ELEVATION - SOUTH**

SCALE: 1/4" = 1'-0"  
0' 2' 4' 8' 16'  
1/4" = 1'



EXTERIOR ELEVATION - SOUTH: PHOTO



**VETERINARY EMERGENCY  
GROUP - COSTA MESA**

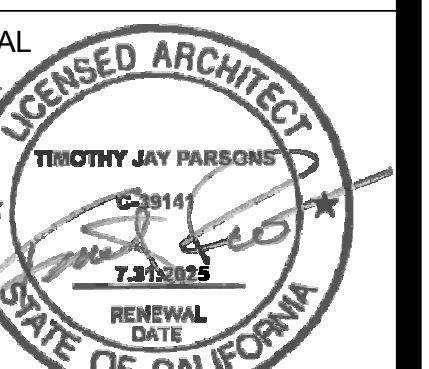
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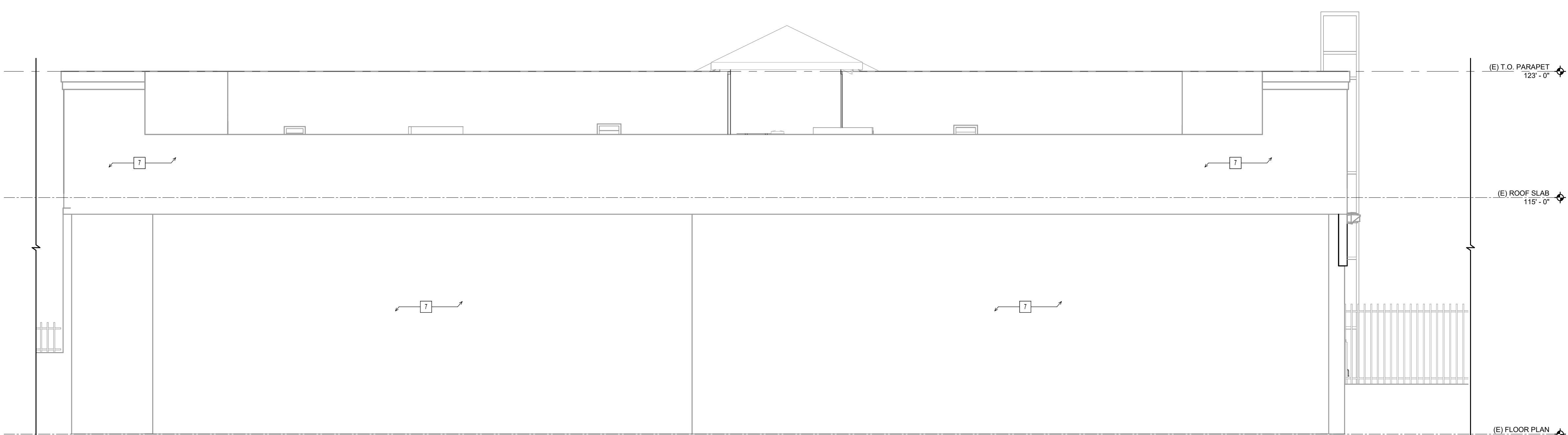
ISSUE SCHEDULE  
NO. DESCRIPTION DATE  
1 FOR CONSTRUCTION 06/26/24

REVISION SCHEDULE  
NO. DESCRIPTION DATE  
3 CUP COMMENT 3 07/02/24



EXTERIOR ELEVATIONS

GENERAL NOTES	
1. NEWLY INSTALLED FINISH MATERIAL SHALL COMPLY WITH SECTIONS 5.504.4.1 THOUGH 5.504.4.8.1 FROM CHAPTER 5 OF THE 2022 CALIFORNIA GREEN BUILDING CODE.	
LEGEND	
WINDOW FILM SPECIFICATIONS	
SYMBOL	FINISH DESCRIPTION
	REFLECTIVE WINDOW FILM MFR: 3M SUN CONTROL WINDOW FILM PRODUCT: AFFINITY 15
EXTERIOR ELEV. - WORKING NOTES	
SYMBOL	DESCRIPTION
1	ELECTRICAL CONTRACTOR TO PROVIDE ELECTRICAL CONNECTION AND J-BOX AS REQUIRED FOR SIGNAGE
2	G.C. TO COORDINATE LOCATION WITH SIGN VENDOR AND OWNER. SIGN VENDOR TO MAKE FINAL CONNECTIONS AND TEST PRIOR TO TURN OVER
3	EXISTING DOUBLE DOORS TO BE REPLACED WITH A SINGLE DOOR CENTERED AT SF. FRAME COLOR AND FINISHING ADJACENT
4	EXISTING DOOR HARDWARE TO BE REMOVED/ BOLTED SHUT, PATCH AND REPAIR TO MATCH EXISTING AS NEEDED
5	PROVIDE NEW REFLECTIVE FILM ON INTERIOR SIDE OF WINDOW TO FULL HEIGHT; RE: SPECS
6	TYPICAL EXISTING LIGHTING TO REMAIN
7	REPAIN ALL EXISTING EXTERIOR STUCCO FINISHES WITH SHERWIN WILLIAMS SW7647 'CRUSHED ICE'
8	EXISTING DOOR RE: ELECT. DWGS. G.C. TO VERIFY LOCATION IN FIELD AND IF DIFFERENT CONDITION IS FOUND NOTIFY ARCHITECT
9	GENERATOR TAP BOX RE: ELECTRICAL DRAWINGS
10	REMOVE EXISTING WOOD SLATS ON LOWER PORTION OF WINDOW. G.C. TO ADD ALTERNATE FOR ADDITION/REPLACEMENT OF GLASS AS REQUIRED - VERIFY WITH OWNER FOR APPROVAL
11	CLEAN AND REPAINT STOREFRONT (INSIDE AND OUT) AS NECESSARY DUE TO EXISTING WEAR AND TEAR
12	G.C. TO VERIFY AN ADD ALTERNATE FOR REPLACEMENT OF DOORS AS NECESSARY. EXISTING CONDITION TO BE VERIFIED BY G.C.
13	EXISTING EQUIPMENT PANEL REMAIN
14	EXISTING ROOF ACCESS TO REMAIN

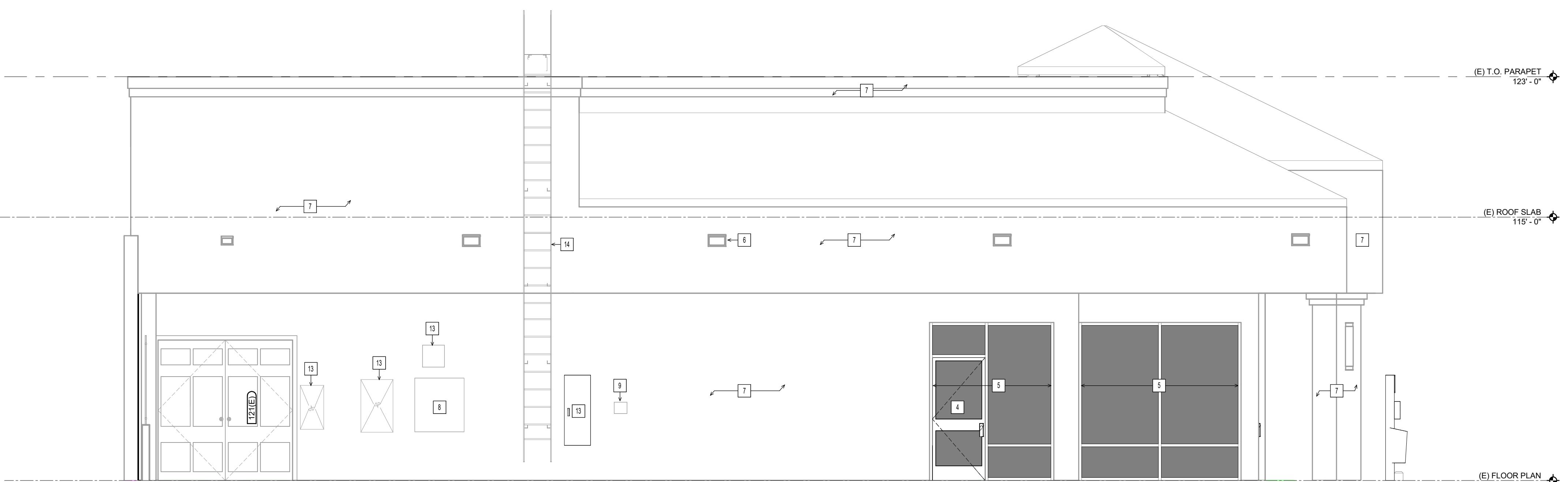


1 EXTERIOR ELEVATION - EAST

SCALE: 1/4" = 1'-0"  
0' 2' 4' 8' 16'  
1/4" = 1'



EXTERIOR ELEVATION - EAST: PHOTO



2 EXTERIOR ELEVATION - NORTH

SCALE: 1/4" = 1'-0"  
0' 2' 4' 8' 16'  
1/4" = 1'



EXTERIOR ELEVATION - NORTH: PHOTO

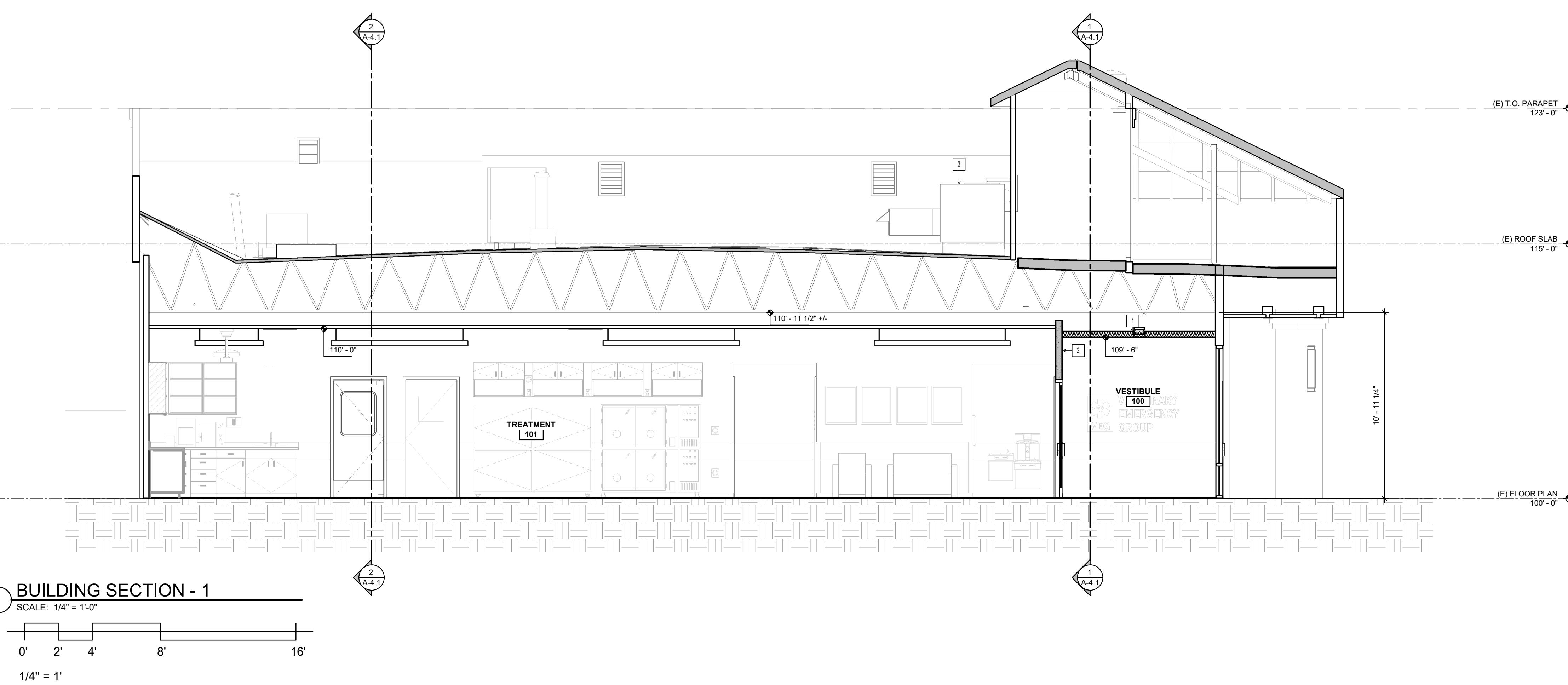
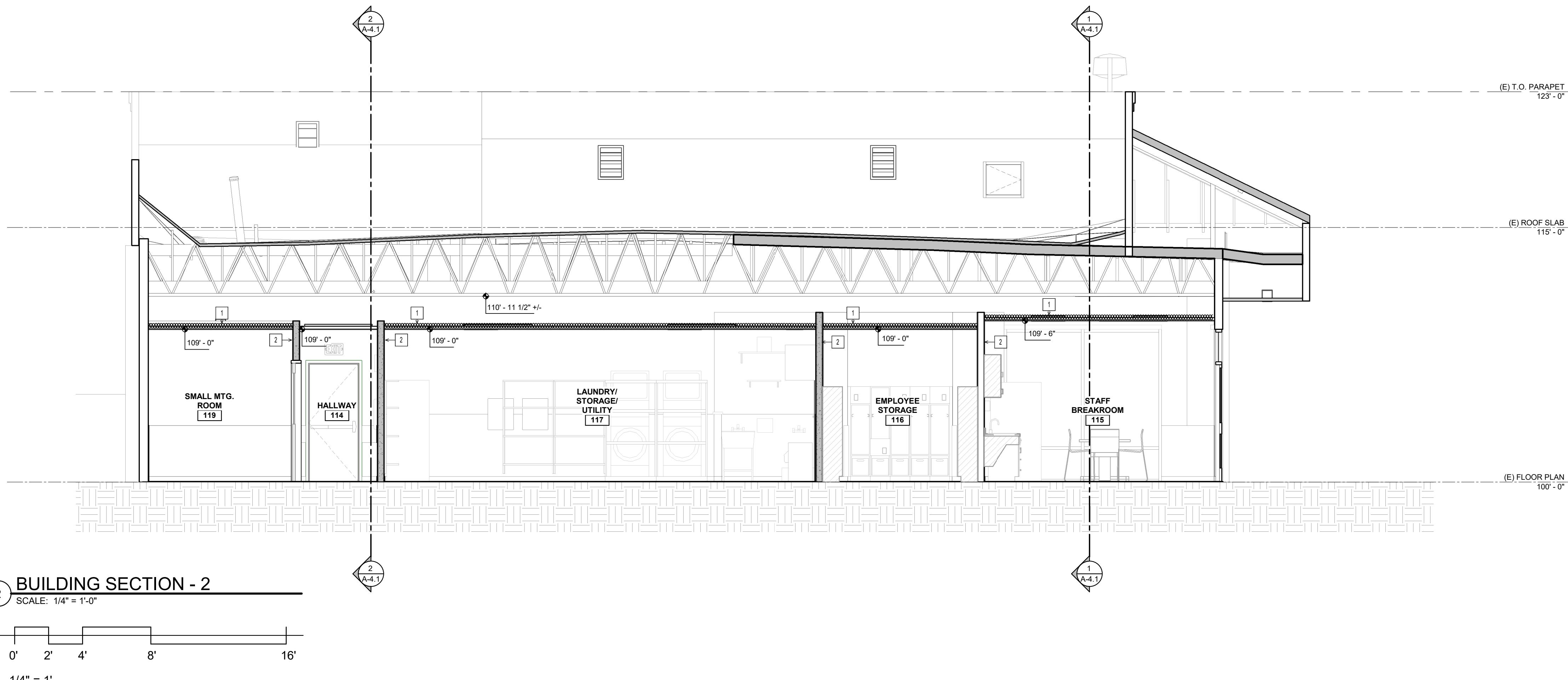


**VEG**

**VETERINARY EMERGENCY  
GROUP - COSTA MESA**

2800 HARBOR BLVD  
COSTA MESA, CA 92626

BUILDING SECTIONS - WORKING NOTES	
SYMBOL	DESCRIPTION
1	PROVIDE LOOSE LAD BATT INSULATION ABOVE CEILINGS WHERE SOUND INSULATION IN SURROUNDING WALLS OCCUR. RE: DM PLATE AND RCP A-25
2	WALL WITH SOUND INSULATION: RE: WALL TYPES
3	INSTALL NEW ROOFTOP UNITS ON EXISTING ROOF CURB AND PROVIDE CURB ADAPTER. RE: MECHANICAL DWG
4	INSTALL NEW EXHAUST FANS ON EXISTING ROOF CURB AND PROVIDE CURB ADAPTER. RE: MECHANICAL DWG



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PROJ. NO: 45-24-404  
DRAWN BY: RCR  
CHECKED BY: WW

ISSUE SCHEDULE  
NO. DESCRIPTION DATE  
1 FOR CONSTRUCTION 06/26/24

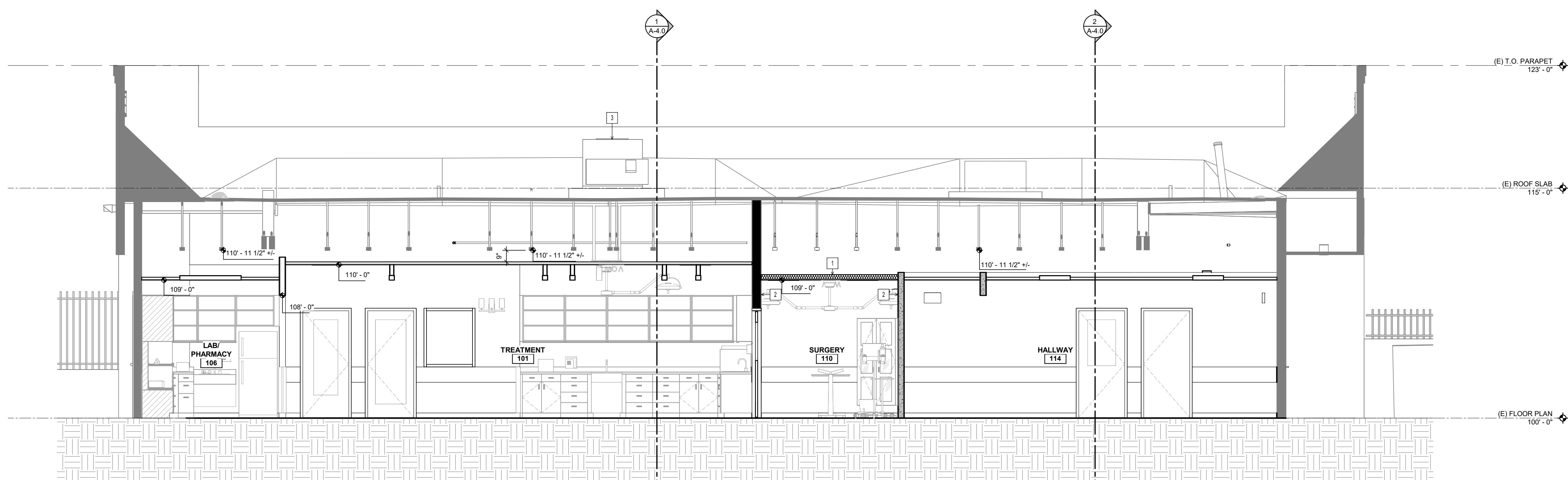
REVISION SCHEDULE  
NO. DESCRIPTION DATE  
3 CUP COMMENT 3 07/02/24

SEAL  
LICENSED ARCHITECT  
TIMOTHY JAY PARSONS  
C-38144  
T-38155  
RENEWAL DATE  
STATE OF CALIFORNIA

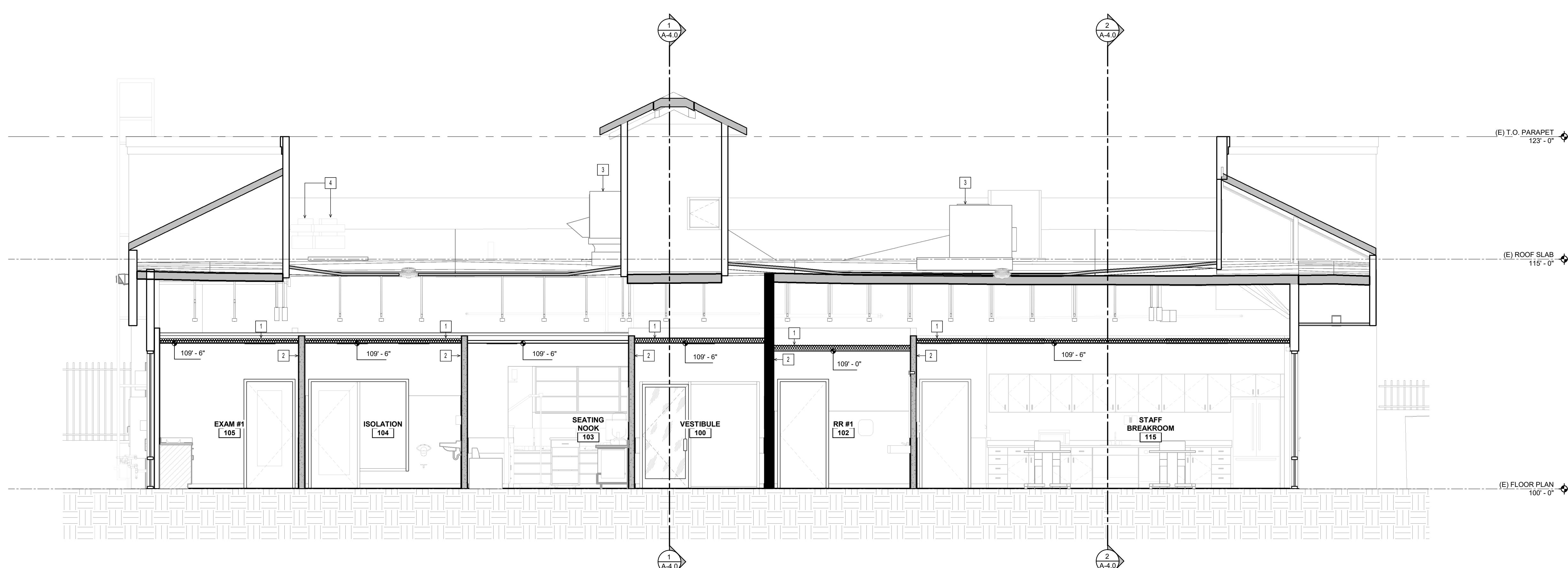
BUILDING SECTIONS

**A-4.0**

BUILDING SECTIONS - WORKING NOTES	
SYMBOL	DESCRIPTION
1	PROVIDE LOOSE LAD BATT INSULATION ABOVE CEILINGS WHERE SOUND INSULATION IN SURROUNDING WALLS OCCUR. RE: DM PLATE AND RCP A-2.5
2	WALL WITH SOUND INSULATION: RE: WALL TYPES
3	INSTALL NEW ROOFTOP UNITS ON EXISTING ROOF CURB AND PROVIDE CURB ADAPTER. RE: MECHANICAL DWG
4	INSTALL NEW EXHAUST FANS ON EXISTING ROOF CURB AND PROVIDE CURB ADAPTER. RE: MECHANICAL DWG


**BUILDING SECTION - 4**

SCALE: 1/4" = 1'-0"  
 0' 2' 4' 8' 16'  
 1/4" = 1'


**BUILDING SECTION - 3**

SCALE: 1/4" = 1'-0"  
 0' 2' 4' 8' 16'  
 1/4" = 1'

**VETERINARY EMERGENCY  
GROUP - COSTA MESA**

 2800 HARBOR BLVD  
 COSTA MESA, CA 92626

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REVISION SCHEDULE  
 NO. DESCRIPTION DATE  
 3 CUP COMMENT 3 07/02/24

SEAL  
 LICENSED ARCHITECT  
 TIMOTHY JAY PARSONS  
 C-38144  
 7-31-2025  
 STATE OF CALIFORNIA  
 RENEWAL DATE  
 7-31-2025

BUILDING SECTIONS

A-4.1