

<u>ROOM NAME</u>	<u>AREA</u>	<u>LOAD</u>	<u>OCC.</u>	<u>REGD EXIT</u>	<u>PROVIDED EXIT</u>
WAITING ROOM	220	100	3	1	1
RETAIL SHOWROOM	1,249	100	12	1	2
OFFICE	195	100	1	1	1
STORAGE:	380	300	1	1	1
BREAKROOM:	207	300	1	1	1
RESTROOM:	75	300	1	1	1
TOTAL GROSS FLOOR AREA	= 2,260 SQ.FT.				

PARKING TABULATIONS

PARKING SPACES                  2,260 / 250 = 9 SPACES REQUIRED  
     10 SPACES PROVIDED

2' X 6' BIKE STORAGE PROVIDED

1 STORY BUILDING  
LOT AREA                              8,800 SQ.FT.

OCCUPANCY USE:  
RETAIL SPACE

SCOPE OF WORK:  
TENANT IMPROVEMENT TO AN EXISTING COMMERCIAL SPACE FOR THE USE OF RETAIL CANNABIS OPERATION.

ROOM NAME	AREA	LOAD	OCC.	REGD EXIT	PROVIDED EXIT
WAITING ROOM	220	100	3	1	1
RETAIL SHOWROOM	1,243	100	12	1	2
OFFICE	135	100	1	1	1
STORAGE:	350	300	1	1	1
BREAKROOM:	201	300	1	1	1
RESTROOM:	75	300	1	1	1

TOTAL GROSS FLOOR AREA	= 2,280 SQ.FT.
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PARKING SPACES	2,280 / 250 = 9 SPACES REQUIRED 10 SPACES PROVIDED
	2' X 6' BIKE STORAGE PROVIDED

1 STORY BUILDING  
LOT AREA 8,800 SQ.FT.

## RETAIL SPACE

TENANT IMPROVEMENT TO AN EXISTING COMMERCIAL SPACE FOR THE USE OF RETAIL CANNABIS OPERATION.

**CONSULTANTS**

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**ARCHITECTURAL:**  
**GULIAN DESIGN ARCHITECTS, INC.**  
5055 NAPLES PLAZA, SUITE 212  
LONG BEACH, CA 90803  
(562) 434-6443 FH  
(562) 434-1544 FAX  
CONTACT: EDWARD GULIAN  
eg@guliandesign.com

**STRUCTURAL ENGINEERING:**  
**AB STRUCTURAL ENGINEERING**  
STRUCTURAL CONSULTANTS  
3450 SPRING STREET UNIT 106  
LONG BEACH, CA 90806  
(562) 235-4572  
CONTACT: AHMED BOUZARIF - "ALAN"  
ENGINEER OF RECORD: Zouheir Salah RFE# 42651

<b><u>PROJECT LEGEND</u></b>	
<b><u>CLIENT:</u></b> EVOLVE HERBAL, LLC 1850 NEWPORT BLVD. COSTA MESA, CA 92627	
<b><u>PROJECT ADDRESS</u></b> 1850 NEWPORT BLVD. COSTA MESA, CA 92627	
<b><u>LEGAL DESCRIPTION:</u></b> APN: 425-425-21	
<b><u>ZONING INFORMATION</u></b>	
ZONE:	C-2 (GENERAL BUSINESS)
OCCUPANCY:	B-1
FLOOD ZONE:	X
CONSTRUCTION TYPE:	TYPE V-B
FIRE SPRINKLERS:	N/A
<b><u>ENFORCING CODES:</u></b>	
CURRENT EDITION OF THE CALIFORNIA BUILDING CODE TITLE 24 OF THE CALIFORNIA CODES OF REGULATIONS	
PART 1	CALIFORNIA ADMINISTRATION CODE (CAC)
PART 2	CALIFORNIA BUILDING CODE (CBC)
PART 3	CALIFORNIA RESIDENTIAL CODE (CRC)
PART 4	CALIFORNIA ELECTRICAL CODE (CEC)
PART 5	CALIFORNIA MECHANICAL CODE (CMC)
PART 6	CALIFORNIA PLUMBING CODE (CPC)
PART 7	CALIFORNIA ENERGY CODE (CEEC)
PART 8	VACANT
PART 9	CALIFORNIA HISTORICAL BUILDING CODE (CHBC)
PART 10	CALIFORNIA FIRE CODE (FCG)
PART 11	CALIFORNIA EXISTING BUILDING CODE (CEBC)
PART 12	CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGreen)

# SITE PLAN NOTES

1. ALL DIMENSIONS ON THIS PLAN ARE CLEAR DIMENSIONS FROM FINISH TO PROPERTY LINES. CONTRACTORS SHALL VERIFY DISTANCES TO ACCOMMODATE STRUCTURE AND FINISHES TO ALLOW FOR THESE CLEAR DIMENSIONS - TYP.
2. AFTER DEMOLITION AND REMOVAL OF EXISTING STRUCTURE, CONTRACTOR SHALL CONTRACT A SOILS ENGINEER TO VERIFY 40% SOIL COMPACTION.
3. ALL UTILITIES SHALL BE REPLACED AND UPGRADED. ELECTRICAL SHALL BE UNDERGROUND 200AMP SERVICE. GAS SHALL BE RAN TO NEW METER LOCATION INDICATED BY DEPARTMENT OF GAS. WATER SUPPLY SHALL BE RAN FROM EXISTING WATER METER INTO HOUSE WITH 1-1/2" MAIN COPPER PIPING.
4. DURING CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE TEMPORARY FACILITIES FOR TOILET, SECURITY FENCING AND ALL UTILITIES TO PERFORM WORK AT SITE WITH ADEQUATE EFFICIENCY.

CONSTRUCTION SUNDAY REGULATIONS

THE MUNICIPAL CODE PROHIBITS ANY CONSTRUCTION REQUIRING A PERMIT FROM PRODUCING UNUSUALLY LOUD NOISE DURING THE FOLLOWING HOURS:

WEEKDAYS AND FEDERAL HOLIDAYS: 7:00 P.M. TO 7:00 A.M. THE FOLLOWING WEEKDAY.

SATURDAYS: BEFORE 9:00 A.M. AND AFTER 6:00 P.M.

SUNDAYS: ALL DAY.

UNUSUAL NOISE IS THAT WHICH ANNOYS OR DISTURBS A REASONABLE PERSON OF NORMAL SENSITIVITY. IN ADDITION TO HEALTH DEPARTMENT ACTION, THE REGULATIONS MAY BE ENFORCED BY POLICE OFFICERS. A PERSON FOUND GUILTY OF VIOLATING THE REGULATIONS IS SUBJECT TO A FINE OR IMPRISONMENT, OR BOTH. THE LANDOWNER, CONSTRUCTION COMPANY OWNER, CONTRACTOR, SUB-CONTRACTOR OR EMPLOYER CAN BE A CO-DEFENDANT IF AN EMPLOYEE IS PROSECUTED FOR VIOLATING THE REG. USES. IF GOOD CAUSE IS SHOWN, THE HEALTH DEPARTMENT NOISE CONTROL OFFICER MAY GRANT A PERMIT ALLOWING WORK ON SUNDAYS FROM 9:00 A.M. TO 6:00 P.M. THE BUILDING OFFICIAL MAY AUTHORIZE EMERGENCY WORK TO PROCEED AT ANY TIME PERIOD.

THE NOISE CONTROL OFFICER SHOULD BE CONTACTED AT (562) 570-4000 FOR ANY ADDITIONAL INFORMATION.

5. REMOVE ALL EXTERIOR STUCCO, AND PREPARE FOR NEW SMOOTH STUCCO FINISH.

[illegible][illegible]

**REVISIONS:**



EVOLVE HERBAL, LLC  
CANNABIS RETAIL

1858 NEWPORT BLVD.  
COSTA MESA, CA

**TITLE SHEET**  
**PROJECT DATA**  
**SITE PLAN**

DRAWN BY: EVG

SCALE: NOTED

CAD FILE: ××××××××

PROJECT NO: 52-21

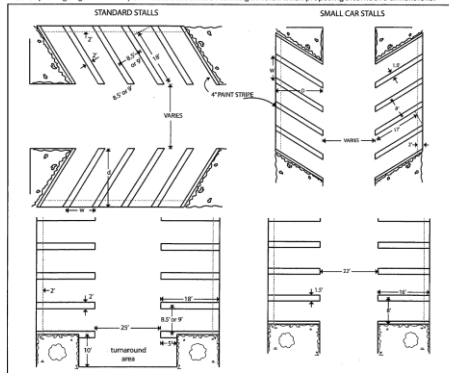
DATE: 10-21-2023

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SHEET OF 15

STANDARDS STALLS					SMALL CAR STALLS			
		Small Dimensions				Small Dimensions		
Parking Area	1 way width	W (Commercial and industrial)	W (Residential)	Parking Area	1 way width	D	W	
30	15/20'	16"	18"	30	15/20'	13"	16 1/2"	
45	15/20'	16 1/2'	13"	45	15/20'	14 1/2'	12"	
50	15/20'	16"	12'	50	15/20'	15"	11"	
60	18/20'	20"	10 1/2'	60	15/20'	16"	10'	
70	18/20'	19 1/2'	9 1/2'	70	15/20'	16"	9 1/2"	
80	23/23'	18"	9"	8 1/2'	80	18 1/2/20'	16"	8"
90	25/25'	18"	9"	8 1/2'	90	22/22'	16"	8"

\*Other parking angles are also permitted. Consult the Planning Division when proposing alternative dimensions.

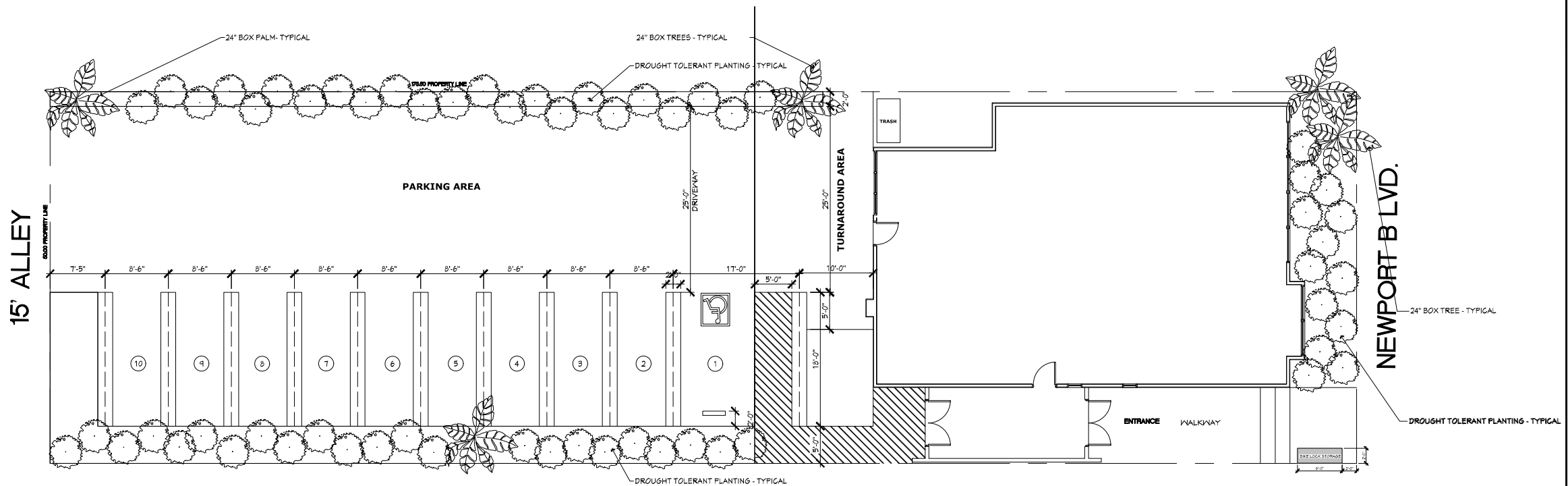
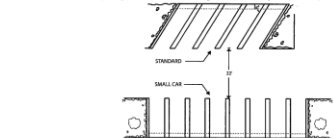
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Total number of Parking Spaces	Required Minimum Number of Accessible Spaces
1 - 25	1
26 - 50	2
51 - 75	3
76 - 100	4
101 - 150	5
151 - 200	6
201 - 300	7
301 - 400	8
401 - 500	9
501 - 1000	6
1001 - over	**

\* 2 percent of total  
\*\* 20 plus 1 for each 100, or fraction thereof, over 100†

One handicapped stall shall be at least 18 feet in length and 17 feet wide. Additional handicapped stalls shall be at least 18 feet in length

12. Where feasible, small car parking shall be provided according to the Drachman System (see below)



LANDSCAPE:

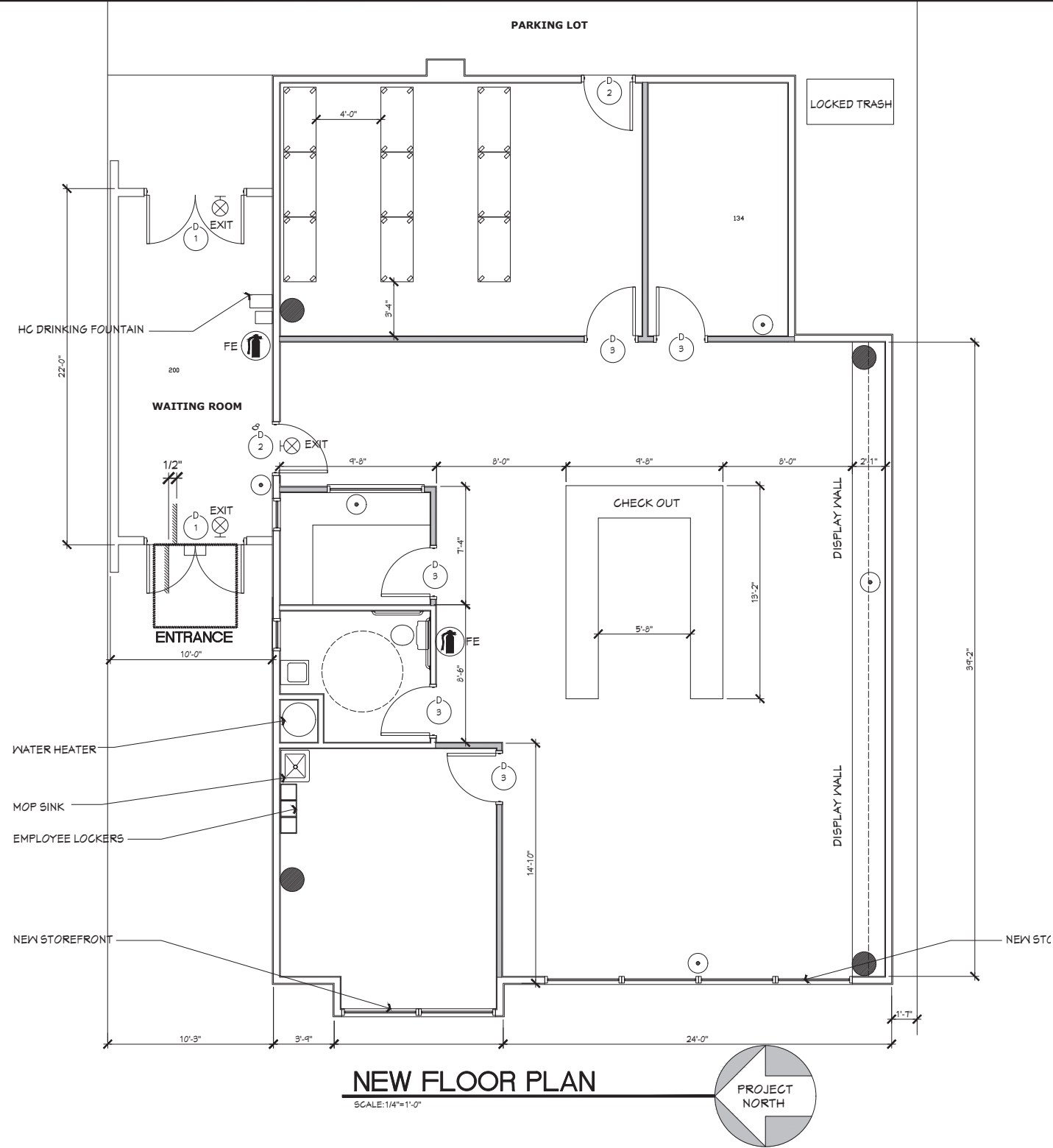
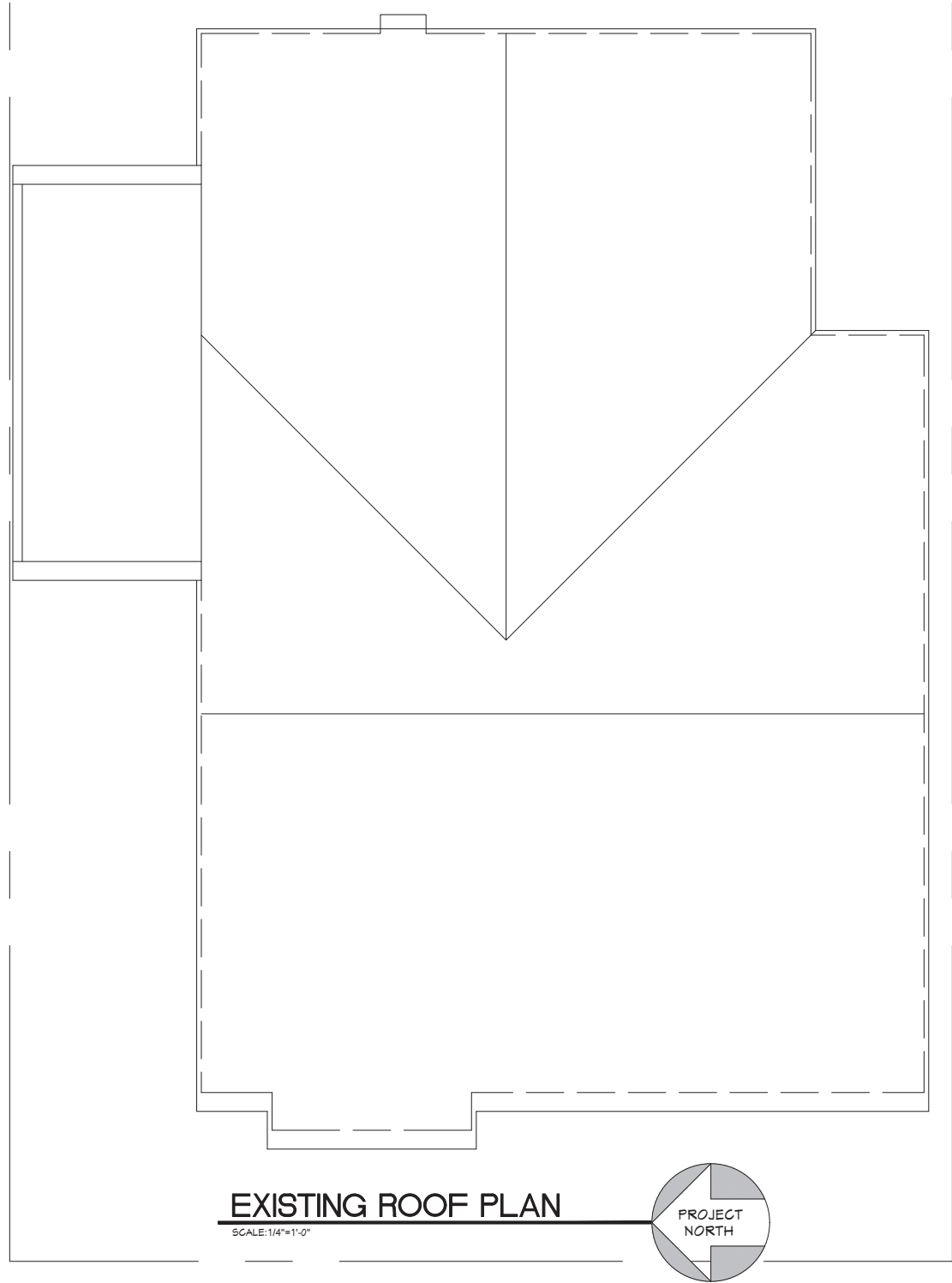
PARKING AREA :	25 SQ. FT. PER SPACE
REQUIRED:	25 SQ. FT. X 10 = 250 SQ. FT.
PROVIDED:	
PARKING AREA:	798 SQ. FT.
FRONT AREA:	336 SQ. FT.
TOTAL LANDSCAPE:	1,134 SQ. FT.

SCALE: 1/8"=1'-0"

TREES: 1 TREE PER 8 SPACES  
REQUIRED: 10 SPACES = 1 TREE  
PROVIDED: 3 TREES



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WALL TYPES LEGEND	
	EXISTING INTERIOR WALLS - TO REMAIN
	EXISTING INTERIOR WALLS - TO BE DEMOLISHED

**GULIAN DESIGN ARCHITECTS**  
5855 NAPLES PLAZA, SUITE #202  
LONG BEACH, CALIFORNIA 90803  
(562) 434-6993

REVISIONS:

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**EVOLVE HERBAL, LLC  
CANNABIS RETAIL**  
1858 NEWPORT BLVD.  
COSTA MESA, CA

**DEMOLITION PLAN  
FIRST FLOOR**

DRAWN BY:	EVG
SCALE:	NOTED
CAD FILE:	XXXXXXXXXX
PROJECT NO.:	52-31
DATE:	10-21-2023

**A1.0**  
SHEET \_\_\_\_ OF 15

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