



# **City of Costa Mesa**

## **PLANNING COMMISSION**

### **Agenda**

---

**Monday, November 14, 2022**

**6:00 PM**

**City Council Chambers  
77 Fair Drive**

---

The Commission meetings are presented in a hybrid format, both in-person at City Hall and virtually via Zoom Webinar. Pursuant to the State of California Assembly Bill 361(Gov. Code §54953(b)(3)) Commission Members and staff may choose to participate in person or by video conference.

You may participate via the following options:

1. Attending in person: Attendees are encouraged to wear masks at their discretion. If you are feeling ill, or if you've been exposed to someone with COVID-19, you may still participate in the meeting via Zoom.
2. Members of the public can view the Commission meetings live on COSTA MESA TV (SPECTRUM CHANNEL 3 AND AT&T U-VERSE CHANNEL 99) or [http://costamesa.granicus.com/player/camera/2?publish\\_id=10&redirect=true](http://costamesa.granicus.com/player/camera/2?publish_id=10&redirect=true) and online at [youtube.com/costamesatv](https://www.youtube.com/costamesatv).

### 3. Zoom Webinar:

Please click the link below to join the webinar:

<https://zoom.us/j/96060379921?pwd=N2lrbzhJM2hWU3puZkk1T3VYTXhoQT09>

Or sign into Zoom.com and “Join a Meeting”

Enter Webinar ID: 960 6037 9921 / Password: 595958

- If Zoom is not already installed on your computer, click “Download & Run Zoom” on the launch page and press “Run” when prompted by your browser. If Zoom has previously been installed on your computer, please allow a few moments for the application to launch automatically.
- Select “Join Audio via Computer.”
- The virtual conference room will open. If you receive a message reading, “Please wait for the host to start this meeting,” simply remain in the room until the meeting begins.
- During the Public Comment Period, use the “raise hand” feature located in the participants’ window and wait for city staff to announce your name and unmute your line when it is your turn to speak. Comments are limited to 3 minutes, or as otherwise directed.

Participate via telephone:

Call: 1 669 900 6833 Enter Webinar ID: 960 6037 9921 / Password: : 595958

During the Public Comment Period, press \*9 to add yourself to the queue and wait for city staff to announce your name/phone number and press \*6 to unmute your line when it is your turn to speak. Comments are limited to 3 minutes, or as otherwise directed.

4. Additionally, members of the public who wish to make a written comment on a specific agenda item, may submit a written comment via email to the [PCPublicComments@costamesaca.gov](mailto:PCPublicComments@costamesaca.gov). Comments received by 12:00 p.m. on the date of the meeting will be provided to the Commission, made available to the public, and will be part of the meeting record.

5. Please know that it is important for the City to allow public participation at this meeting. If you are unable to participate in the meeting via the processes set forth above, please contact the City Clerk at (714) 754-5225 or [cityclerk@costamesaca.gov](mailto:cityclerk@costamesaca.gov) and staff will attempt to accommodate you. While the City does not expect there to be any changes to the above process for participating in this meeting, if there is a change, the City will post the information as soon as possible to the City’s website.

Note that records submitted by the public will not be redacted in any way and will be posted online as submitted, including any personal contact information.

All pictures, PowerPoints, and videos submitted for display at a public meeting must be previously reviewed by staff to verify appropriateness for general audiences. No links to YouTube videos or other streaming services will be accepted, a direct video file will need to be emailed to staff prior to each meeting in order to minimize complications and to play the video without delay. The video must be one of the following formats, .mp4, .mov or .wmv. Only one file may be included per speaker for public comments. Please e-mail to [PCPublicComments@costamesaca.gov](mailto:PCPublicComments@costamesaca.gov) NO LATER THAN 12:00 Noon on the date of the meeting.

Note regarding agenda-related documents provided to a majority of the Commission after distribution of the agenda packet (GC §54957.5): Any related documents provided to a majority of the Commission after distribution of the Agenda Packets will be made available for public inspection. Such documents will be posted on the city's website and will be available at the City Clerk's office, 77 Fair Drive, Costa Mesa, CA 92626.

All cell phones and other electronic devices are to be turned off or set to vibrate. Members of the audience are requested to step outside the Council Chambers to conduct a phone conversation.

Free Wi-Fi is available in the Council Chambers during the meetings. The network username available is: CM\_Council. The password is: cmcouncil1953.

As a LEED Gold Certified City, Costa Mesa is fully committed to environmental sustainability. A minimum number of hard copies of the agenda will be available in the Council Chambers. For your convenience, a binder of the entire agenda packet will be at the table in the foyer of the Council Chambers for viewing.

In compliance with the Americans with Disabilities Act, Assistive Listening headphones are available and can be checked out from the City Clerk. If you need special assistance to participate in this meeting, please contact the City Clerk at (714) 754-5225. Notification at least 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting. [28 CFR 35.102.35.104 ADA Title II]. Language translation services are available for this meeting by calling (714) 754-5225 at least 48 hours in advance.

En conformidad con la Ley de Estadounidenses con Discapacidades (ADA), aparatos de asistencia están disponibles y podrán ser prestados notificando a la Secretaria Municipal. Si necesita asistencia especial para participar en esta junta, comuníquese con la oficina de la Secretaria Municipal al (714) 754-5225. Se pide dar notificación a la Ciudad por lo mínimo 48 horas de anticipación para garantizar accesibilidad razonable a la junta. [28 CFR 35.102.35.104 ADA Title II]. Servicios de traducción de idioma están disponibles para esta junta llamando al (714) 754-5225 por lo mínimo 48 horas de anticipación.

**PLANNING COMMISSION REGULAR MEETING**

**MONDAY, NOVEMBER 14, 2022 - 6:00 P.M.**

**BYRON DE ARAKAL**  
Chair

**JON ZICH**  
Vice Chair

**DIANNE RUSSELL**  
Planning Commissioner

**RUSSELL TOLER**  
Planning Commissioner

**ADAM ERETH**  
Planning Commissioner

**JOHNNY ROJAS**  
Planning Commissioner

**JIMMY VIVAR**  
Planning Commissioner

**TARQUIN PREZIOSI**  
Assistant City Attorney

**JENNIFER LE**  
Director of Economic and  
Development Services

**CALL TO ORDER**

**PLEDGE OF ALLEGIANCE**

**ROLL CALL**

**ANNOUNCEMENTS AND PRESENTATIONS**

**PUBLIC COMMENTS – MATTERS NOT LISTED ON THE AGENDA**  
Comments are limited to three (3) minutes, or as otherwise directed.

**COMMISSIONER COMMENTS AND SUGGESTIONS**

**CONSENT CALENDAR: None.**

**PUBLIC HEARINGS:**



1. [PLANNING APPLICATION 22-20 AND TENTATIVE PARCEL MAP 22-935 2022-140 FOR A FOUR-UNIT RESIDENTIAL SMALL LOT SUBDIVISION DEVELOPMENT AT 549 BERNARD STREET](#)

RECOMMENDATION:

Staff recommends the Planning Commission adopt a Resolution to:

1. Find that the project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per CEQA Guidelines Section 15315 (Class 15) Minor Division of Land, and Section 15332 (Class 32) In-Fill Development; and
2. Approve Planning Application 22-20 and Tentative Parcel Map 2022-140, subject to conditions of approval.

Full Agenda Report provided as Attachment 1

**Attachments:** [Agenda Report](#)

- [1. Agenda Report](#)
- [2. Draft Planning Commission Resolution](#)
- [3. Applicant Letter](#)
- [4. Vicinity Map](#)
- [5. Zoning Map](#)
- [6. Site Pictures](#)
- [7. Project Plans](#)

**OLD BUSINESS:** None.

**NEW BUSINESS:** None.

**DEPARTMENT REPORTS:**

**1. PUBLIC WORKS REPORT**

**2. DEVELOPMENT SERVICES REPORT**

**CITY ATTORNEY REPORTS:**

**1. CITY ATTORNEY**

**ADJOURNMENT**

**Next Meeting:** Planning Commission regular meeting, November 28, 2022 - 6:00 p.m.



# City of Costa Mesa

## Agenda Report

77 Fair Drive  
Costa Mesa, CA 92626

---

**File #:** 22-935

**Meeting Date:** 11/14/2022

---

**TITLE:**

**PLANNING APPLICATION 22-20 AND TENTATIVE PARCEL MAP 2022-140 FOR A FOUR-UNIT RESIDENTIAL SMALL LOT SUBDIVISION DEVELOPMENT AT 549 BERNARD STREET**

**DEPARTMENT:** ECONOMIC AND DEVELOPMENT SERVICES DEPARTMENT/ PLANNING DIVISION

**RECOMMENDATION:**

Staff recommends the Planning Commission adopt a Resolution to:

1. Find that the project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per CEQA Guidelines Section 15315 (Class 15) Minor Division of Land, and Section 15332 (Class 32) In-Fill Development; and
2. Approve Planning Application 22-20 and Tentative Parcel Map 2022-140, subject to conditions of approval.

Full Agenda Report provided as Attachment 1



# City of Costa Mesa

## Agenda Report

77 Fair Drive  
Costa Mesa, CA 92626

---

**File #:** 22-935

**Meeting Date:** 11/14/2022

---

**TITLE:**

**PLANNING APPLICATION 22-20 AND TENTATIVE PARCEL MAP 2022-140 FOR A FOUR-UNIT RESIDENTIAL SMALL LOT SUBDIVISION DEVELOPMENT AT 549 BERNARD STREET**

**DEPARTMENT:** ECONOMIC AND DEVELOPMENT SERVICES DEPARTMENT/ PLANNING DIVISION

**RECOMMENDATION:**

Staff recommends the Planning Commission adopt a Resolution to:

1. Find that the project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per CEQA Guidelines Section 15315 (Class 15) Minor Division of Land, and Section 15332 (Class 32) In-Fill Development; and
2. Approve Planning Application 22-20 and Tentative Parcel Map 2022-140, subject to conditions of approval.

Full Agenda Report provided as Attachment 1



# **PLANNING COMMISSION AGENDA REPORT**

MEETING DATE: November 14, 2022

ITEM NUMBER: PH-1

**SUBJECT: PLANNING APPLICATION 22-20 AND TENTATIVE PARCEL MAP 2022-140 FOR A FOUR-UNIT RESIDENTIAL SMALL LOT SUBDIVISION DEVELOPMENT AT 549 BERNARD STREET**

**FROM: ECONOMIC AND DEVELOPMENT SERVICES DEPARTMENT/  
PLANNING DIVISION**

**PRESENTATION BY: CHRIS YEAGER, ASSOCIATE PLANNER**

**FOR FURTHER INFORMATION** CHRIS YEAGER

**CONTACT:** 714-754-4883

Christopher.Yeager@costamesaca.gov

---

## **RECOMMENDATION**

Staff recommends the Planning Commission adopt a Resolution to:

1. Find that the project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per CEQA Guidelines Section 15315 (Class 15) Minor Division of Land, and Section 15332 (Class 32) In-Fill Development; and
2. Approve Planning Application 22-20 and Tentative Parcel Map 2022-140, subject to conditions of approval.

## **APPLICANT OR AUTHORIZED AGENT**

The authorized agent and property owner is William Yang of 549 Bernard Costa Mesa LLC.

### PLANNING APPLICATION SUMMARY

<b>Location:</b>	549 Bernard St; APN: 422-103-29	<b>Application No:</b>	PA-22-20
<b>Request:</b>	Construction of four, two-story, detached single-family residences on a 12,003-square-foot parcel which is proposed to be subdivided into four parcels.		

<b>SUBJECT PROPERTY:</b>		<b>SURROUNDING PROPERTY:</b>	
<b>Zone:</b>	R2-HD (Multiple-Family Residential, High Density)	<b>North:</b>	R2-HD
<b>General Plan:</b>	HDR (High Density Residential)	<b>South:</b>	R2-HD
<b>Lot Dimensions:</b>	218 FT 5 IN x 54 FT 11 IN	<b>East:</b>	R2-HD/R3
<b>Lot Area:</b>	12,003 SF	<b>West:</b>	R2-HD
<b>Existing Development:</b>	Two single family detached residences (to be demolished).		

### **DEVELOPMENT STANDARDS COMPARISON**

Development Standard	Small Lot Standards	Proposed/Provided
<b>Lot Size</b>		
Lot Width	N/A	54 FT 11 IN
Lot Area	N/A	12,003 SF Lot 1, 2, & 3: 3,001 SF Lot 4: 3,000 SF
<b>Density/Intensity</b>		
DU's / AC (Residential)	1 DU/ 3,000 SF of Lot Area. 4 units maximum allowed	4 units proposed
<b>Building Height</b>		
	2 stories / 27 FT	2 stories / 23' 6"
<b>Building Coverage</b>		
Buildings	N/A	39.5% (4,740 SF)
Driveways and Parking Paving	N/A	23.7% (2,849 SF)
Overall Open Space	35% of development lot area	36.8% (4,414 SF)
TOTAL:		100% (12,003 SF)
Private Open Space	200 SF / Min. 10 FT	Unit A: 249 SF / Min. 15 FT Unit B: 300 SF / Min. 12 FT 7 IN Unit C: 300 SF / Min. 12 FT 7 IN Unit D: 328 SF / Min. 15 FT
<b>Residential Design Guidelines</b>		
2 <sup>nd</sup> floor to 1 <sup>st</sup> floor ratio	Maximum 100%	Unit A&D: 99% Unit B&C: 97%
<b>Development Lot Building Setbacks</b>		
Front (Bernard Street)	20 FT	20 FT
Side (left / right)	5 FT	5 FT / 25 FT 5 IN
Rear	15 FT	15 FT
Distance Between Main Buildings	6 FT	8 FT 1 IN and 17 FT 7 IN
<b>Parking</b>		
Covered	2 per unit	2 per unit
Open	Unit A: 1 Unit B-C: 2 per unit	Unit A: 1 Unit B-C: 2 per unit
TOTAL:	15	15
<b>Final Action</b>		
CEQA Review	Planning Commission Exempt per CEQA Guidelines Section 15315 (Minor Division of Land) and 15332 (Infill Development)	

## **BACKGROUND**

The subject site is a 12,003 square-foot lot that is located on the south side of Bernard Street, between Maple Avenue and Charle Street. The site is immediately adjacent to an unnamed public alley (maintained by the City) on the west side of the property. The property is zoned R2-HD (Multi-Family Residential District, High Density) and has a General Plan land use designation of High Density Residential. The project site is currently developed with two single-family dwelling units and a detached two-car garage. One of the existing units is currently vacant and the other unit is leased until August of 2023. The applicant has notified the tenant that the lease will not be extended after the lease expires.

The immediately surrounding neighborhood contains a mixture of single-family and multi-family residential units. The properties to the east and west of the subject site are zoned R2-HD and R3 (Multiple-Family Residential District) and currently contain multi-family residential developments. The property to the south is zoned R2-HD and is developed with a Mobile Home Park. Directly to the north of the subject site, across Bernard Street, is the Huscroft House (located at 546 Bernard Street) and is listed on the City's Local Register of Historic Places. The other properties to the north are zoned R2-HD and are developed with multi-family residential developments.

The subject property is located within a half mile walking distance of the 35, 43, and 55 OCTA Bus Routes. In addition the project site is located within a half-mile walking distance to various retail and commercial districts on Harbor Boulevard, West 19<sup>th</sup> Street, and Newport Boulevard and within a half-mile walking distance of Lions Park, the Costa Mesa Library, and the Downtown Recreation Center.

## **PROJECT HISTORY**

The proposed application was initially scheduled for Planning Commission review on October 10, 2022. Prior to the meeting, staff identified a design issue which required plan revisions. Staff recommend that the application be continued to a date certain to allow the applicant to make necessary design revisions. The Planning Commission unanimously voted to continue the application to the November 14, 2022 hearing.

### ***Staff Report:***

<https://costamesa.legistar.com/View.ashx?M=F&ID=11294448&GUID=A5A4C270-9BAF-4660-806D-A3B9A1254259>

### ***Video:***

<https://costamesa.legistar.com/Video.aspx?Mode=Granicus&ID1=3907&Mode2=Video>

## **DESCRIPTION**

The project includes a request for approval of a Design Review Planning Application (PA 22-20) and a Tentative Parcel Map (TPM 2022-140; Application Number PM 22-05). The application includes a residential small lot subdivision to create four parcels,

and for the construction of four new detached residential units, one on each parcel. The applicant proposes to demolish the existing two residential units and detached garage. If approved, the project would result in the demolition of two rental units to be replaced with four individual homeownership units. In addition, the project proposes site improvements including new hardscape and landscaping. The applicant proposes four approximate 3,000-square-foot lots which are proposed to be subdivided from the existing 12,003-square-foot lot.

Section 13-42.2 of the Costa Mesa Municipal Code (CMMC) requires that residential small lot subdivisions be processed through a Design Review application, in addition to a Tentative Parcel Map. The final review authority for the project is the Planning Commission.

## **ANALYSIS**

### ***Residential Small Lot Subdivision***

Pursuant to CMMC Section 13-42.1, a residential small lot subdivision is allowed in multi-family residential districts, and is intended to provide flexible development standards to promote a wider range of homeownership opportunities in the City. Pursuant to CMMC Section 13-42.2, small lot subdivision standards are being applied. (The project site is located within the City's Mesa West Residential Ownership Urban Plan area; however, the application is for a small lot subdivision and is not utilizing the Urban Plan). . Further, small lot subdivisions shall be processed according to the City's "Design Review" and State "Parcel Map" procedures.

The maximum density of a small lot subdivision is 15 units and required development standards are specified pursuant to CMMC Section 13-42.3(b)(1-6). A comparison of the Small Lot Subdivision standards and the proposed project is provided above in the "Development Standards Comparison" table. As indicated in this table, the project is designed in compliance with the City's Residential Small Lot Subdivision development standards.

The proposed project consists of four, two-story single-family dwelling units with attached garages. The property is proposed to be subdivided to allow for individual ownership of the units. Each unit is separated by a minimum of 6' – 1" , which exceeds the minimum standard six feet. Table 1 below provides a summary description of each proposed unit.

**Table 1: Unit Characteristics**

Unit Number	Floor Area (Excluding Garage)	Bedrooms Count	Bathrooms (Full/Half)	Parking (Garage/Open)	Lot Area	2 <sup>nd</sup> Floor: 1 <sup>st</sup> Floor Ratio
Unit A	1,780 SF	2	2/2	2/1	3,001 SF	0.99
Unit B	1,984 SF	4	3/1	2/2	3,001 SF	0.97

Unit C	1,984 SF	4	3/1	2/2	3,001 SF	0.97
Unit D	1,817 SF	4	3/1	2/2	3,000 SF	0.99

All open parking spaces are located directly adjacent to the proposed garages and are surrounded by landscaped areas. The CMMC requires that each unit be provided a minimum of 200 square feet of open space with no dimension being smaller than 10 feet. The units are proposed to be constructed with private open space ranging from 249 square feet to 328 square feet, and comply with the minimum open space dimensions. Each unit is proposed to provide adequate space for trash containers in the side and rear yards, and the trash areas are screened from the other units and the public rights-of-way by block walls.

The City's Residential Small Lot Subdivision Ordinance, pursuant to CMMC Section 13-42.3(c) requires that: (1) the developer of the project submit certain documents to the City ("for City Attorney review") such as a plan or manner of permanent care and maintenance of any project open spaces, recreational areas and commonly used areas/facilities; (2) the disclosure of general and specific information to buyers of issues regarding the property and its surroundings; and (3) a declaration of covenants that includes a homeowners association (HOA) or other maintenance association that requires membership of each new and successive property owners, provisions to restrict parking and that garages be kept available (clear) for resident parking. (Staff has included the submission of the aforementioned document(s), prior to issuance of building permits for recordation, as Condition of Approval (COA) No. 17.

Lastly, the State's Housing Accountability Act (Government Code Section 65589.5) applies to this project and generally requires that cities approve housing projects that are consistent with the General Plan and zoning, unless the city can make specific State mandated findings for denial (further discussed in the Alternatives section of this report). In this case, staff is recommending approval of the subject application.

### ***Floor Plans***

The floor plans for each of the units feature a living/dining/kitchen/great room on the first floor with a half bathroom. Unit A is proposed to have a second floor with two bedrooms with on-suite bathrooms, laundry room, den, and an additional half bathroom. Units B-D are proposed to have second floors with four bedrooms, three full bathrooms, and a laundry room.

### ***Parking and Circulation***

The project includes garage and open parking spaces as required by the CMMC, as detailed in Table 2 below. Each unit is proposed to include an attached two-car garage which is required by CMMC Section 13-42.3. A total of seven open parking spaces are provided throughout the proposed subdivision located adjacent to each unit, which complies with the CMMC minimum requirement.



**Table 2: Parking Requirements**

	Requirement	Proposed
Garage Parking Spaces	8 spaces (2 required per unit)	8 spaces
Open Parking	7 spaces (1 per two bedroom unit and 2 per three or more bedroom units)	7 spaces*
*CMMC Section 13-42.3 requires that all open parking not located within an individual driveway shall be unassigned and nonexclusive		

The proposed garages and open parking spaces are accessible via the existing alley to the west of the project site. A minimum of 25 feet is required behind required parking spaces to allow for adequate vehicle back-up space. Including the alley width, the project proposes a minimum back up distance of 25 feet 5 inches and therefore complies. The CMMC requires that all parking and driveways shall consist of decorative concrete, pavers, or other material subject to review by the Development Services Director. COA No. 16 ensures driveway material compliance and to be approved prior to issuance of a building permit.

### ***Residential Design Guidelines***

The proposed small lot residential project has been designed with “modern farmhouse” design features. The immediately surrounding neighborhood features a diverse collection of architectural styles including other residences with modern and eclectic influences. In addition, there are residences with craftsmen features, Spanish eclectic styles, coastal bungalows, and minimal traditional styles. The proposed design meets the intent of the City’s Residential Design Guidelines including the following:

- ***Second-Story Design and Building Mass:*** Each individual unit has been designed with articulation and off sets on the various elevations to avoid boxy appearances. The front (north) elevation for Unit A, facing Bernard Street, includes a second story balcony, eave overhangs, and additional architectural features above the entry porch providing for a varied elevation that visually enhances the prominent project elevation. The west elevations for all units, facing the alley, include multiple building planes, a partial second story overhang above the proposed garages, and varied roof forms including multi-faced gables above the garages. The south elevations include varied facades and articulations. The west elevations of all units feature down-sloping roofs towards the neighboring units, which reduces the perceived height and building mass. In addition, each unit features a gross floor area on the second floor, which is less than the first floor as required by the Design Guidelines.
- ***Second Story Setbacks:*** According to the Residential Design Guidelines, the project is exempt from the required 10-foot average side yard setback because

the units being constructed are less than 2,700 square feet of living space. The proposed units range from 1,780 square feet to 1,984 square feet and the proposed second story setbacks along the right (east) side property line is five feet. Therefore, the project complies with the second story setback requirements.

- **Elevation Treatments:** All units feature a variety of projections and feature articulation on each wall plane, varying roof types, and materials. Building materials include stucco clad first floors, and colored horizontal Hardie Plank second floors. To benefit the development appearance from the adjacent public street, Unit A proposes additional elevation treatments on the street facing façade including an integrated balcony and cover above the entry patio. As noted in the plans, the windows are proposed to be recessed into the wall which will provide an additional sense of elevation depth and articulation.
- **Window Placement:** Consideration for design and privacy has been provided in locating the windows on the property. The provided sight diagram demonstrates that first-story windows are located to eliminate direct views into neighboring units. In addition, a six-foot block wall is proposed to be constructed on the property line between the neighboring properties, which would further eliminate any privacy impacts for the existing neighboring properties. Second-story windows facing east and south are located without direct views into the neighboring existing properties because the neighboring properties are single-story units. The second-story windows facing west are approximately 37 feet from the existing neighboring windows and therefore would have minimal to no privacy impacts. There are no proposed second-story windows that pose privacy impacts between the proposed units.
- **Consistency in Architectural Design:** The proposed design includes modern farmhouse features including materials and finishes which are durable and require minimal maintenance. In addition, the windows will be recessed to provide depth to the facades and each façade features a variety of overhangs, materials, and roof forms, which provides visual interest and façade articulation.

### ***Fences and Walls***

The project includes a six-foot high block wall around the perimeter of the proposed development lot between the existing developments to the south and east, and the interior property lines between the proposed parcels. Unit A is proposed to include a three-foot high fence at the front of the property which will contain the private open space area for that unit. The final design of the fences and walls will be reviewed as part of the building permit submittal. Any future modifications to fencing will be subject to review and approval of the Planning Division and would require building permits to be issued prior to installation. The heights and locations of walls and fences shall comply with the CMMC requirements as well as applicable visibility standards for traffic safety and line-of-sight.

## ***Landscaping***

CMMC Section 13-106 requires that all landscape areas consist of drought tolerant plant material and shall meet the minimum number of plant types based on the total landscape square footage. The project proposes a total of 3,420 square feet of landscaping with a mixture of usable and decorative landscaping. The number of plants proposed is provided in Table 3 below.

**Table 3: Landscaping Requirements**

	Requirement	Proposed
Tree Count	17 (one 15 gallon tree or larger per 200 square feet of landscape area)	20 (all proposed at 24 inch box)
Shrub Count	137 (one shrub for every 25 square feet of landscape area)	165
Groundcover coverage	70% with the remaining area to incorporate mulch	81%

As part of the building permit plan check review, landscape plans shall be prepared and certified by a California licensed landscape architect confirming that they comply with the CMMC and water efficiency landscape guidelines. Lighting is also required to be provided in all parking areas, vehicular access areas, and on major walkways. The applicant will be required to submit lighting plans with the building permit plan set.

## ***Utilities***

The CMMC requires that new construction provide undergrounding of all utilities on site, including existing utility poles. As required, all new utilities will be installed underground and that if any existing utilities are on site, they will also need to be undergrounded. COA No. 13 requires that any new backflow preventers or related equipment be installed outside of the front landscape setback and be screened from the view from any location on or off the site. As required by the CMMC, all utility meters must be screened from view from the public right of way and neighboring properties. Per COA No. 27, prior to building permit approval, the applicant shall submit for approval a comprehensive utilities plan that shows utility design, undergrounding and required dedications/easements. The plan will be reviewed by both the City's Building Division and Public Works Department.

## ***Tentative Parcel Map 2022-140***

The Tentative Parcel Map proposes to subdivide one 12,003-square-foot parcel into three parcels of 3,001 square feet and one parcel of 3,000 square feet, which complies with the CMMC maximum density of one unit per 3,000 square feet of lot area. The Tentative Parcel Map also includes a 2' – 6" inch alley dedication to the City at the west

side of the property along the existing alley and a sidewalk easement over the four parcels. With the development, the alley will remain accessible to all neighbors.

As indicated in the “Justifications for Approval” below, the project complies with all required findings to approve the Tentative Parcel Map. In addition, pursuant to the Subdivision Map Act, Government Code Section 66474, a parcel map must be denied if one or more findings are made:

1. *“That the proposed map is not consistent with applicable general and specific plans as specified in Section 65451;*
2. *That the design or improvement of the proposed subdivision is not consistent with applicable general and specific plans;*
3. *That the site is not physically suitable for the type of development;*
4. *That the site is not physically suitable for the proposed density of development;*
5. *That the design of the subdivision or the proposed improvements are likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat;*
6. *That the design of the subdivision or type of improvements is likely to cause serious public health problems; and*
7. *That the design of the subdivision or the type of improvements will conflict with easements, acquired by the public at large, for access through or use of, property within the proposed subdivision. In this connection, the governing body may approve a map if it finds that alternate easements, for access or for use, will be provided, and that these will be substantially equivalent to ones previously acquired by the public. This subsection shall apply only to easements of record or to easements established by judgment of a court of competent jurisdiction and no authority is hereby granted to a legislative body to determine that the public at large has acquired easements for access through or use of property within the proposed subdivision.”*

After careful consideration of the proposed development, staff believes that none of the above findings for denial can be made or associated with the proposed subdivision, as indicated further in the “Findings” section of this report.

### **GENERAL PLAN CONFORMANCE**

The proposed small lot residential development of four detached single-family dwelling units is consistent with the maximum allowable density of one dwelling unit per 3,000 square feet for the R2-HD zone and is within the maximum density allowed for the High Density Residential General Plan land use designation, which is 20 dwelling units per

acre. The following analysis further evaluates the proposed project's consistency with specific policies and objectives of the 2015-2035 General Plan.

1. **Objective LU-1A:** *Establish and maintain a balance of land uses throughout the community to preserve the residential character of the City at a level no greater than can be supported by the infrastructure.*

**Consistency:** The project is an infill residential project within the allowable density for the High Density Residential General Plan land use designation. Adequate infrastructure exists to serve the proposed project including water, electricity, gas, and sewer services. Therefore, the project is consistent with the General Plan objective. In addition, the project is in compliance with the City's Residential Design Guidelines, and Design Review/Residential Small Lot Subdivision standards.

2. **Policy LU-1.3:** *Strongly encourage the development of residential uses and owner-occupied housing (single-family detached residences, condominiums, townhouses) where feasible to improve the balance between rental and ownership housing ownership opportunities.*

**Consistency:** The project consists of demolishing two rental units and constructing four detached, single-family residential ownership units. Because the project consists of a parcel map and four detached units, the project complies with the policy. Further, the project floor areas are proposed less than 2,000 square feet which generally improve the affordability aspects for future buyers; as compared to larger more expensive new homes in the City. Ultimately, the project provides two additional residences and four additional residential ownership units.

3. **Objective LU-2A:** *Promote land use patterns and development that contribute to community and neighborhood identity.*

**Consistency:** The project would allow for the redevelopment of a residential property that contains two units built in 1946. The proposed project would construct four units with high quality designs and landscaping. The front unit is oriented toward the street and features a balcony and patio area facing the public right of way to increase visibility and neighborhood compatibility. As a result, the project complies with the Objective.

4. **5<sup>th</sup> Cycle Housing Policy HOU-1.2:** *Encourage existing stabilized residential neighborhoods, including but not limited to mobile home parks and manufactured home parks, from the encroachment of incompatible or potentially disruptive land uses and/or activities.*

**Consistency:** The project is neighborhood compatible and has been designed to reduce privacy impacts on surrounding properties. The project is located in an

established residential neighborhood including an existing mobile home park and is compatible with the surrounding residential uses.

5. **6<sup>th</sup> Cycle Housing Policy 3.4:** *Consider the potential impact of new housing opportunities and their impacts on existing residential neighborhoods when reviewing development applications affecting residential properties.*

**Consistency:** The project would be located in an established residential neighborhood, would increase the total number of housing units by two and increase the total opportunities for individual housing ownership by four units. Additionally, the floor area of the proposed units is relatively minimal and therefore cost of potential ownership is reduced comparatively to provide additional opportunities for housing in a high-priced market. The project would not negatively effect surrounding residential properties access to the existing alley, privacy impacts have been considered in the development of the project and the proposed development will improve streetscape aesthetics.

## **FINDINGS**

Pursuant to Title 13, Section 13-29(g)(13) and (14), Findings for Tentative Parcel Maps and Design Review, of the CMMC, in order to approve the project, the Planning Commission must find that the evidence presented in the administrative record substantially meets the following applicable required findings:

### ***Tentative Parcel Map Findings – CMMC Section 13-29(g)(13)***

- *The creation of the subdivision and related improvements is consistent with the general plan, any applicable specific plan, and this Zoning Code.*

The proposed parcel map is consistent with General Plan Land Use Objectives LU-1A, LU-2A, and Policy LU-1.3, in that adequate infrastructure exists to serve the proposed project; the subdivision allows for a project that would promote homeownership opportunities and improve the balance between rental and ownership housing in the City; the parcel map would allow for redevelopment of an existing parcel; and improve and maintain quality of environment and neighborhood by improved architecture, aesthetics, and landscaping. The parcel map would allow for a new residential project that would not exceed the maximum allowable density of 20 units per acre and, therefore, would be consistent with the General Plan land use designation of High Density Residential and the R2-HD zone that allows for one unit per 3,000 square feet of lot area. The project design would also comply with all other development standards for a residential small lot subdivision. Lastly, the project would provide additional housing units consistent with satisfying the City's required Regional Housing Needs Assessment (RHNA).

- *The proposed use of the subdivision is compatible with the General Plan.*

The subject property has a General Plan land use designation of High Density Residential, which allows multi-family residential uses at a maximum of 20 dwelling units per acre. The Tentative Parcel Map proposes a residential use that does not exceed the maximum density allowed per the General Plan and therefore, the proposed use is compatible with the General Plan.

- *The subject property is physically suitable to accommodate the subdivision in terms of type, design and density of development, and will not result in substantial environmental damage nor public health problems, based on compliance with the Zoning Code and General Plan, and consideration of appropriate environmental information.*

The existing property is flat, located within an established residential neighborhood and suitable to accommodate four new residential units. The size of the lot is also suitable since the proposed development meets all applicable development standards including, setbacks, parking, and open space. The parcel map proposes a maximum of one unit per 3,000 square feet of lot area, which is consistent with the maximum density allowed in the R2-HD zone. Adequate infrastructure exists to serve the proposed project and the project will not result in the loss of any habitat, result in a negative impact on the environment as a whole, or require extensive infrastructure improvements to provide service to the site.

- *The design of the subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities in the subdivision, as required by State Government Code section 66473.1.*

The parcel map would meet the applicable small lot development standards including minimum open space to take advantage of shade and prevailing breezes. The project provides 36.8 percent open space for the overall development and each unit will have over 249 square feet of private open space area. The open space will accommodate landscaping that can be provided throughout the site with adequate setbacks for airflow. The project is proposed to include operable windows and will be fully insulated as required by the building code.

- *The division and development will not unreasonably interfere with the free and complete exercise of the public entity and/or public utility rights-of-way and/or easements within the tract.*

The project has been reviewed by the Public Works Department and there are no conflicts with the City's or other utilities agencies' rights-of-way or other easements. A 2' – 6" alley dedication is required for access along the existing alley to the west of the project, which brings the alley into conformance with City standards. In addition, a new sidewalk easement will be provided within the alley improving pedestrian accessibility.

- The discharge of sewage from this land division into the public sewer system will not violate the requirements of the State Regional Water Quality Control Board pursuant to Division 7 (commencing with State Water Code section 13000).

The lot has been previously graded and contains connections to the public sewer system for the existing onsite units. The parcel map would allow for a residential project that would not include physical changes to the lot that would result in discharge into the public sewer system in violation of State requirements. Furthermore, the applicant will be required to comply with the regulations set forth by the Costa Mesa Sanitation District and Mesa Water District.

### **Design Review Findings – CMMC Section 13-29(g)(14)**

- The project complies with the City of Costa Mesa Zoning Code and meets the purpose and intent of the residential design guidelines, which are intended to promote design excellence in new residential construction, with consideration being given to compatibility with the established residential community. This design review includes site planning, preservation of overall open space, landscaping, appearance, mass and scale of structures, location of windows, varied roof forms and roof plane breaks, and any other applicable design features.

The project proposes a maximum density of one dwelling unit per 3,000 square feet of lot area, which is consistent with the maximum allowable density for the R2-HD zone and the High Density Residential General Plan land use designation. The project complies with all other applicable Zoning Code standards including setbacks, parking, and open space. The project design incorporates elevations with varied roof forms, articulation of roof forms, and projections including balconies, eaves, and overhangs in order to provide visual interest from the street. The exterior materials include a combination of stucco and Hardie board siding which provides interest and will require minimal maintenance. The front unit is oriented toward the street, includes a second-story balcony, and a private open space area in the front yard which will provide adequate intermixing of public and private space. The landscaping throughout the project provides larger and more trees than required. To avoid a boxy two-floor appearance, articulation is provided by varying roof forms, wall planes, and exterior materials. The project will not result in privacy impacts to the surrounding residences based on the proposed fenestration patterns and the proposed setbacks from the neighboring properties.

- The visual prominence associated with the construction of a two-story house or addition in a predominantly single-story neighborhood has been reduced through appropriate transitions between the first and second floors and the provision of second floor offsets to avoid unrelieved two-story walls.

The neighborhood includes a mixture of one-to-three-story residential properties. In addition, the second story design proposes a second-to-first floor ratio in compliance with the design guidelines with articulation on both roof forms and wall planes. The



second floor is further enhanced with a balcony, modern fascia, and elevation treatments of varying materials on the first and second floor.

## **ENVIRONMENTAL DETERMINATION**

The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15315 (Class 15), Minor Land Divisions, and Section 15332 (Class 32), In-Fill Development.

Under Class 15, the division of property in urbanized areas is exempt from the provisions of CEQA if the subdivision: is zoned for residential use, is being subdivided into four or fewer parcels, conforms with the General Plan and Zoning Code, is serviceable by utilities and is accessible, was not involved in a division of a larger parcel within the previous two years, and has an average slope less than 20 percent. The proposed project meets the following conditions as described under CEQA Section 15315 in that:

- The project is entirely within the City of Costa Mesa and is consistent with the R2-HD Zoning Designation and the High Density Residential General Plan Designation because it propose a number of parcels at the allowed zoning density (1 unit per 3,000 square feet) and below the allowed General Plan Land Use Density (20 per acre). In addition, the residential use is compatible with the CMMC and the General Plan;
- The project site is serviceable by all utilities and is accessible to the public right of way;
- The parcel was established in 1924 and therefore has not been involved in a previous subdivision in the previous two years; and
- The parcel has been previously graded and is flat and therefore contains an average slope less than 20 percent.

Under Class 32, a project site less than five acres in area, with no significant environmental effects, that is consistent with the General Plan and Zoning Code, has adequate utilities to serve the site, and has no valuable habitat species is exempt from the provisions of CEQA. The proposed project meets the following conditions as described under CEQA Guidelines Section 15332 in that:

- The project is consistent with the R2-HD Zoning Designation and the High Density Residential General Plan Designation because it propose a number of units at the allowed zoning density (1 unit per 3,000 square feet) and below the allowed General Plan Land Use Density (20 per acre). In addition the residential use is compatible with the CMMC and the General Plan;
- The proposed development occurs entirely within the City of Costa Mesa on a lot size of 12,003 square feet (0.28 of an acre);
- The project site has no value as a habitat for endangered, rare, or threatened species because the existing lot includes two residential units, lawn, and an open

space consisting of overgrown weeds in the rear yard. The proposed development will continue the residential use;

- Approval of the project will not result in any significant effects relating to traffic, noise, air quality, or water quality because the existing use is continued. The net increase in daily trips will increase by 17, which can be accommodated by the existing traffic infrastructure; and
- The site can be adequately served by all required utilities and public services because they already service the site.

## **ALTERNATIVES**

Planning Commission alternatives include the following:

1. Approve the project. The Planning Commission may approve the project as proposed, subject to the conditions outlined in the attached Resolution.
2. Approve the project with modifications. The Planning Commission may suggest specific changes that are necessary to alleviate concerns. If any of the additional requested changes are substantial, the hearing should be continued to a future meeting to allow a redesign or additional analysis. In the event of significant modifications to the proposal, staff will return with a revised Resolution incorporating new findings and/or conditions.
3. Deny the project. If the Planning Commission believes that there are insufficient facts to support the findings for approval, the Planning Commission must deny the application, provide facts in support of denial, and direct staff to incorporate the findings into a Resolution for denial. If the project is denied, the applicant could not submit substantially the same type of application for six months. However, because this project is subject to the Housing Accountability Act (Government Code Section 65589.5), if the Planning Commission denies or reduces the proposed density of the proposed housing project, and the development is determined to be consistent with applicable, objective general plan, zoning, and subdivision standards and criteria, including design review standards, the Planning Commission must make the following written findings:
  - The housing development project would have a specific, adverse impact upon the public health or safety unless the project is disapproved or approved upon the condition that the project be developed at a lower density; and
  - There is no feasible method to satisfactorily mitigate or avoid the adverse impact, other than the disapproval of the housing development project or the approval of the project upon the condition that it be developed at a lower density. Feasible means capable of being accomplished in a successful manner within a reasonable period of time, taking into account economic, environmental, social, and technological factors.

## **LEGAL REVIEW**

The draft Resolution and this report have been approved as to form by the City Attorney's Office.

## **PUBLIC NOTICE**

Pursuant to Title 13, Section 13-29(d) of the Costa Mesa Municipal Code, three types of public notification have been completed no less than 10 days prior to the date of the public hearing:

1. **Mailed notice.** A public notice was mailed to all property owners and occupants within a 500-foot radius of the project site. The required notice radius is measured from the external boundaries of the property.
2. **On-site posting.** A public notice was posted on each street frontage of the project site.
3. **Newspaper publication.** A public notice was published once in the Daily Pilot newspaper.

As of the date this report was circulated, no written public comments have been received. Any public comments received prior to the November 14, 2022 Planning Commission meeting will be provided separately.

## **CONCLUSION**

Approval of the project would allow the subdivision of one lot into four lots and the development of four detached single-family dwellings, one on each lot, on an R2-HD zoned property. The project is consistent with the General Plan and Zoning Code in regard to density, setbacks and development standards. The project would enhance the mix of housing types within the neighborhood, increase home ownership opportunities in the City, and is a neighborhood compatible development proposed in a mixture of existing single and multifamily homes that are one to three stories in height. Therefore, staff recommends approval of the project.

**RESOLUTION NO. PC-2022-**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE  
CITY OF COSTA MESA, CALIFORNIA APPROVING  
PLANNING APPLICATION 22-20 AND TENTATIVE PARCEL  
MAP 2022-140 FOR A FOUR-UNIT RESIDENTIAL SMALL LOT  
SUBDIVISION DEVELOPMENT AT 549 BERNARD STREET**

THE PLANNING COMMISSION OF THE CITY OF COSTA MESA, CALIFORNIA FINDS AND DECLARES AS FOLLOWS:

WHEREAS, Planning Application 22-20 was filed by property owner William Yang, requesting approval of the following: Design Review and Tentative Parcel Map for a proposed residential small lot subdivision project. The project proposes to demolish the existing two residential units and detached garage, and to construct four new detached units with attached two-car garages. In addition, the project proposes a variety of site improvements including new hardscape and landscaping. The subject property is proposed to be subdivided under Tentative Parcel Map 2022-140.

WHEREAS, a duly noticed public hearing was held by the Planning Commission on October 10, 2022 with all persons having the opportunity to speak for and against the proposal;

WHEREAS, the Planning Commission unanimously voted to continue the application to date certain, November 14, 2022;

WHEREAS, a duly noticed hearing was held by the Planning Commission on November 14, 2022 with all persons having the opportunity to speak for and against the proposal;

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is exempt from the provisions of the California Environmental Quality Act (CEQA) per Section 13315 (Class 15), for Minor Land Divisions and Section 15332 (Class 32), for In-Fill Development.

WHEREAS, the CEQA categorical exemption for this project reflects the independent judgement of the City of Costa Mesa.

NOW, THEREFORE, based on the evidence in the record and the findings contained in Exhibit A, and subject to the conditions of approval contained within Exhibit

B, the Planning Commission hereby **APPROVES** Planning Application 22-20 with respect to the property described above.

BE IT FURTHER RESOLVED that the Costa Mesa Planning Commission does hereby find and determine that adoption of this Resolution is expressly predicated upon the activity as described in the staff report for Planning Application 22-20 and upon applicant's compliance with each and all of the conditions in Exhibit B, and compliance of all applicable federal, state, and local laws. Any approval granted by this resolution shall be subject to review, modification or revocation if there is a material change that occurs in the operation, or if the applicant fails to comply with any of the conditions of approval.

BE IT FURTHER RESOLVED that if any section, division, sentence, clause, phrase or portion of this resolution, or the document in the record in support of this resolution, are for any reason held to be invalid or unconstitutional by a decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining provisions.

**PASSED AND ADOPTED this 14th day of November, 2022.**

---

Byron de Arakal, Chair  
Costa Mesa Planning Commission

STATE OF CALIFORNIA )  
COUNTY OF ORANGE )ss  
CITY OF COSTA MESA )

I, Scott Drapkin, Secretary to the Planning Commission of the City of Costa Mesa, do hereby certify that the foregoing Resolution No. PC-2022- was passed and adopted at a regular meeting of the City of Costa Mesa Planning Commission held on November 14, 2022 by the following votes:

AYES: COMMISSIONERS

NOES: COMMISSIONERS

ABSENT: COMMISSIONERS

ABSTAIN: COMMISSIONERS

---

Scott Drapkin, Secretary  
Costa Mesa Planning Commission

Resolution No. PC-2022-

## EXHIBIT A

### **FINDINGS**

- A. The proposed project complies with Costa Mesa Municipal Code Section 13-29(g)(13), Findings for Tentative Parcel Maps because:

**Finding:** The creation of the subdivision and related improvements is consistent with the general plan, any applicable specific plan, and this Zoning Code.

**Facts in Support of Findings:** The proposed parcel map is consistent with General Plan Land Use Objectives LU-1A, LU-2A, and Policy LU-1.3, in that adequate infrastructure exists to serve the proposed project; the subdivision allows for a project that would promote homeownership opportunities and improve the balance between rental and ownership housing in the City; the parcel map would allow for redevelopment of an existing parcel; and improve and maintain quality of environment and neighborhood by improved architecture, aesthetics, and landscaping. The parcel map would allow for a new residential project that would not exceed the maximum allowable density of 20 units per acre and, therefore, would be consistent with the General Plan land use designation of High Density Residential and the R2-HD zone that allows for one unit per 3,000 square feet of lot area. The project design would also comply with all other development standards for a residential small lot subdivision. Lastly, the project would provide additional housing units consistent with satisfying the City's required Regional Housing Needs Assessment (RHNA).

**Finding:** The proposed use of the subdivision is compatible with the General Plan.

**Facts in Support of Finding:** The subject property has a General Plan land use designation of High Density Residential, which allows multi-family residential uses at a maximum of 20 dwelling units per acre. The Tentative Parcel Map proposes a residential use that does not exceed the maximum density allowed per the General Plan and therefore, the proposed use is compatible with the General Plan.

**Finding:** The subject property is physically suitable to accommodate the subdivision in terms of type, design and density of development, and will not result in substantial environmental damage nor public health problems, based on compliance with the Zoning Code and General Plan, and consideration of appropriate environmental information.

**Facts in Support of Finding:** The existing property is flat and suitable to accommodate four new residential units. The size of the lot is also suitable since the proposed development meets all applicable development standards including, setbacks, parking, and open space. The parcel map proposes a maximum of one unit per 3,001 square feet of lot area, which is consistent with the maximum density allowed in the R2-HD zone. Adequate infrastructure exists to serve the proposed project and the project will not result in the loss of any

habitat, or require extensive infrastructure improvements to provide service to the site.

**Finding:** The design of the subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities in the subdivision, as required by State Government Code section 66473.1.

**Facts in Support of Findings:** The parcel map would meet the applicable small lot development standards including minimum open space to take advantage of shade and prevailing breezes. The project provides 36.8 percent open space for the overall development and each unit will have over 249 square feet of private open space area. The open space will accommodate landscaping that can be provided throughout the site with adequate setbacks for airflow. The project is proposed to include operable windows and will be fully insulated as required by the building code.

**Finding:** The division and development will not unreasonably interfere with the free and complete exercise of the public entity and/or public utility rights-of-way and/or easements within the tract.

**Facts in Support of Finding:** The project has been reviewed by the Public Works Department and there are no conflicts with the City's or other utilities agencies' rights-of-way or other easements. A 2' – 6" alley dedication is required for access along the existing alley to the west of the project, which brings the alley into conformance with City standards. In addition, a new sidewalk easement will be provided within the alley improving pedestrian accessibility.

**Finding:** The discharge of sewage from this land division into the public sewer system will not violate the requirements of the State Regional Water Quality Control Board pursuant to Division 7 (commencing with State Water Code section 13000).

**Facts in Support of Finding:** The lot has been previously graded and contains connections to the public sewer system for the existing onsite units. The parcel map would allow for a residential project that would not include physical changes to the lot that would result in discharge into the public sewer system in violation of State requirements. Furthermore, the applicant will be required to comply with the regulations set forth by the Costa Mesa Sanitation District and Mesa Water District.

- B. The proposed project complies with Costa Mesa Municipal Code Section 13-29(g)(14), Findings for Design Review because:

**Finding:** The project complies with the City of Costa Mesa Zoning Code and meets the purpose and intent of the residential design guidelines, which are intended to promote design excellence in new residential construction, with consideration being given to compatibility with the established residential community. This design review includes site planning, preservation of overall open space, landscaping, appearance,



mass and scale of structures, location of windows, varied roof forms and roof plane breaks, and any other applicable design features.

**Facts in Support of Findings:** The project proposes a maximum density of one dwelling unit per 3,000 square feet of lot area, which is consistent with the maximum allowable density for the R2-HD zone and the High Density Residential General Plan land use designation. The project complies with all other applicable Zoning Code standards including setbacks, parking, and open space. The project design incorporates elevations with varied roof forms, articulation of roof forms, and projections including balconies, eaves, and overhangs in order to provide visual interest from the street. The exterior materials include a combination of stucco and Hardie board siding which provides interest and will require minimal maintenance. The front unit is oriented toward the street, includes a second-story balcony, and a private open space area in the front yard which will provide adequate intermixing of public and private space. The landscaping throughout the project provides larger and more trees than required. To avoid a boxy two-floor appearance, articulation is provided by varying roof forms, wall planes, and exterior materials. The project will not result in privacy impacts to the surrounding residences based on the proposed fenestration patterns and the proposed setbacks from the neighboring properties.

**Finding:** The visual prominence associated with the construction of a two-story house or addition in a predominantly single-story neighborhood has been reduced through appropriate transitions between the first and second floors and the provision of second floor offsets to avoid unrelieved two-story walls.

**Facts in Support of Finding:** The neighborhood includes a mixture of one-to-three-story residential properties. In addition, the second story design proposes a second-to-first floor ratio in compliance with the design guidelines with articulation on both roof forms and wall planes. The second floor is further enhanced with a balcony, modern fascia, and elevation treatments of varying materials on the first and second floor.

- C. The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA), per Section 13315 (Class 15), for Minor Land Divisions and Section 15332 (Class 32), for In-Fill Development.
- D. The project is subject to a traffic impact fee, pursuant to Chapter XII, Article 3 Transportation System Management, of Title 13 of the Costa Mesa Municipal Code.

## **EXHIBIT B**

### **CONDITIONS OF APPROVAL**

- PIng.      1.      Approval of Planning Application 22-20 and Tentative Parcel Map No. 2022-140 is valid for two (2) years from the effective date of this approval and will expire at the end of that period unless applicant establishes the use by one of the following actions: 1) a building permit has been issued and construction has commenced, and a valid building permit has been maintained by making satisfactory progress as determined by the Building Official; 2) a certificate of occupancy has been issued. A time extension can be requested no less than thirty (30) days or more than sixty (60) days before the expiration date of the permit and submitted with the appropriate fee for review to the Planning Division. The Director of Development Services may extend the time for an approved permit or approval to be exercised up to 180 days subject to specific findings listed in Title 13, Section 13-29 (k) (6). Only one request for an extension of 180 days may be approved by the Director. Any subsequent extension requests shall be considered by the original approval authority.
2.      The conditions of approval for PA-22-20 and Tentative Parcel Map No. 2022-140 shall be blueprinted on the face of the site plan as part of the plan check submittal package. Address assignment shall be requested from the Planning Division prior to submittal of working drawings for plan check. The approved address of individual units, suites, buildings, etc., shall be blueprinted on the site plan and on all floor plans in the working drawings.
3.      Second floor windows shall be designed and placed to minimize direct lines-of-sight into windows on adjacent neighboring properties, and to minimize visibility into abutting residential side and rear yards. Every effort shall be made to maintain the privacy of abutting property owners. Prior to issuance of a building permit, applicant shall provide a window placement study demonstrating compliance with this condition.
4.      The final subdivision map shall be recorded with the County prior to the issuance of grading permits or building permits for the proposed development.
5.      The applicant shall install a 6-foot high decorative block wall around the perimeter of the proposed development lot. Where walls on adjacent properties already exist, the applicant shall work with the adjacent property owner(s) to prevent side-by-side walls with gaps in between them and/or provide adequate privacy screen by trees and landscaping.
6.      Prior to building permit final, the developer shall construct decorative block walls, a minimum of six-feet in height, on the interior property lines of the master development lot. Any future modifications to the fencing on the interior property lines after project completion shall be first reviewed and approved by the Development Services Director and any required permits obtained prior to installation. The location and height of walls and fences shall comply with Code requirements, as well as any visibility standards for traffic safety related to ingress and egress.
7.      No modification(s) of the approved building elevations including, but not limited to, change of architectural type, changes that increase the building height, removal of building articulation, or a change of the finish material(s), shall be made during construction without prior Planning Division written approval. Elevations shall not be modified unless otherwise approved by Development Services Director as consistent with the architectural design and features of the

proposed development. Failure to obtain prior Planning Division approval of the modification could result in the requirement of the applicant to (re)process the modification through a discretionary review process, or in the requirement to modify the construction to reflect the approved plans.

8. The subject property's ultimate finished grade level may not be filled/raised in excess of 30 inches above the finished grade of any abutting property. If additional dirt is needed to provide acceptable on-site storm water flow to a public street, an alternative means of accommodating that drainage shall be approved by the City's Building Official prior to issuance of any grading or building permits. Such alternatives may include subsurface tie-in to public storm water facilities, subsurface drainage collection systems and/or sumps with mechanical pump discharge in-lieu of gravity flow. If mechanical pump method is determined appropriate, said mechanical pump(s) shall continuously be maintained in working order. In any case, development of subject property shall preserve or improve the existing pattern of drainage on abutting properties.
9. Prior to issuance of building permits, the Developer shall pay a park impact fee or dedicate parkland to meet the demands of the proposed development.
10. Trash facilities shall be screened from view, and designed and located appropriately to minimize potential noise and odor impacts to residential areas.
11. Prior to issuance of grading permits, developer shall submit for review and approval a Construction Management Plan. This plan features methods to minimize disruption to the neighboring residential uses to the fullest extent that is reasonable and practicable. The plan shall show undisrupted access to other properties on the Alley and shall ensure that trash facilities are accessible at the south end of the Alley. The plan shall include construction parking and vehicle access and specifying staging areas and delivery and hauling truck routes. The plan should mitigate disruption to residents during construction. The truck route plan shall preclude truck routes through residential areas and major truck traffic during peak hours. The total truck trips to the site shall not exceed 200 trucks per day (i.e., 100 truck trips to the site plus 100 truck trips from the site) unless approved by the Development Services Director or Transportation Services Manager.
12. The ground floor exterior decks/patios shall not be built higher than six inches above natural grade.
13. Backflow preventers, and any other approved above-ground utility improvement shall be located outside of the required street setback area and shall be screened from view, under direction of Planning staff. Any deviation from this requirement shall be subject to review and approval of the Development Services Director.
14. The applicant shall defend, indemnify, and hold harmless the City, its elected and appointed officials, agents, officers and employees from any claim, action, or proceeding (collectively referred to as "proceeding") brought against the City, its elected and appointed officials, agents, officers or employees arising out of (1) City's approval of the project, including but not limited to any proceeding under the California Environmental Quality Act. The indemnification shall include, but not be limited to, damages, fees and/or costs awarded against the City, if any, and cost of suit, attorney's fees, and other costs, liabilities and expenses incurred in connection with such proceeding whether incurred by the applicant, the City and/or the parties initiating or bringing such proceeding. This indemnity provision shall include the applicant's obligation to indemnify the City for all the City's costs, fees, and damages that the City incurs in enforcing the indemnification provisions set forth in this section.

15. The landscaping of this project shall comply with the City's landscaping requirements and any applicable guidelines (i.e. Water Efficient Landscape Guidelines). A landscape plan shall be submitted with the plan check submittal.
16. All driveways and parking areas shall be finished with decorative stamped concrete or pervious pavers. The final landscape concept plan shall indicate the landscape palette and the design/material of paved areas, and the landscape/hardscape plan shall be approved by the Planning Division prior to issuance of building permits.
17. Prior to the issuance of building permits, the applicant shall provide the Conditions, Covenants, and Restrictions (CC&Rs) to the Planning Division for review by the Development Services Director and City Attorney's Office. The CC&Rs must be in a form and substance acceptable to, and shall be approved by the Development Services Director and City Attorney's Office.
  - a. The CC&Rs shall contain restrictions requiring residents to park vehicles in garage spaces provided for each unit. Storage of other items may occur only to the extent that vehicles may still be parked within the required garage at the number of which the garage was originally designed and to allow for inspections by the association to verify compliance with this condition.
  - b. Any subsequent revisions to the CC&Rs related to these provisions must be review and approved by the City Attorney's Office and the Development Services Director before they become effective.
  - c. The CC&Rs shall contain restrictions prohibiting the outside storage of any boats, trailers, Recreational Vehicles, and similar vehicles.
  - d. The CC&Rs shall include a plan or manner of permanent care and maintenance of any project open spaces, pedestrian sidewalk, recreational areas and commonly used areas/facilities.
  - e. The CC&Rs shall establish requirements for the disclosure of general and specific information to buyers of issues regarding the property and its surroundings.
18. Prior to issuance of a certificate of occupancy, the applicant shall file and record a declaration of covenants, conditions, and restrictions (CC&Rs) on the property. The establishment of a maintenance association is required. Prior to issuance of a building permit, a draft of the CC&Rs shall be remitted to the Development Services Director and City Attorney's Office for review and approval. The CC&Rs shall include ground rules for architectural control over future building modifications or additions, architectural design and guidelines for the property, and engagement in alternative dispute resolution before filing a lawsuit to resolve conflicts. The Development Services Director has the discretion to request any other provisions in the CC&Rs to promote self-governance between the two property owners.
19. The applicant shall contact the current cable company prior to issuance of building permits to arrange for pre-wiring for future cable communication service.
20. The Maintenance Association, as applicable, shall submit a signed affidavit to the City of Costa Mesa on an annual basis to certify the following:

- a. The two-car garages in the residential community are being used for vehicle parking by the resident(s).
- b. The vehicle parking areas within the garage are not obstructed by storage items, including but not limited to, toys, clothing, tools, boxes, equipment, etc.
- c. The resident(s) have consented to voluntary inspections of the garage to verify the parking availability, as needed.

The form and content of the affidavit shall be provided by the City Attorney's Office. Failure to file the annual affidavit is considered a violation of this condition.

- 21. The applicant shall contact the Planning Division to arrange a Planning inspection of the site prior to the release of occupancy/utilities. This inspection is to confirm that the conditions of approval and code requirements have been satisfied.
- 22. Prior to issuance of Certificate of Occupancy (C of O) the applicant shall provide a scaled and dimensioned digital site plan(s) for the project site, on either a CD or thumb drive, to the Planning Division. All site plans shall include an accurate and precise drawing of all building footprints and property line locations for the entire project site. All buildings shall be annotated with its corresponding address and suites if applicable.
- 23. All utilities servicing irrigation, project lighting and other commonly serving improvements, shall be provided by (a) common meter(s) that is the shared responsibility for all property owners in the development project. The CC&Rs or other organizational documents shall include verbiage requiring the common meters for the life of the development project.
- 24. The precise grading plan shall clearly show the lowest and highest point of the development. The lowest point of the finished surface elevation of either the ground, paving or sidewalk within the area between the building and the property line, or when the property line is more than five (5) feet from the building, between the building and a line five (5) feet from the building.
- 25. On-site lighting shall be provided in all parking areas, vehicular access ways, and along major walkways. The lighting shall be directed onto driveways and walkways within the project and away from dwelling units and adjacent properties to minimize light and glare impacts, and shall be of a type approved by the Development Services Director.
- 26. Prior to the issuance of Building Permits, the Applicant shall submit a Lighting Plan and Photometric Study for the approval of the City's Development Services Department. The Lighting Plan shall demonstrate compliance with the following: (a) Lighting design and layout shall limit spill light to no more than 0.5 foot candle at the property line of the surrounding neighbors, consistent with the level of lighting that is deemed necessary for safety and security purposes on site. (b) Glare shields may be required for select light standards.

27. Prior to building permit issuance, the applicant shall submit a comprehensive utilities plan that shows utility design, undergrounding and required dedications/easements. The plan will be reviewed by both the City's Building Division and Public Works Department
- TRANS 28. The applicant shall submit a Traffic Impact Fee to the Transportation Division prior to issuance of building permits. The fee is required in an amount determined by the Transportation Division pursuant to the prevailing schedule of charges adopted by the City Council. The fee is calculated with consideration of standardized trip generation ratios for proposed uses and includes credits for existing uses. NOTE: The estimated Traffic Impact Fee for this application is \$4,018.50. The fee will be calculated at the time of issuance of building permits and based upon the prevailing schedule of charges in effect at that time.

### **CODE REQUIREMENTS**

The following list of federal, state and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

- Plng.
1. All contractors and subcontractors must have valid business licenses to do business in the City of Costa Mesa. Final inspections, final occupancy and utility releases will not be granted until all such licenses have been obtained.
  2. The location and height of walls, fences, and landscaping shall comply with Code requirements, as well as any visibility standards for traffic safety related to ingress and egress.
  3. All noise-generating construction activities shall be limited to 7 a.m. to 7 p.m. Monday through Friday and 9 a.m. to 6 p.m. Saturday. Noise-generating construction activities shall be prohibited on Sunday and the following Federal holidays: New Year's Day, Memorial Day, Independence Day, Labor Day, Thanksgiving Day and Christmas Day.
  4. Development shall comply with all requirements of Section 13-32 and Article 2.5, Title 13, of the Costa Mesa Municipal Code relating to development standards for residential projects.
  5. Prior to the issuance of building permits, the applicant shall contact the US Postal Service with regard to location and design of mail delivery facilities. Such facilities shall be shown on the site plan, landscape plan, and/or floor plan.
  6. Address assignment shall be requested from the Planning Division prior to submittal of working drawings for plan check. The approved address of individual units, suits, building, etc., shall be blueprinted on the site plan and on all floor plans in the working drawings.
  7. All on-site utility services shall be installed underground.
  8. Installation of all new utility meters shall be performed in a manner so as to obscure the installation from view from any place on or off the property.

The installation shall be in a manner acceptable to the public utility and shall be in the form of a vault, wall cabinet, or wall box under the direction of the Planning Division.

9. Any mechanical equipment such as air-conditioning equipment and duct work shall be screened from view in a manner approved by the Planning Division.
10. Two sets of detailed landscape and irrigation plans, which meet the requirements set forth in Costa Mesa Municipal Code Sections 13-101 through 13-108 and the City's Water Efficient Landscape Guidelines, shall be required as part of the project plan check review and approval process. Plans shall be forwarded to the Planning Division for final approval prior to issuance of building permits.
11. Landscaping and irrigation shall be installed in accordance with the approved plans prior to final inspection or occupancy clearance.
12. A minimum 20-foot by 20-foot clear inside dimension shall be provided for the two-car garages, with minimum garage door width of 16 feet and automatic garage door openers. The proposed garages shall be used for parking as required by code as it is not habitable space; further excess storage which prevents parking the required number of vehicles is prohibited.
- Bldg. 13. Comply with the requirements of the following adopted codes: 2019 California Residential Code, 2019 California Building Code, 2019 California Electrical Code, 2019 California Mechanical Code, 2019 California Plumbing Code, 2019 California Green Building Standards Code and 2019 California Energy Code (or the applicable adopted, California Residential Code, California Building Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Green Building Standards and California Energy Code at the time of plan submittal or permit issuance) and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa.
14. Prior to issuing the Building permit the conditions of approval shall be on the approved Architectural plans.
15. Two separate plans for each address shall be submitted to the Building Division for review.
16. Prior to issuing the Building permit, the rough grading certificate shall be submitted to the Building Division.
17. Submit precise grading plans, an erosion control plan and a hydrology study. If it is determined that a grading plan is not required, a drainage plan shall be provided. Each parcel and address shall have a separate precise grading plan. A precise grading and a hydrology report plan shall not be required if any of the following are met:
  1. An excavation which does not exceed 50 CY on any one site and which is less than 2 ft in vertical depth, or which does not create a cut slope greater than 1 ½:1 (excluding foundation area).

2. A fill less than 1 foot in depth placed on natural grade with a slope flatter than 5:1, which does not exceed 50 CY on any one lot and does not obstruct a drainage course.
  3. A fill less than 3 ft. in depth, not intended to support structures, which does not exceed 50 CY on any one lot and does not obstruct a drainage course.
18. On graded sites the top of exterior foundation shall extend above the elevation of the street gutter at point of discharge or the inlet of an approved discharge devise a minimum of 12 inches plus 2 percent. 2013 California Residential Code CRC 403.1.7.3
  19. Lot shall be graded to drain surface water away from foundation walls. The grade shall fall a minimum of six inches within the first 10 feet. CRC R401.3
  20. Submit a soil's report for the project. Soil's Report recommendations shall be blueprinted on both the architectural and the precise grading plans.
  21. Comply with the requirements of the California Department of Food and Agriculture (CDFA) to determine if red imported fire ants exist on the property prior to any soil movement or excavation. Call CDFA at (714) 708-1910 for information.
  22. Submit a precise grading plans, an erosion control plan, and a hydrology study.
- Eng.
23. At the time of development submit for approval an Offsite Plan to the Engineering Division and Grading Plan to the Building Division that shows Sewer, Water, Existing Parkway Improvements, sidewalk and the limits of work on the site, and hydrology calculations, both prepared by a registered Civil Engineer or Architect. Construction Access approval must be obtained prior to Building or Engineering Permits being issued by the City of Costa Mesa. Pay Offsite Plan Check fee per Section 13-231 of the C.C.M.M.C. and an approved Offsite Plan shall be required prior to Engineering Permits being issued by the City of Costa Mesa.
  24. Maintain the public Right-of-Way in a "wet-down" condition to prevent excessive dust and remove any spillage from the public Right-of-Way by sweeping or sprinkling.
  25. Pay Offsite Plan Check fee per Section 13-231 of the C.C.M.M.C. and an approved Offsite Plan shall be required prior to Engineering Permits being issued by the City of Costa Mesa.
  26. Obtain an encroachment permit from the Engineering Division for any work in the City public right-of-way. Pay required permit fee & cash deposit or surety bond to guarantee construction of off-site street improvements at time of permit per section 15-31 & 15-32, C.C.M.M.C. as approved by City Engineer. Cash deposit or surety bond amount to be determined by City Engineer.
  27. Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and then construct P.C.C. driveway approach per City of Costa Mesa Standards as shown on the Offsite Plan. Location and



dimensions are subject to the approval of the Transportation Services Manager. ADA compliance required for new driveway approaches.

28. Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and then construct residential sidewalk per City of Costa Mesa Standards as shown on the Offsite Plan, including four (4) feet clear around obstructions in the sidewalk.
29. Show all existing and proposed easements.
30. Fulfill Drainage Fee requirements per City of Costa Mesa Ordinance No. 06-19 prior to approval of approval of Plans.
31. Obtain permit from the City of Costa Mesa, Engineering Division to remove existing driveway and/or curb depression that will not be used per the approved offsite improvement plans.
32. In order to comply with the 2003 Drainage Area Management Plan (DAMP), the proposed Project shall prepare a Water Quality Management Plan conforming to the Current National Pollution Discharge Elimination System (NPDES) and the Model WQMP, prepared by a Licensed Civil Engineer or Environmental Engineer, which shall be submitted to the Department of Public Works for review and approval.
  - a) A WQMP (Priority or Non-Priority) shall be maintained and updated as needed to satisfy the requirements of the adopted NPDES program. The plan shall ensure that the existing water quality measures for all improved phases of the project are adhered to.
  - b) Location of BMPs shall not be within the public right-of-way.
33. Submit Subdivision Application and comply with conditions of approval and code requirements.
34. Dedicate 2.5-foot easement for alley purposes to the City of Costa Mesa and reconstruct the alley from the edge of v-gutter to the ultimate property line.
35. Submit a preliminary plan showing all utility connections prior to submitting plans to the City. All utility connections to Bernard Street shall be located within the subdivision.
36. Comply with the California Fire Code as adopted and amended by the City of Costa Mesa.
37. Residential fire sprinklers shall be provided for the new units

Fire

Dear Costa Mesa Planning Department,

My name is William Yang, and I am the proud owner of the property located at 549 Bernard St, Costa Mesa. We humbly request permission from the City of Costa Mesa to demolish the existing houses and build 4 new homes under the Small Lot Subdivision Ordinance.

The existing property includes 2 houses totaling 1,400 livable sq ft on an oversized lot of 12,545 sq ft. One unit is currently vacant, and the other unit is currently rented to a tenant, whose lease sets to expire on 8/31/2023. We are in agreement with the tenant that they will be vacating the property after the lease expires. We will then start construction of the new proposed 4 homes after the tenant vacates.

We wish to build 4 small lot subdivided homes at 549 Bernard St per the below specifications:

- **Unit A** includes 1,780 livable sq ft with 2 bedrooms, 2 bathrooms, 2 half-baths and a 2-car garage with 1 open space parking spot, on a 3,001 SF parcel.
- **Unit B** includes 1,984 livable sq ft with 4 bedrooms, 3.5 bathrooms, and a 2-car garage with 2 open space parking spots, on a 3,001 SF parcel.
- **Unit C** includes 1,984 livable sq ft with 4 bedrooms, 3.5 bathrooms, and a 2-car garage with 2 open space parking spots, on a 3,001 SF parcel.
- **Unit D** includes 1,817 livable sq ft with 4 bedrooms, 3.5 bathrooms, and a 2-car garage with 2 open space parking spots, on a 3,000 SF parcel.

The 4 homes are also designed to be harmonious with the surrounding neighborhood. The property is surrounded by multifamily apartments, mobile homes, and condominiums. So, the proposed development's density is compatible with the density of the surrounding neighborhood.

### **Proposed Architectural Design**

The proposed design is a modern farmhouse architectural style designed to be consistent with the Residential Design Guidelines set out by the City of Costa Mesa. The proposed design consists of variation in the gable rooflines and modern sleek lines defined by the fascia. Second story setbacks, balconies and porches provide visual relief along the house facades. The front porch facing Bernard St serves as practical outdoor gathering space with a private patio space to engage the public's interest with the architectural style. Enhanced landscaping which will compliment neighborhood and provide visual interest from Bernard Street. A combination of natural colors, wood look sidings and neutral toned stucco provide interesting architectural enhancements. The wood sidings are made of Hardie planks, which are long lasting, fire resistant, insect resistant, and features simulated wood grains. With natural colors of blue and green painted on the sidings, the color schemes give warmth to the contemporary design while representing the coastal surroundings of Costa Mesa. The four houses all include large windows to invite natural light inside while also blurring the lines between indoor and outdoor living. The roof material is dimensional asphalt shingles which requires very little maintenance with a life span of 20 years.

### **Tentative Parcel Map findings:**

- a. **The creation of the subdivision and related improvements is consistent with the general plan, any applicable specific plan, and this Zoning Code.**

The creation of the subdivision complies with the density allowed by the General Plan and Zoning Code. Per the City of Costa Mesa Zoning Code and General Plan, the subject property is zoned R2-HD, which allows 1 unit per 3,000SF. After dedicating 542SF to the public right of way for future City pedestrian and vehicular expansions, the remaining 12,003SF will still allow us to build

---

4 units in compliance with City guidelines. The project will also increase the housing stock and help meet the ever-increasing demand for homeownership.

**b. The proposed use of the subdivision is compatible with the general plan.**

The density and the residential use of the project is compliant with the general plan. The subject property is zoned R2-HD, which allows 1 unit per 3,000SF. On a 12,003SF lot, we are proposing 4 small lot subdivided homes.

**c. The subject property is physically suitable to accommodate the subdivision in terms of type, design and density of development, and will not result in substantial environmental damage nor public health problems, based on compliance with the Zoning Code and general plan, and consideration of appropriate environmental information.**

The subject property has been previously developed for residential use. The use will remain the same. The increased number of units are also allowed under the current density designated by the Zoning Code.

**d. The design of the subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities in the subdivision, as required by State Government Code section 66473.1.**

The new proposed subdivision will also remove the existing homes which are not compliant with the CalGreen Energy Code and bring new homes consistent with the update codes to reduce wasteful and unnecessary energy consumption. All walls and attics will be insulated. All windows and doors are operable to allow fresh ventilation and natural heating and cooling. Windows will all be double paned. Tankless water heaters will be installed as they are much more energy efficient and only heat water as needed. LED lighting will be installed with dimmers and timers for energy use. Landscape designs feature draught tolerant and low water use plants. Solar panels will also be installed for each unit.

**e. The division and development will not unreasonably interfere with the free and complete exercise of the public entity and/or public utility rights-of-way and/or easements within the tract.**

The proposed subdivision will dedicate 3 feet of the property frontage, or 542SF, to the public right of way for future City pedestrian and vehicular expansions. The alley will remain accessible to all neighbors. The buildings have been designed to be outside of easements at the rear of the lot.

**f. The discharge of sewage from this land division into the public sewer system will not violate the requirements of the State Regional Water Quality Control Board pursuant to Division 7 (commencing with State Water Code section 13000).**

The property owner has hired a civil engineer to design the project and provide engineered drawings that will comply with the requirements of the State Regional Water Quality Control Board.

**Design Review Findings:**

- a. The project complies with the City of Costa Mesa Zoning Code and meets the purpose and intent of the residential design guidelines, which are intended to promote design excellence in new residential construction, with consideration being given to compatibility with the established residential community. This design review includes site planning, preservation of overall open space, landscaping, appearance, mass and scale of**

---

**structures, location of windows, varied roof forms and roof plane breaks, and any other applicable design features.**

The proposed residential use is consistent with the existing use and high density residential zoned neighborhood. The proposed density complies with the R2-HD zoning designation. Open space is provided for all units for future residents to enjoy outdoor living spaces. The front unit features enhanced landscaping which will compliment neighborhood and provide visual interest from Bernard Street. Mass and scale have been kept to a minimum and is less than code allows to reduce impact on neighborhoods. The height of the proposed development is 23.5 feet, which is less than the 27 feet allowed by the zoning code. Second story setbacks, balconies and porches provide visual relief along the house facades. Location of windows will not have direct views into neighboring units. Windows will be recessed into wall to provide sense of depth. A combination of gable and valley roof forms create varying roof lines for a more intricate architectural design.

- b. The visual prominence associated with the construction of a two-story house or addition in a predominantly single-story neighborhood has been reduced through appropriate transitions between the first and second floors and the provision of second floor offsets to avoid unrelieved two-story walls.**

The proposed design of the 2-story house is consistent with other existing houses in the neighborhood and features varying wall planes achieved with setbacks and recessed facades on the second floor to reduce massing. Balconies and porches are also provided for visual relief along the facades. A combination of gable and valley roof forms create varying roof lines for a more intricate architectural design. The height of the proposed development is 23.5 feet, which is less than the 27 feet allowed by the zoning code. The closest neighbors to the west of the project are 1 story homes. To be mindful of the neighbors, the project has been designed to provide varying distances from the building envelope to the 1 story neighboring homes to avoid an overwhelming massing and allow natural light to reach the neighbors. The homes' massing are as far as 46 feet with the closes point being 25.5 feet from the property lines of the neighbors to the east. For the 1-story apartment neighbors to the east, the roof line of the proposed development slopes downward toward them to reduce scale. The height of the walls on the east elevations are 20 feet. The neighboring property also includes large screening vegetation so the impact of new buildings will be minimal. The design of the building incorporates varying materials on the first and second floor to break up the facades. Hardie plank sidings will be used on the second floor with colors of blue and green for a more natural appeal. The first-floor stucco will be painted in a variation of white and gray for a neutral design to balance with the neighborhood characteristics.

- c. As applicable to affordable multi-family housing developments, the project complies with the maximum density standards allowed pursuant to the general plan and provides affordable housing to low or very-low income households, as defined by the California Department of Housing and Community Development. The project includes long-term affordability covenants in compliance with state law.**

The project will be at market rate at different price points. The project increases housing stock which will help meet housing demand in Orange County and provides options for varying bedroom counts and square footage which increases the variability in affordability.

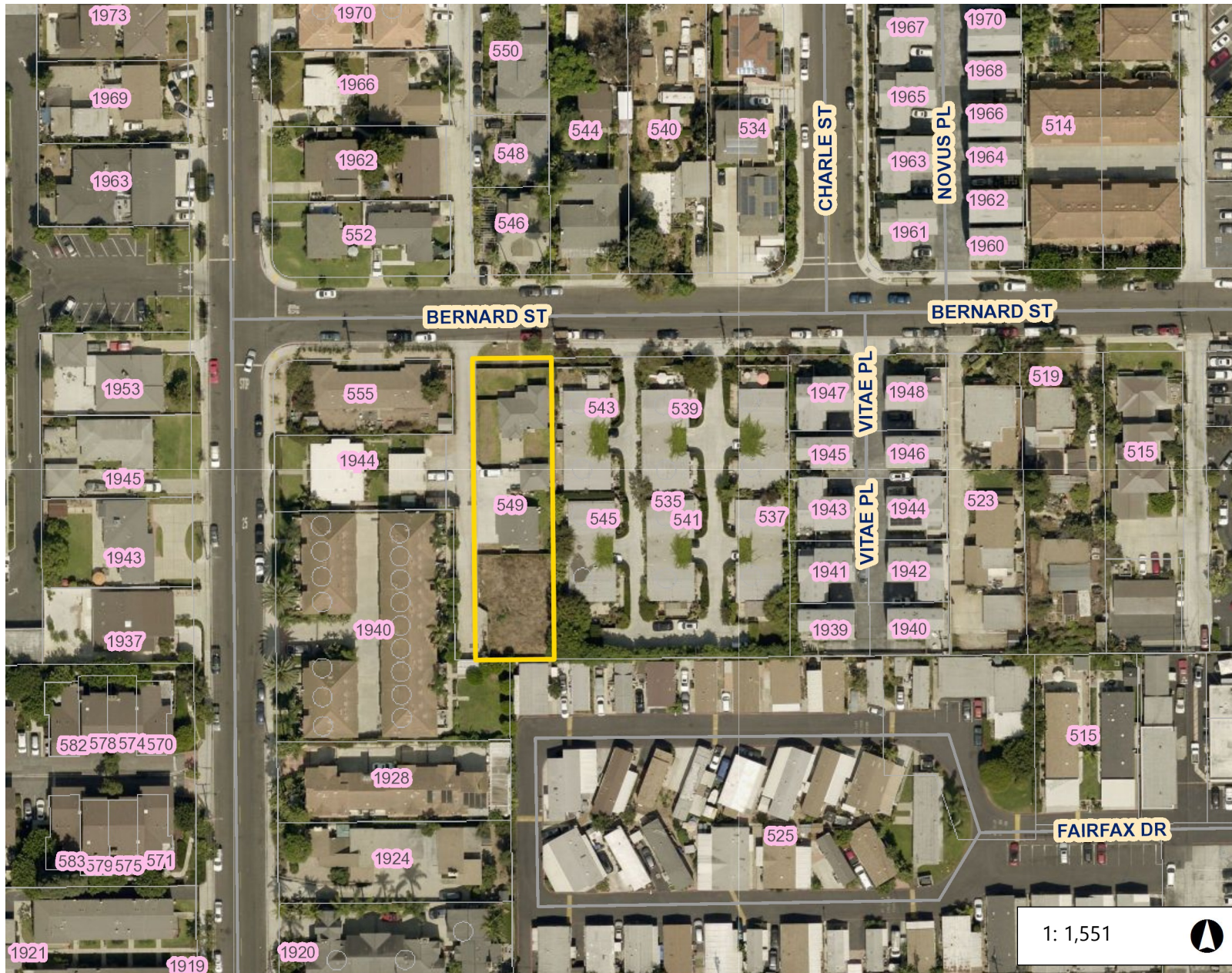
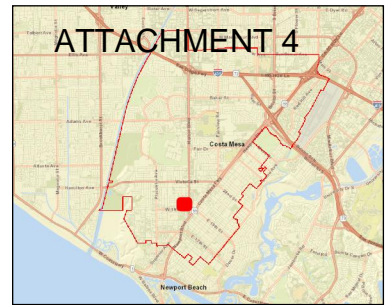
---

I look forward to working with the planning staff and the community as well. I am happy to answer any questions that you may have regarding the proposed 4 homes. Please feel free to call my cell directly at 949-395-5055.

Best regards,

William Yang  
549 Bernard St, Costa Mesa, CA  
8/12/2022





### Legend

 Costa Mesa

1: 1,551



Notes

0.0 0 0.02 0.0 Miles

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
© City of Costa Mesa

The City of Costa Mesa makes no guarantee as to the accuracy of any of the information provided and assumes no liability for any errors, omissions, or inaccuracies.





### Legend

- Costa Mesa
- Zoning**
- AP - Administrative Professional
- IR-MLT - Institutional Recreational I
- R1 - Single-Family Residential
- R2-MD - Multiple-Family Residential
- R2-HD - Multiple-Family Residential
- R3 - Multiple Family Residential
- MG - General Industrial
- MP - Industrial Park
- PDI - Planned Development Industrial
- C1 - Local Business
- C2 - General Business
- C1-S - Shopping Center
- TC - Town Center
- PDR-NCM - Planned Development Mesa
- I&R - Institutional Recreational
- I&R-S - Institutional Recreational - S
- P - Parking
- CL - Commercial Limited
- PDC - Planned Development Commercial
- PDR-LD - Planned Development Residential Density
- PDR-MD - Planned Development Residential Medium Density
- PDR-HD - Planned Development Residential High Density

### Notes

0.0 0 0.02 0.0 Miles

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
© City of Costa Mesa

The City of Costa Mesa makes no guarantee as to the accuracy of any of the information provided and assumes no liability for any errors, omissions, or inaccuracies.









Subject property to the  
left of public alley.



Existing front unit.



Existing back unit  
and detached.



Vacant portion of lot.







Vacant portion of lot.



Neighboring property  
with alley access.



Neighboring trash enclosure with alley access.

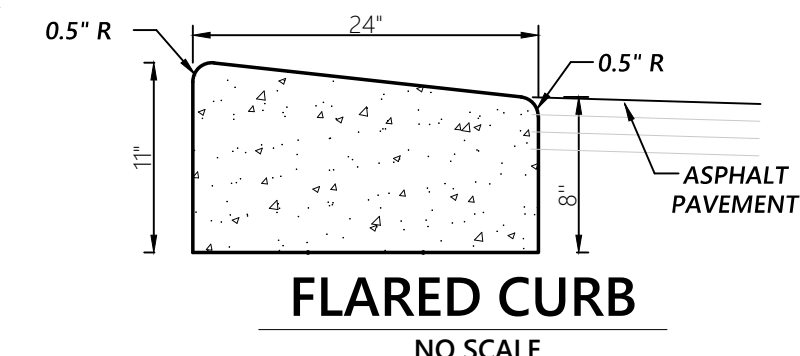
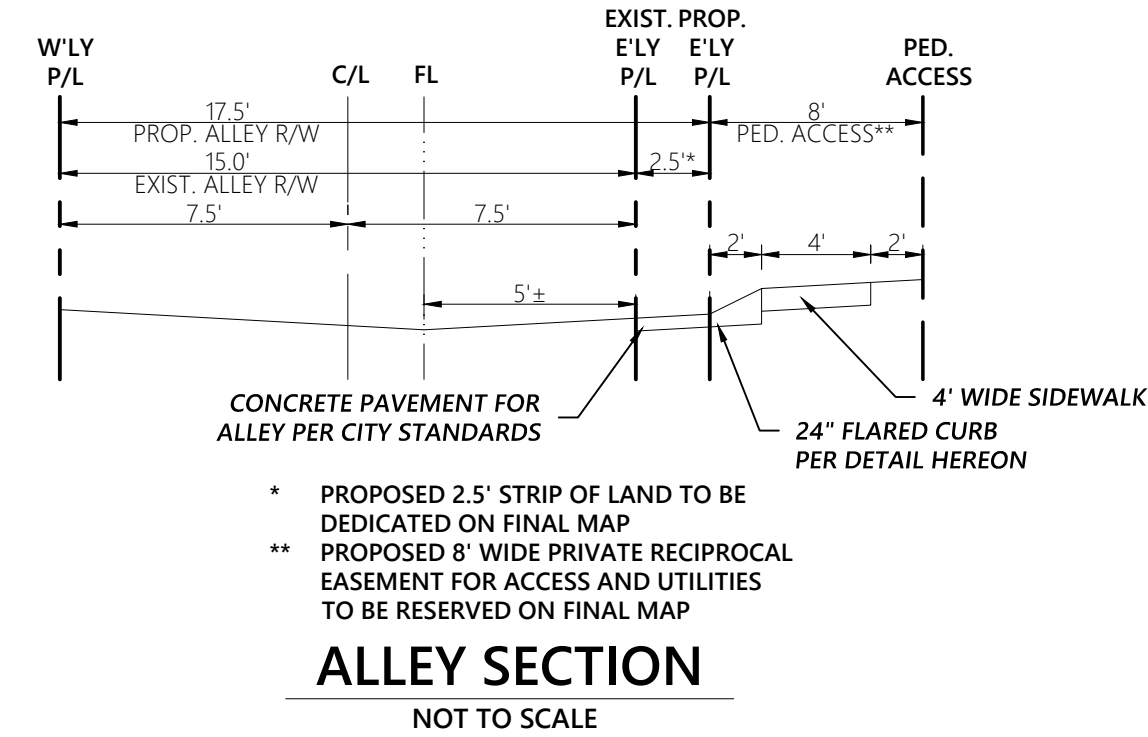
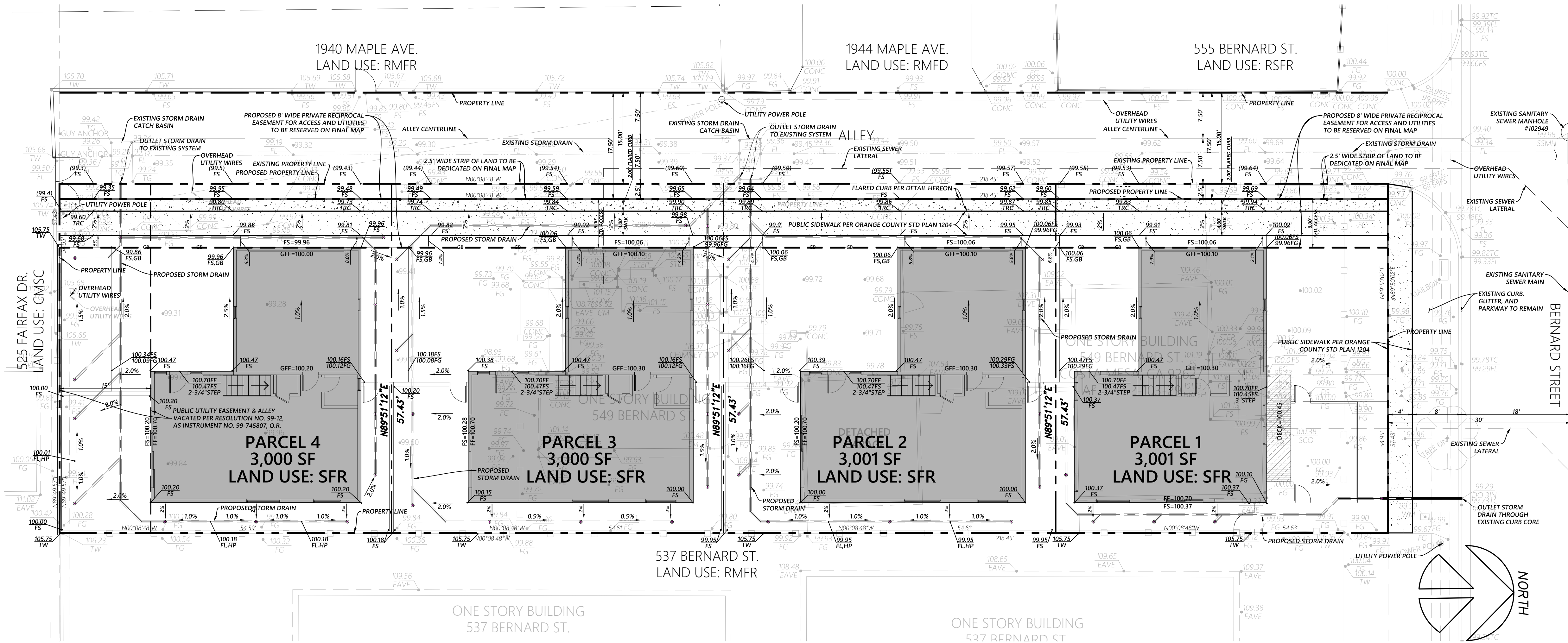


# TENTATIVE PARCEL MAP 2022-140

IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA

BEING A SURVEY OF LOT 13, BLOCK B, TRACT 553 AS PER MAP FILED IN BOOK 20, PAGE 4, OF MISCELLANEOUS MAPS IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY.

CIVILSCAPES ENGINEERING, INC. WILLIAM D. ROLPH, PLS 9381



## BASIS OF BEARINGS:

THE CENTERLINE OF ORCHID AVE.  
BEING N40°33'42"E PER PMB  
378/39-40.

## TENTATIVE BENCHMARK

WATER METER SOUTHEAST OF SITE LABELED 'WM,TBM'  
HEREON.

TBM ELEVATION = 99.82

## OWNER/ SUBDIVIDER:

549 BERNARD COSTA MESA LLC  
16800 ASTON STREET, SUITE 275  
IRVINE, CA 92606

## ENGINEER/ SURVEYOR:

CIVILSCAPES ENGINEERING, INC.  
28052 CAMINO CAPISTRANO, STE 213  
LAGUNA NIGUEL, CA 92677  
949.464.8115  
WILL@CIVILSCAPES.COM

## SITE ADDRESS:

549 BERNARD STREET  
COSTA MESA, CA 92627  
APN: 422-103-29

## FLOOD NOTE:

THE SITE IS LOCATED IN FEMA ZONE 'X'

## TITLE REPORT

CHICAGO TITLE COMPANY  
5 CORPORATE PARK, #100  
NEWPORT BEACH, CA 92660  
TITLE OFFICER: JOHN F. ALLEN  
ChicagoAllen@ctt.com  
949-263-0872  
TITLE NO. 58602013110-JFA

## ACREAGE:

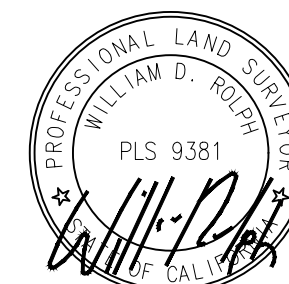
PARCEL 1: 0.069 AC GROSS, 0.059 AC NET  
PARCEL 2: 0.069 AC GROSS, 0.059 AC NET  
PARCEL 3: 0.069 AC GROSS, 0.059 AC NET  
PARCEL 4: 0.069 AC GROSS, 0.059 AC NET  
TOTAL: 0.276 AC GROSS, 0.236 AC NET

## SITE DATA:

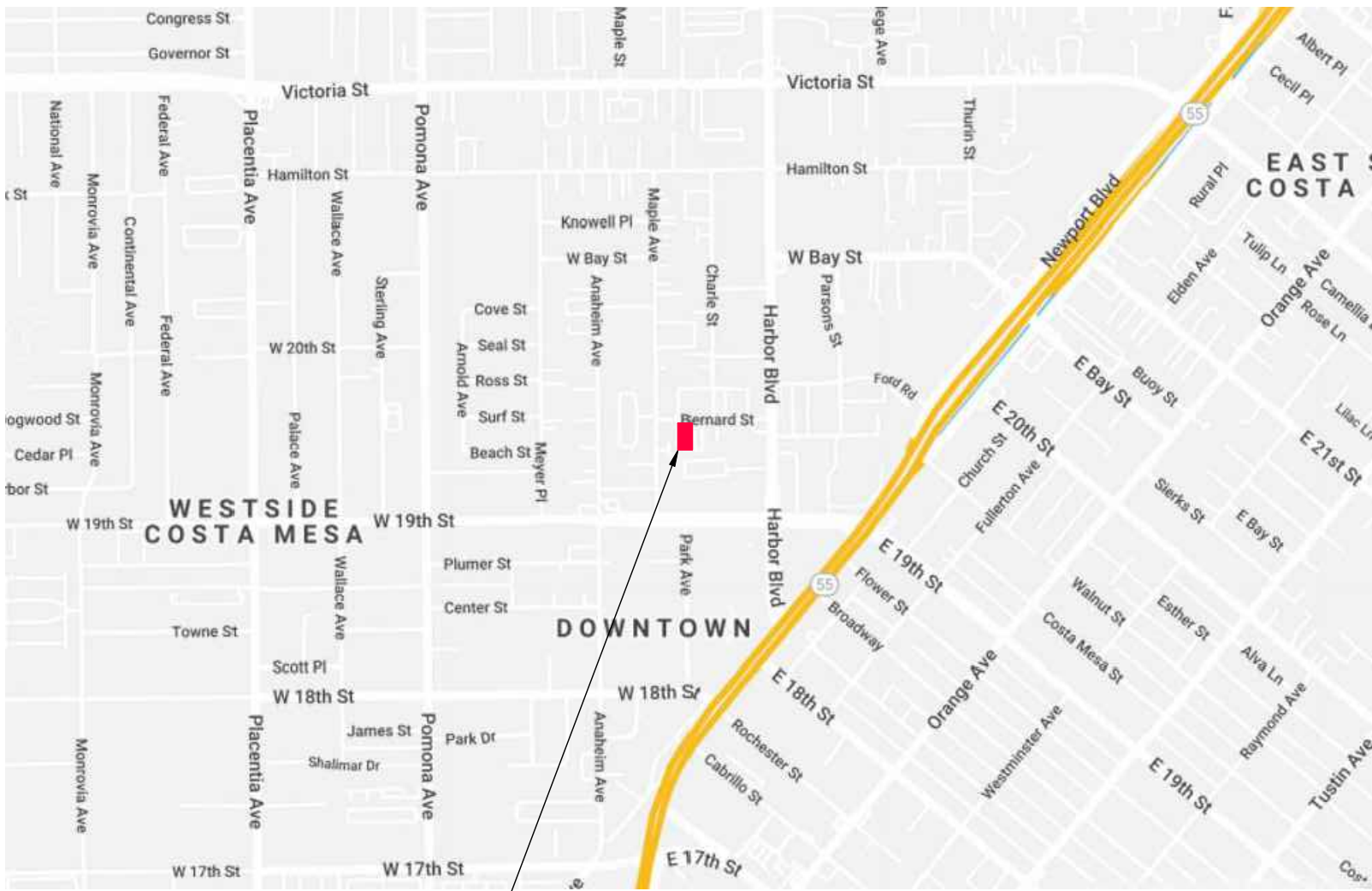
ADDRESS: 549 BERNARD ST., COSTA MESA  
EXISTING ACREAGE: 0.288 AC  
PROPOSED ACREAGE: 0.256 AC  
PROPOSED LAND USE: RSFR

## DATE OF TENTATIVE MAP:

OCTOBER 28, 2022







PROJECT ADDRESS:	549 BERNARD STREET, COSTA MESA, CA
APN:	422-103-29
PROPERTY OWNER:	549 BERNARD COSTA MESA LLC WILLIAM YANG 16800 ASTON STREET, SUITE 275 IRVINE, CA 92606
ARCHITECT:	TAG DESIGN WORKS 411 E. HUNTINGTON DRIVE, SUITE 308 ARCADIA, CA 91006
PROJECT SUMMARY DESCRIPTION:	PROPOSE 4 SINGLE FAMILY DWELLINGS (WITH SMALL LOT DIVISION ORD.) 12,003 SF
LOT SIZE:	
ZONING SUMMARY	
ZONING:	R2-HD HIGH DENSITY RESIDENTIAL
LOT SIZE:	
PROPOSED DENSITY:	4 (4 ALLOWED, 1 UNIT PER 3,000SF)
PROPOSED BUILDING HEIGHT:	23'-6" (27'-0" ALLOWED)
PROPOSED BUILDING SEPARATION:	8'-0" AND 17'-7" (6'-0" ALLOWED)
PROPOSED SETBACK:	FRONT YARD SIDE YARD REAR YARD
PROPOSED BUILDING COVERAGE:	15'-0" (15'-0" REQUIRED) 4,740 SF (39.5%)
PROPOSED OPEN SPACE:	4,414 SF (36.8% PROVIDED, 35% REQ'D PER SEC 13-42.3)
PROPOSED DRIVEWAY:	2,849 SF (23.7%)
PROPOSED PARKING:	15

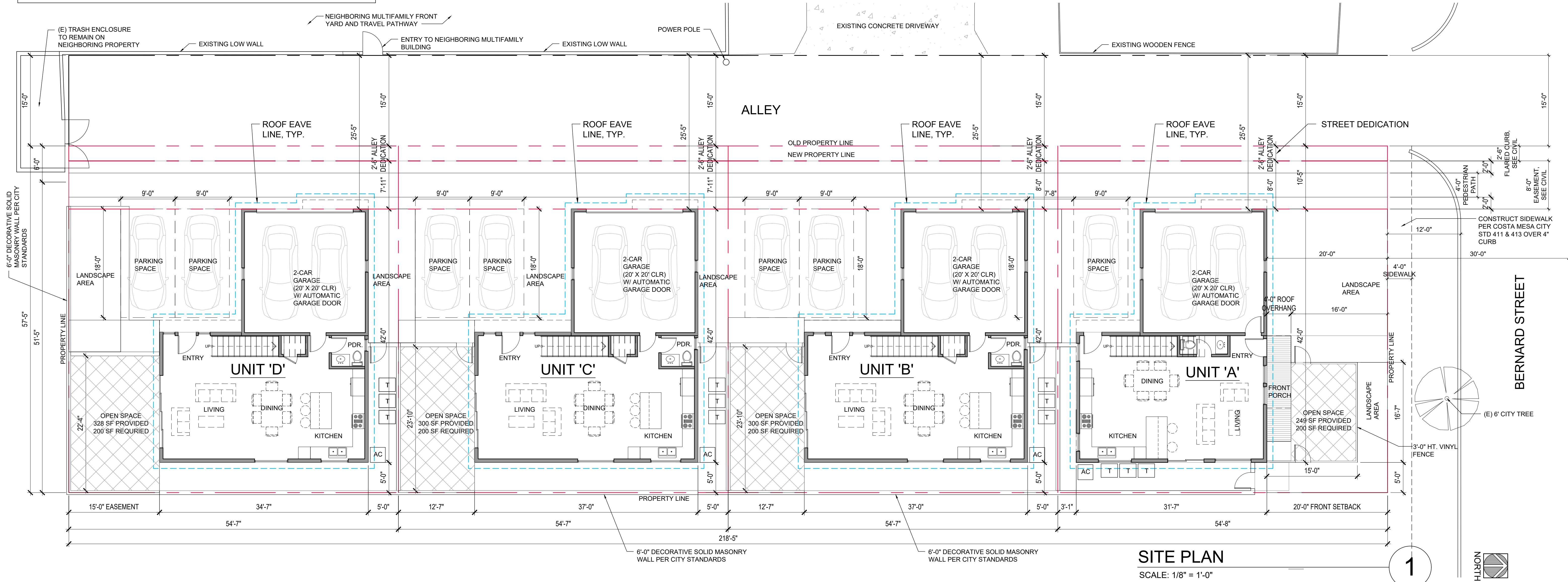
- NOTE:
1. SCREEN ALL UTILITY METERS.
  2. ONSITE PAVING TO BE DECORATIVE AND SUBJECT TO PLANNING APPROVAL
  3. UTILITIES TO BE UNDERGROUNDED PER CMMC SEC. 13-71(d).

PARKING TABLE			
	BEDROOMS	SPACES (REQ'D)	SPACE (PROVIDED)
UNIT A	2	3 (2 GARAGE+1 OPEN)	3 (2 GARAGE+1 OPEN)
UNIT B	4	4 (2 GARAGE+2 OPEN)	4 (2 GARAGE+2 OPEN)
UNIT C	4	4 (2 GARAGE+2 OPEN)	4 (2 GARAGE+2 OPEN)
UNIT D	4	4 (2 GARAGE+2 OPEN)	4 (2 GARAGE+2 OPEN)

VIEW FROM STREET

PROJECT SITE

VICINITY MAP



SITE PLAN

SCALE: 1/8" = 1'-0"

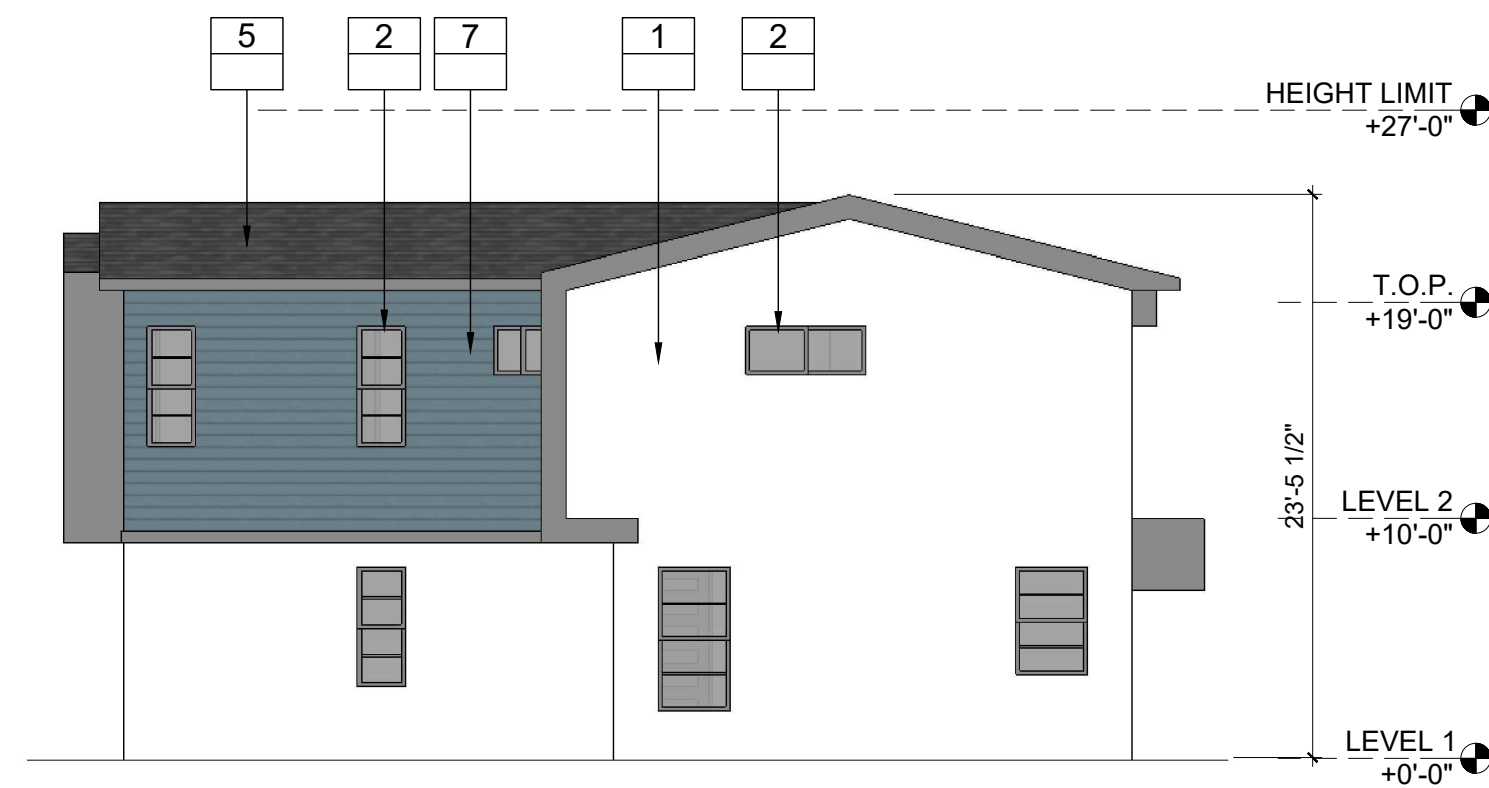
1





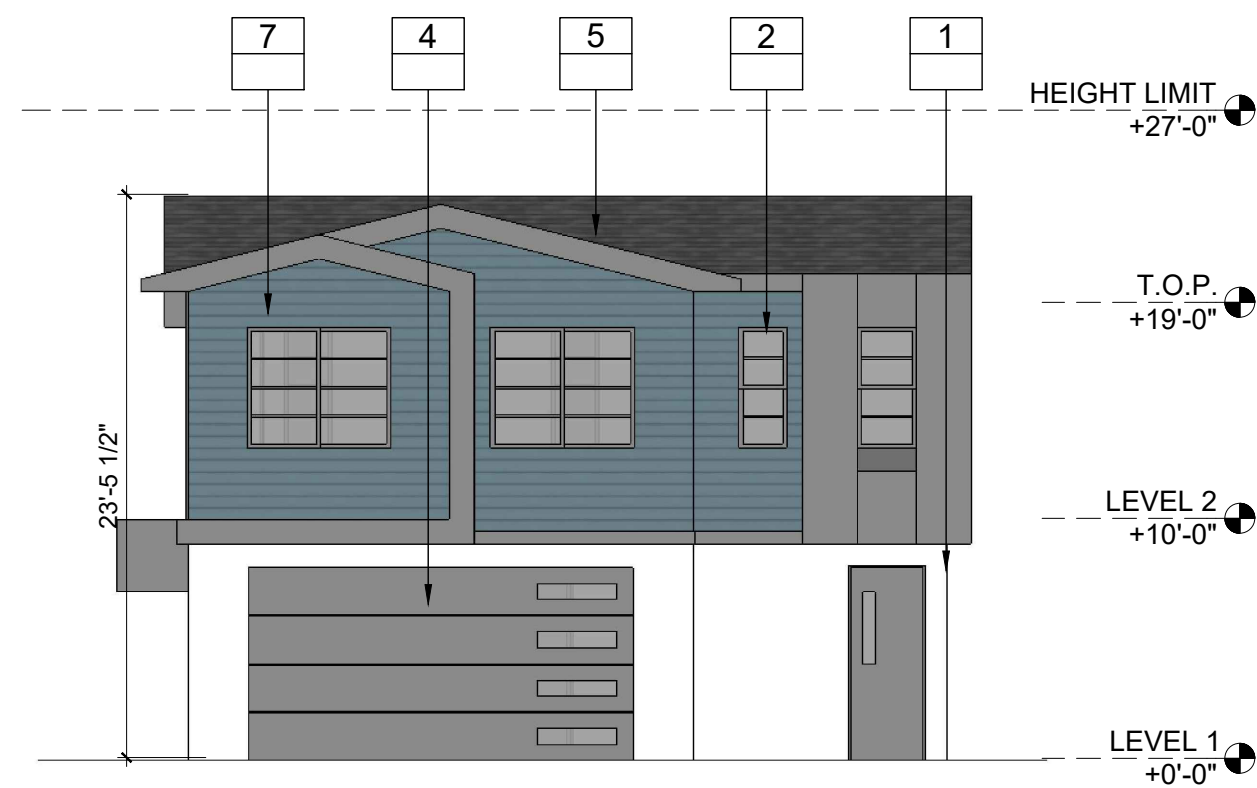
EAST ELEVATION  
SCALE: 1/8" = 1'-0"

D



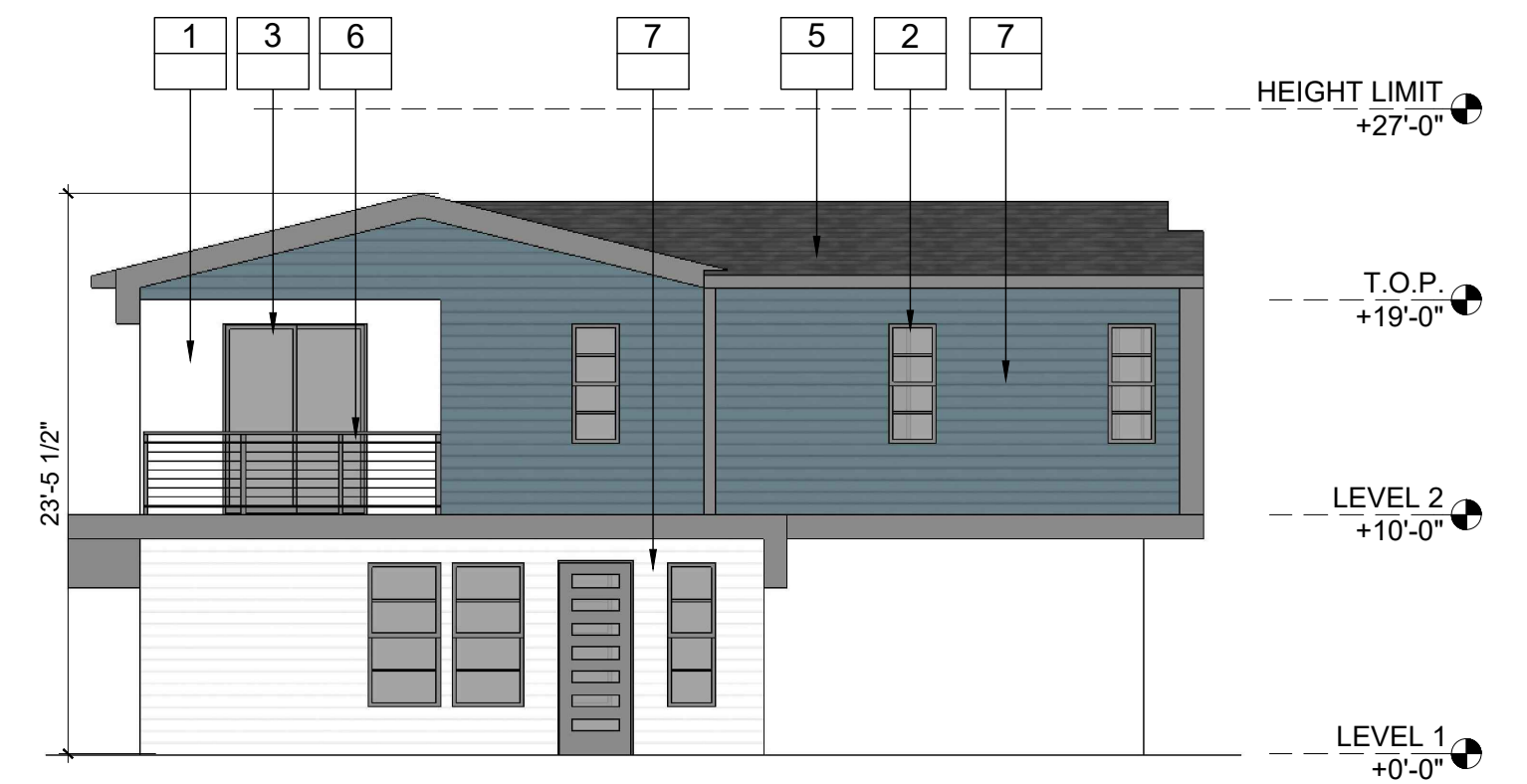
SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

C



WEST ELEVATION  
SCALE: 1/8" = 1'-0"

B



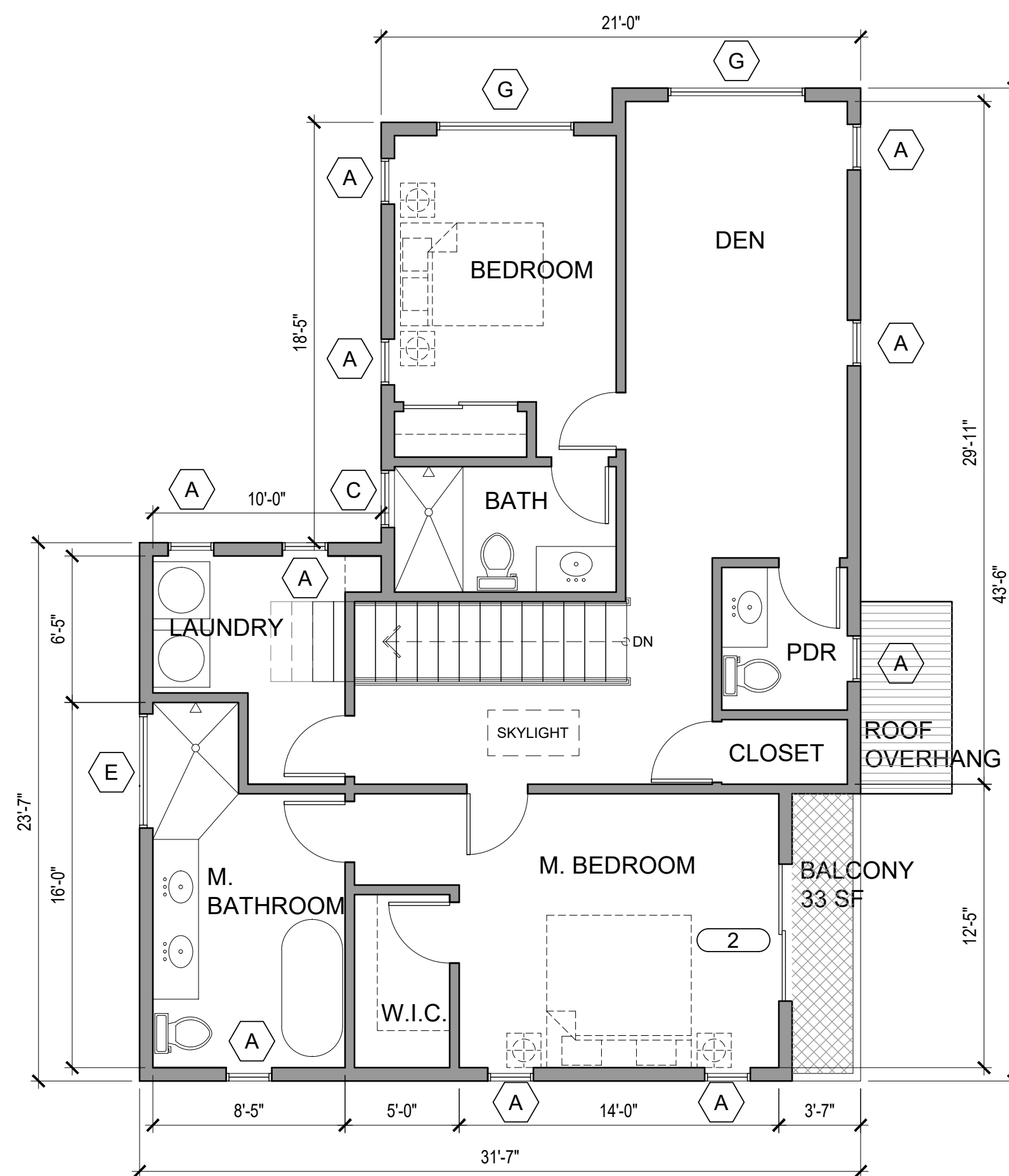
NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

A

- MATERIALS:**
1. LIGHT SAND FINISH STUCCO
  2. VINYL WINDOW
  3. VINYL DOOR
  4. METAL GARAGE DOOR
  5. ASPHALT SHINGLE ROOF
  6. METAL RAILING
  7. HARDIE SIDING
  8. EXTERIOR LIGHT

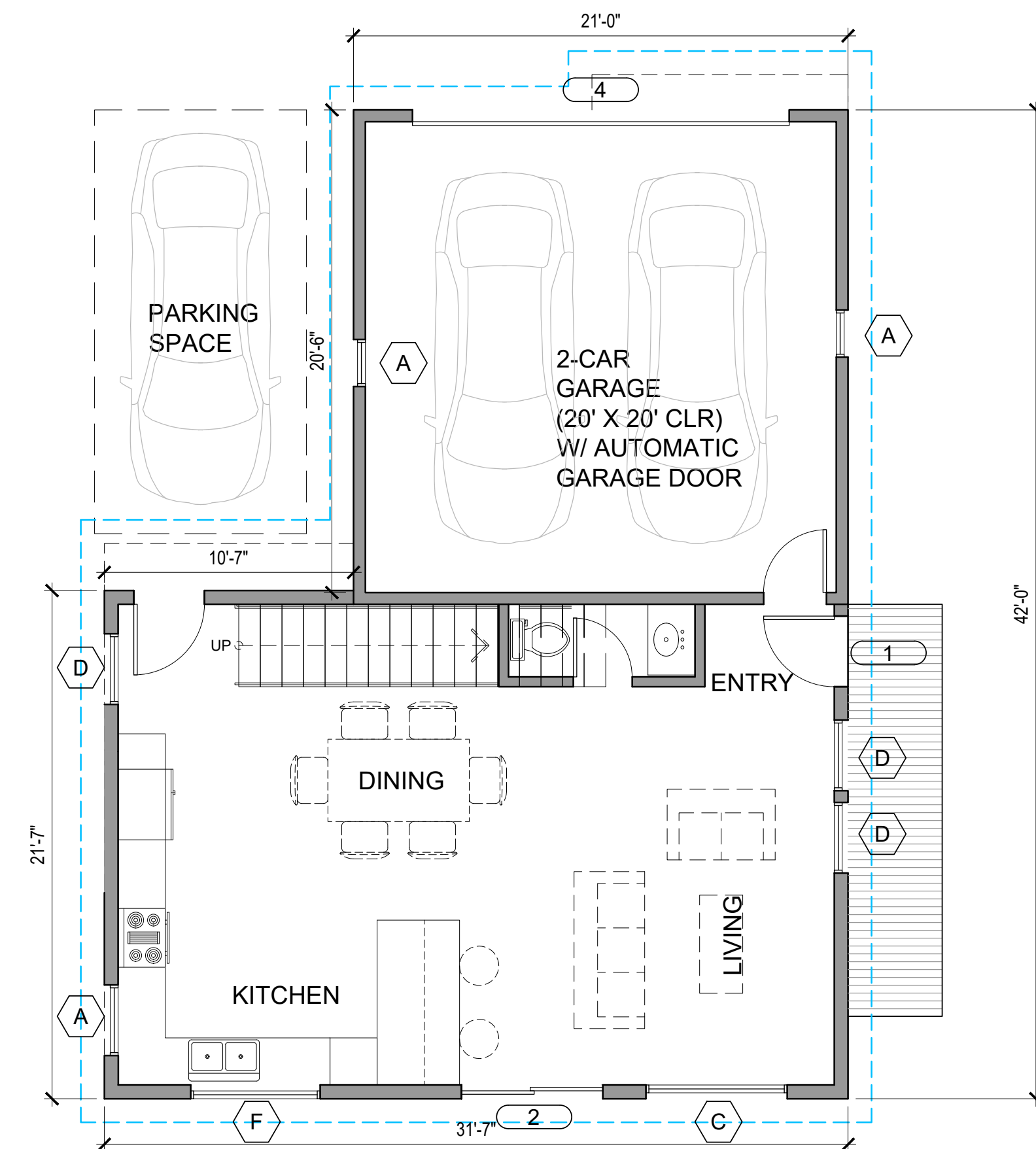
**UNIT COLOR VARIANTS:**

- A & C    SHERWIN-WILLIAMS  
LABRADORITE
- B & D    SHERWIN-WILLIAMS  
JUNIPER



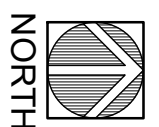
SECOND FLOOR: UNIT A  
SCALE: 3/16" = 1'-0"

2



FIRST FLOOR: UNIT A  
SCALE: 3/16" = 1'-0"

1



**UNIT SIZE: UNIT A**

PARCEL SIZE:	3,001 S.F.
FIRST FLOOR:	1,110 S.F.
LIVING AREA	(682 S.F.)
GARAGE	(428 S.F.)
SECOND FLOOR:	
LIVING AREA	1,098 S.F.
BALCONY	33 S.F.
TOTAL LIVABLE:	1,780 S.F.
TOTAL BUILDING:	2,208 S.F.

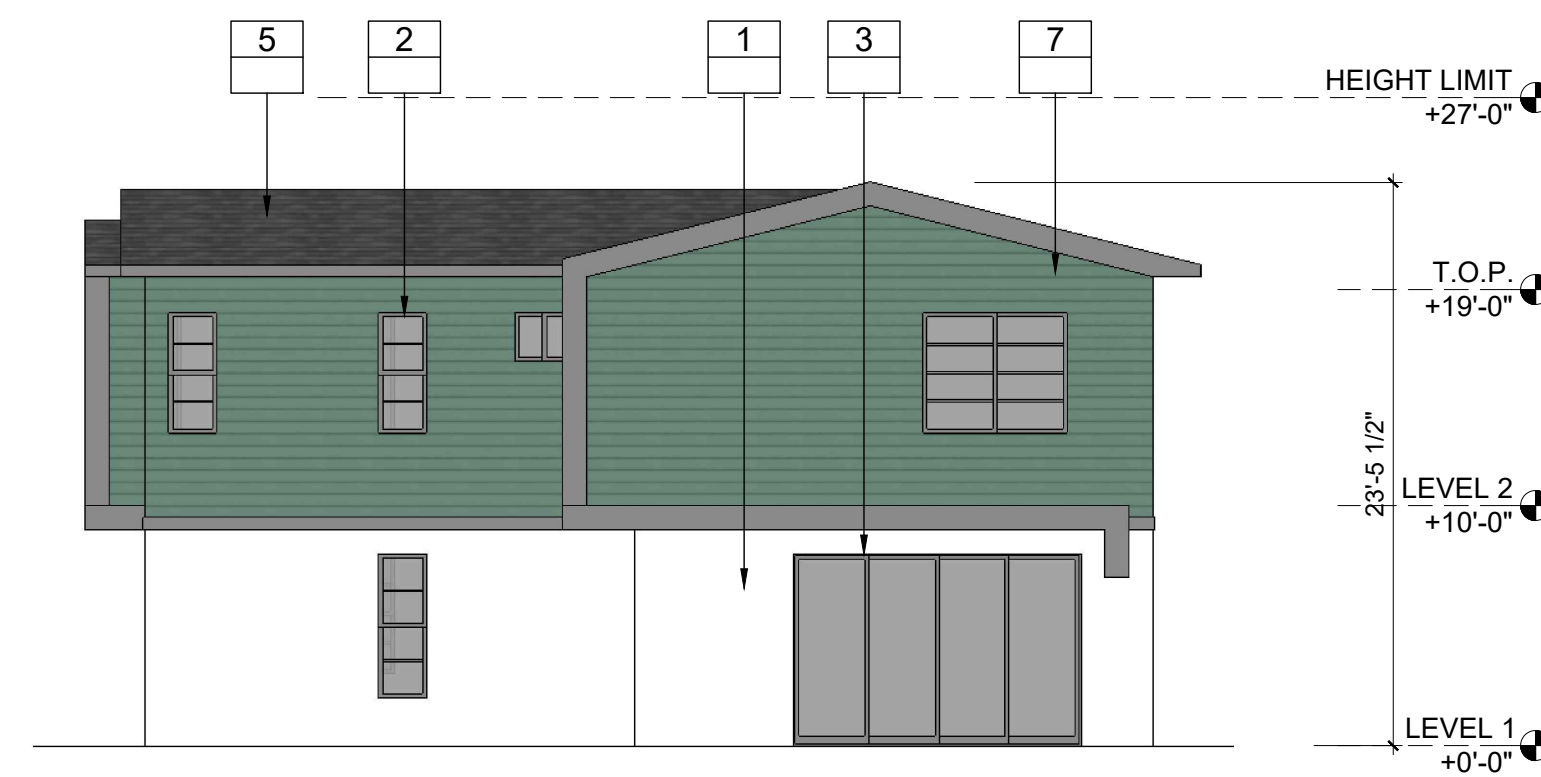
2ND FLOOR 1,098 S.F. : 1ST FLOOR 1,110 S.F.  
0.99 : 1 < 1 : 1    ALLOWED





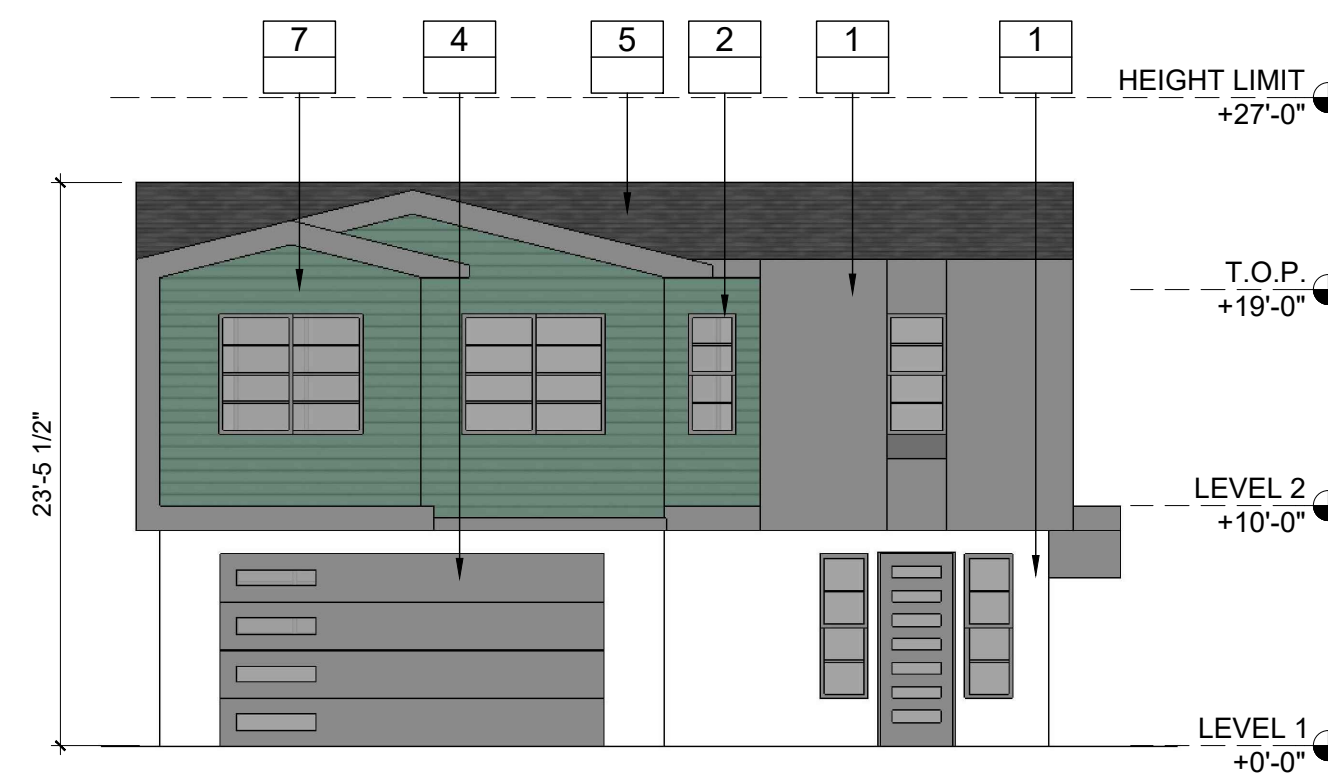
EAST ELEVATION  
SCALE: 1/8" = 1'-0"

D



SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

C



WEST ELEVATION  
SCALE: 1/8" = 1'-0"

B

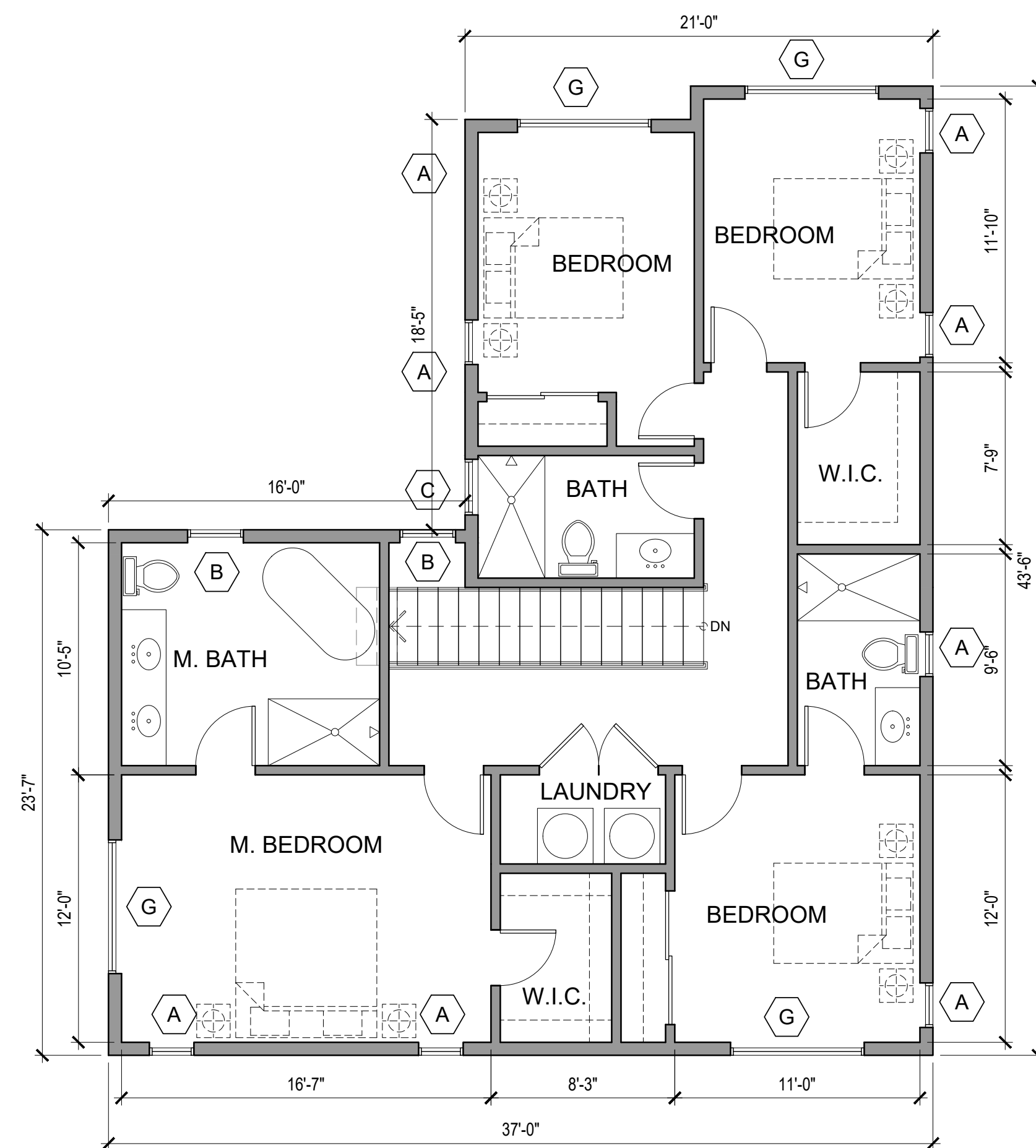


NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

A

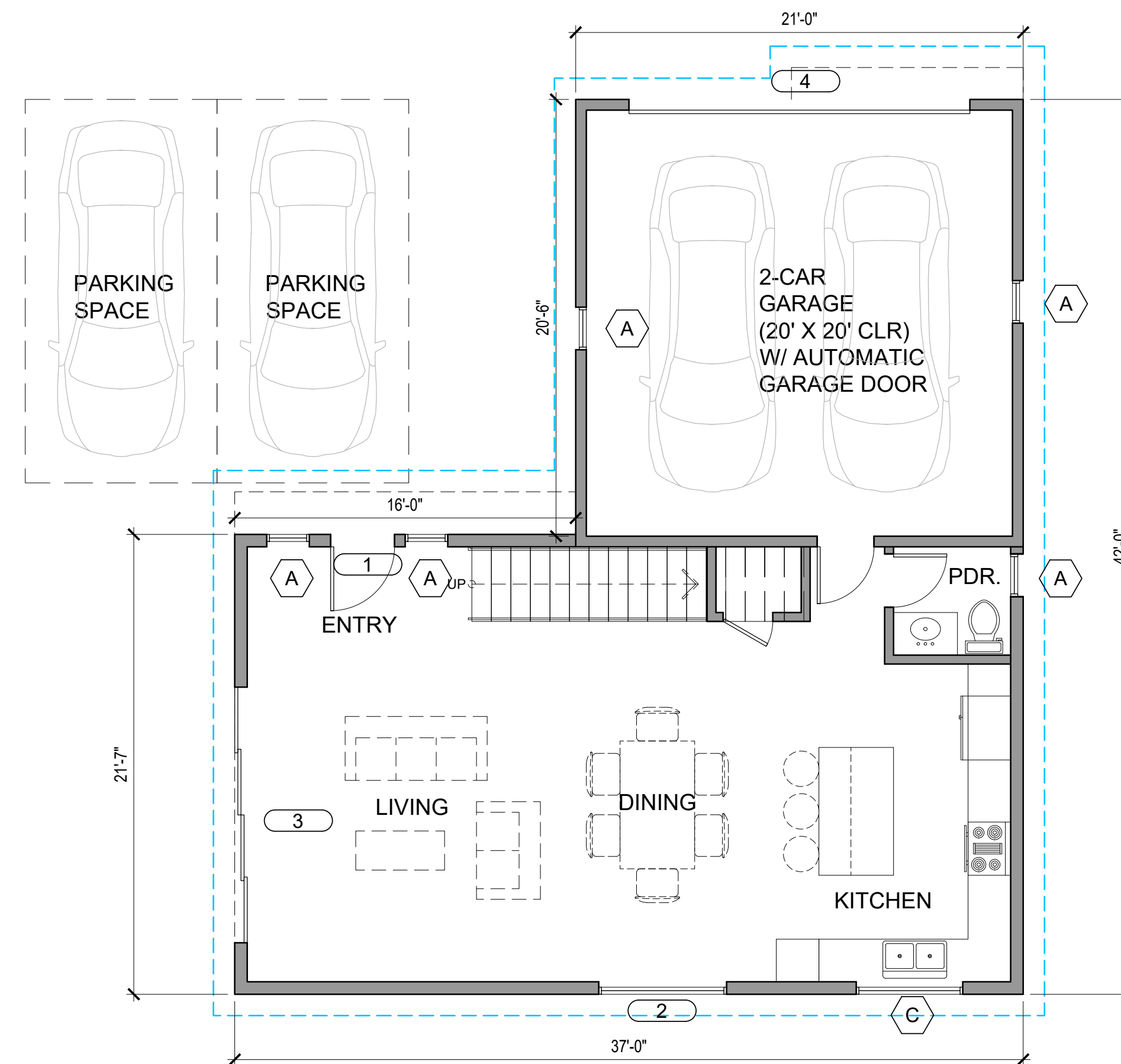
- MATERIALS:**
1. LIGHT SAND FINISH STUCCO
  2. VINYL WINDOW
  3. VINYL DOOR
  4. METAL GARAGE DOOR
  5. ASPHALT SHINGLE ROOF
  6. METAL RAILING
  7. HARDIE SIDING
  8. EXTERIOR LIGHT

- UNIT COLOR VARIANTS:**
- A & C SHERWIN-WILLIAMS LABRADORITE
- B & D SHERWIN-WILLIAMS JUNIPER



SECOND FLOOR: UNIT B + C  
SCALE: 3/16" = 1'-0"

2



FIRST FLOOR: UNIT B + C  
SCALE: 3/16" = 1'-0"

1



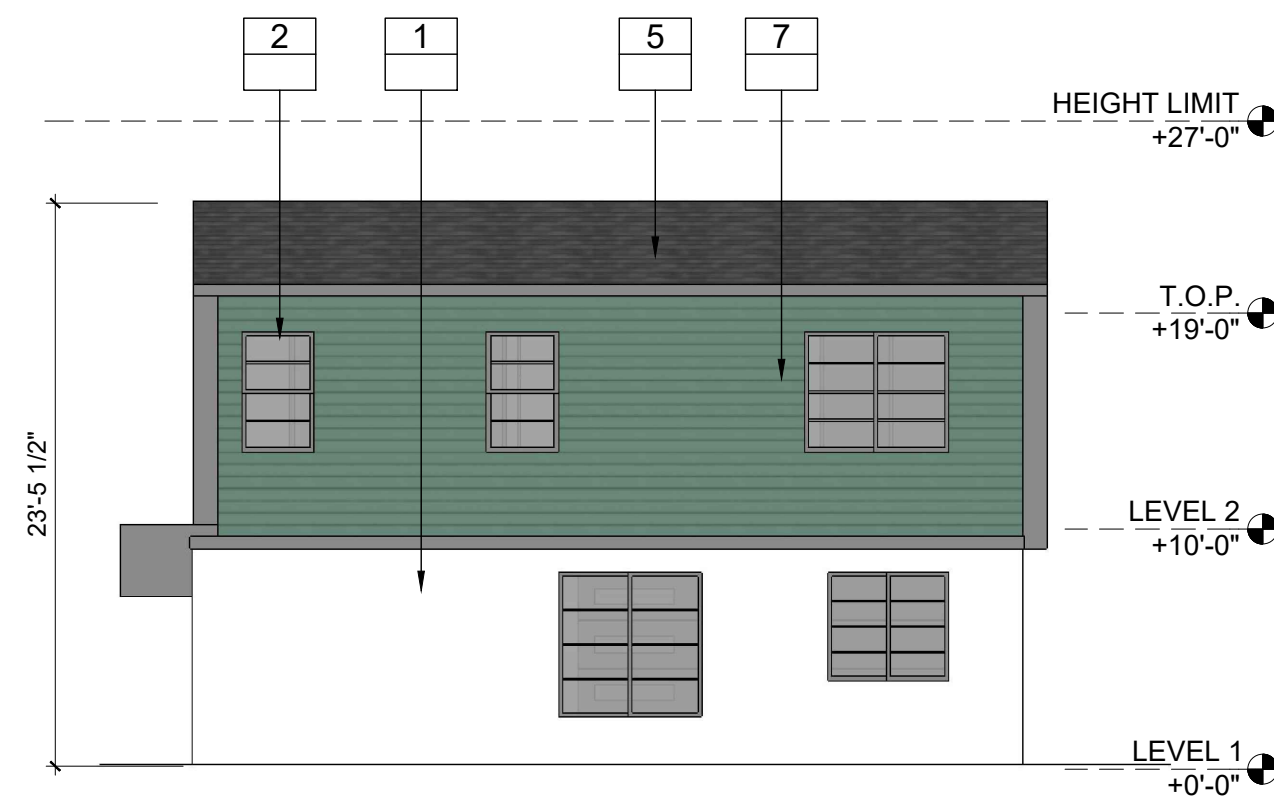
**UNIT SIZE: UNIT B / C**

PARCEL SIZE: 3,001 S.F.

**FIRST FLOOR:** 1,226 S.F.  
LIVING AREA (798 S.F.)  
GARAGE (428 S.F.)

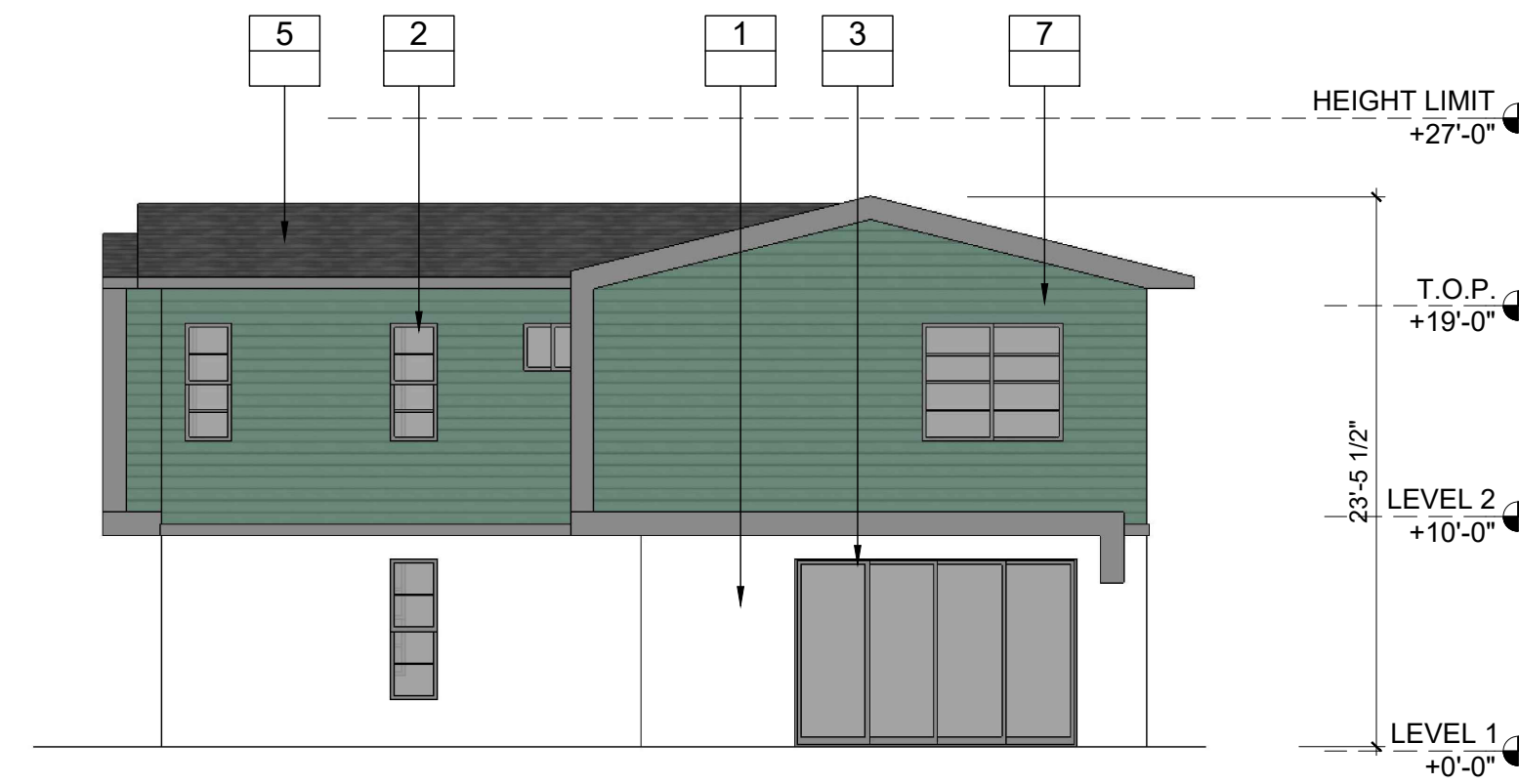
**SECOND FLOOR:** 1,186 S.F.  
TOTAL LIVABLE: 1,984 S.F.  
TOTAL BUILDING: 2,412 S.F.

2ND FLOOR 1,186 S.F. : 1ST FLOOR 1,226 S.F.  
0.97 : 1 < 1: 1 ALLOWED



EAST ELEVATION  
SCALE: 1/8" = 1'-0"

D



SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

C



WEST ELEVATION  
SCALE: 1/8" = 1'-0"

B

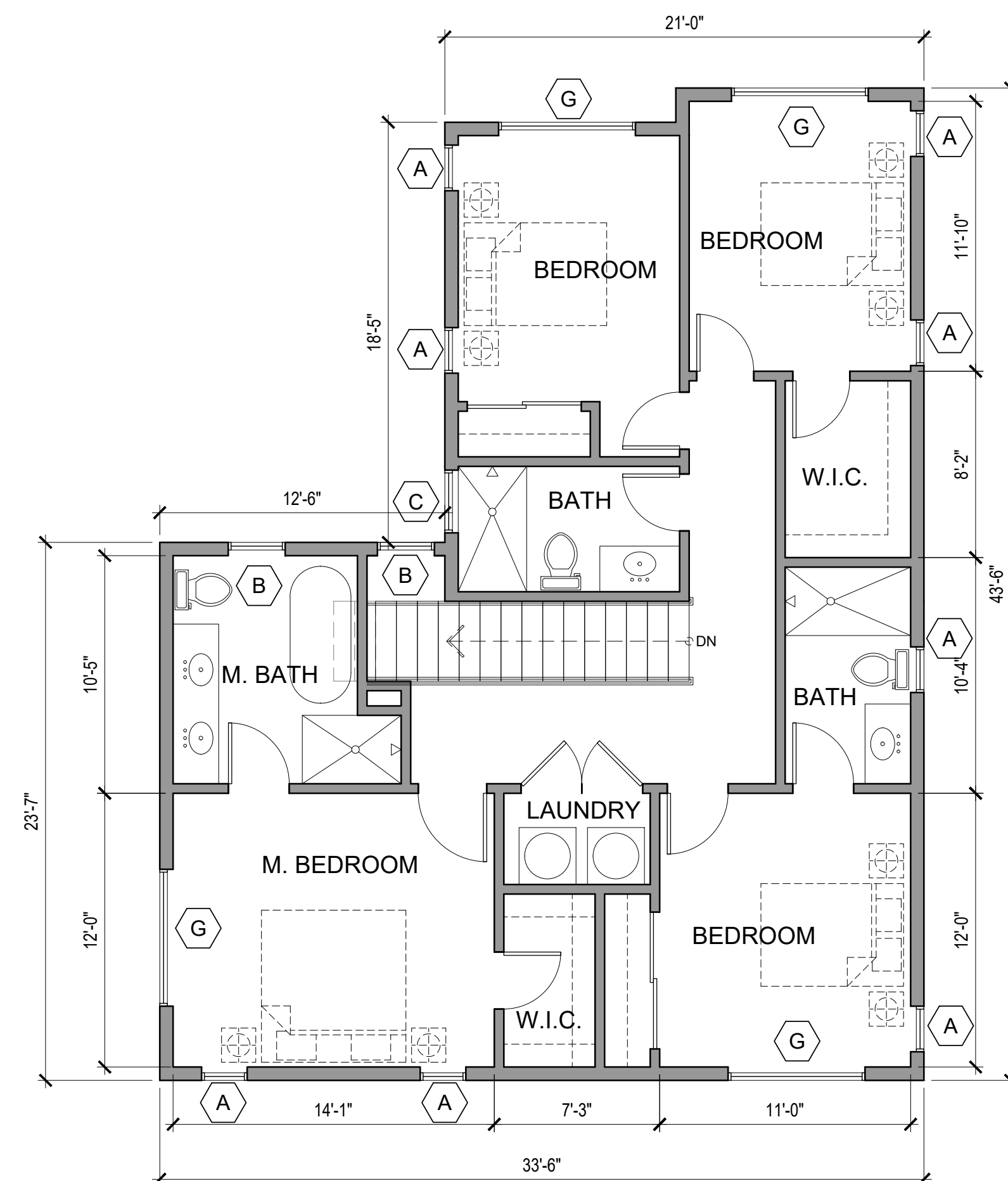


NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

A

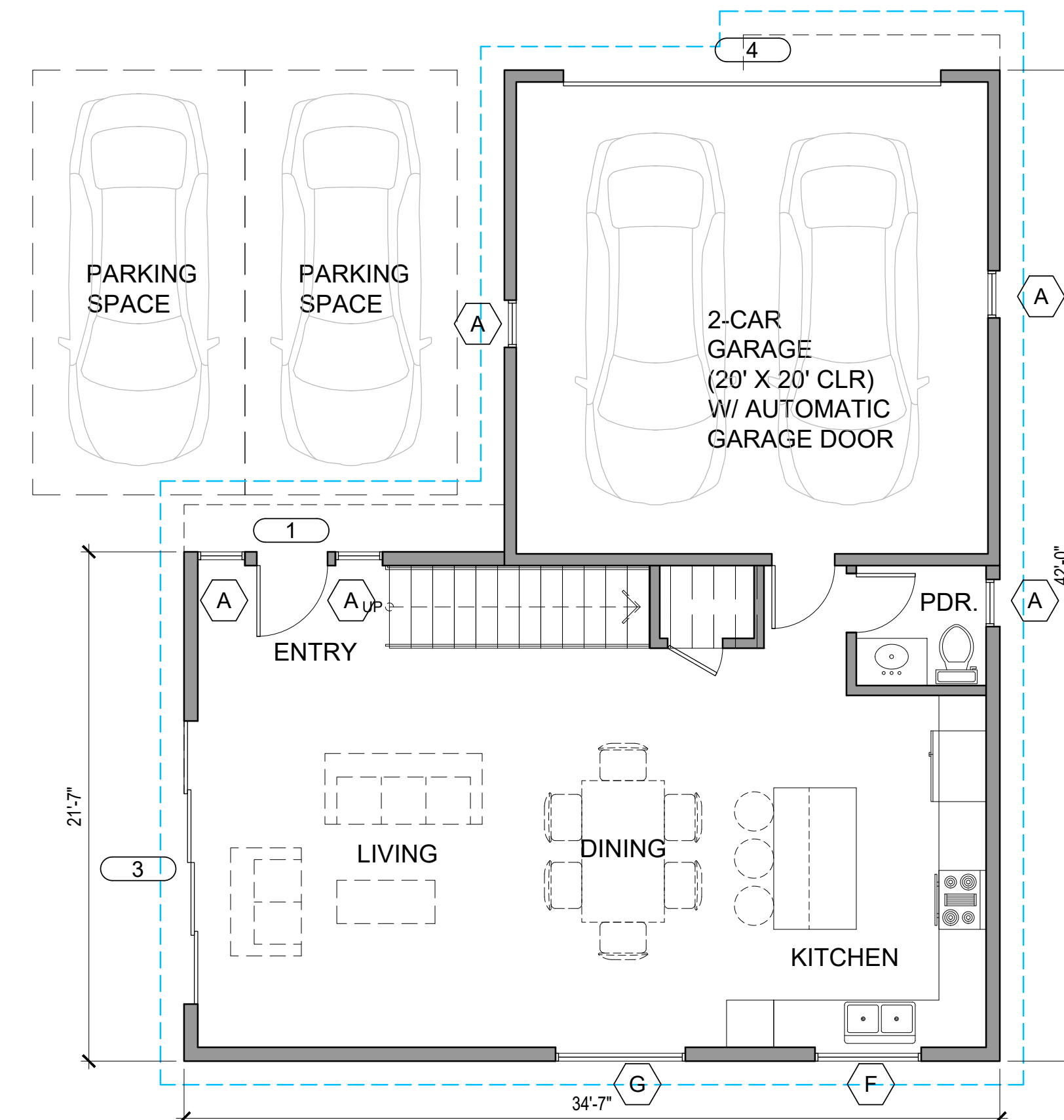
- MATERIALS:**
1. LIGHT SAND FINISH STUCCO
  2. VINYL WINDOW
  3. VINYL DOOR
  4. METAL GARAGE DOOR
  5. ASPHALT SHINGLE ROOF
  6. METAL RAILING
  7. HARDIE SIDING
  8. EXTERIOR LIGHT

- UNIT COLOR VARIANTS:**
- A & C    SHERWIN-WILLIAMS  
LABRADORITE
- B & D    SHERWIN-WILLIAMS  
JUNIPER



SECOND FLOOR: UNIT D  
SCALE: 3/16" = 1'-0"

2



FIRST FLOOR: UNIT D  
SCALE: 3/16" = 1'-0"

1



**UNIT SIZE: UNIT D**

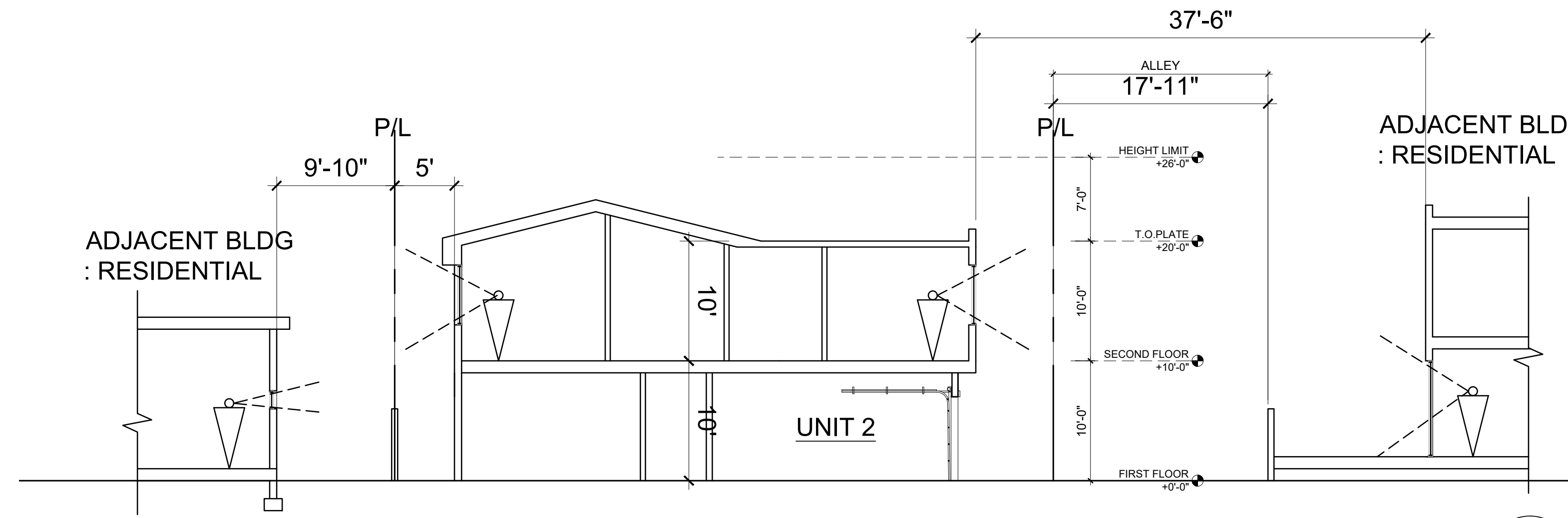
PARCEL SIZE: 3,000 S.F.

**FIRST FLOOR:** 1,129 S.F.  
LIVING AREA (701 S.F.)  
GARAGE (428 S.F.)

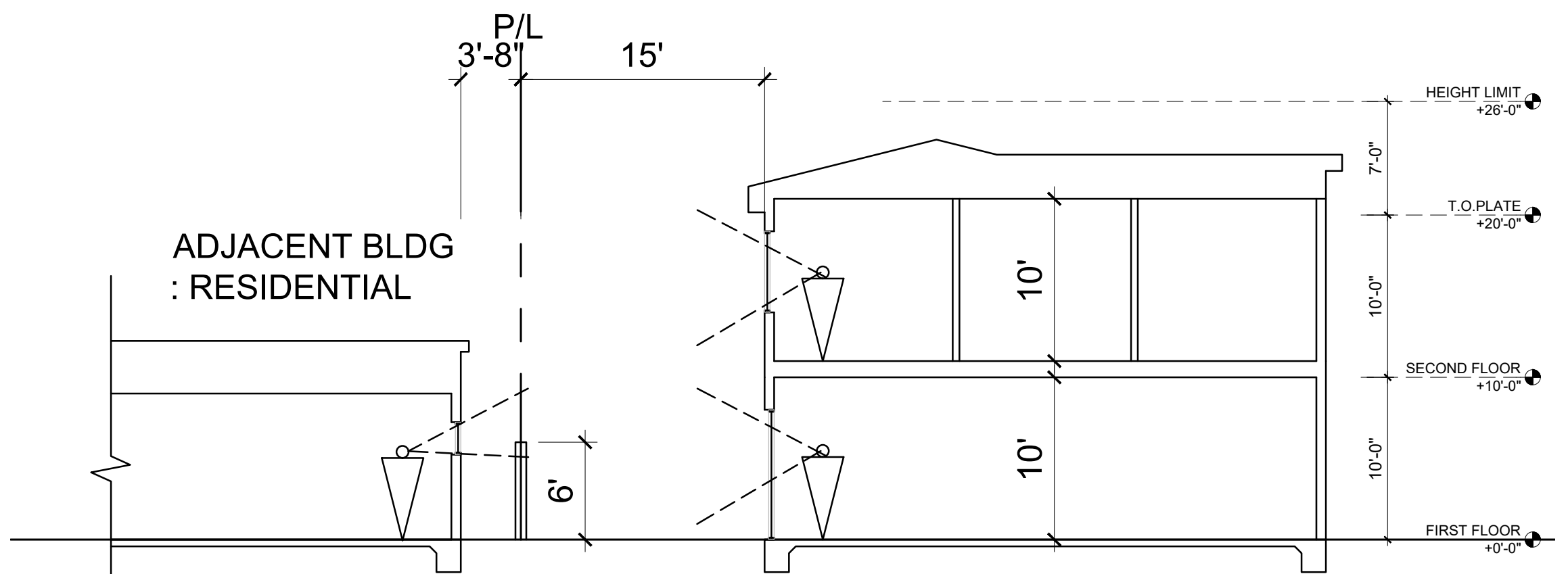
**SECOND FLOOR:**  
LIVING AREA 1,116 S.F.  
TOTAL LIVABLE: 1,817 S.F.  
TOTAL BUILDING: 2,245 S.F.

2ND FLOOR 1,116 S.F. : 1ST FLOOR 1,129 S.F.  
0.99 : 1 < 1 : 1 ALLOWED

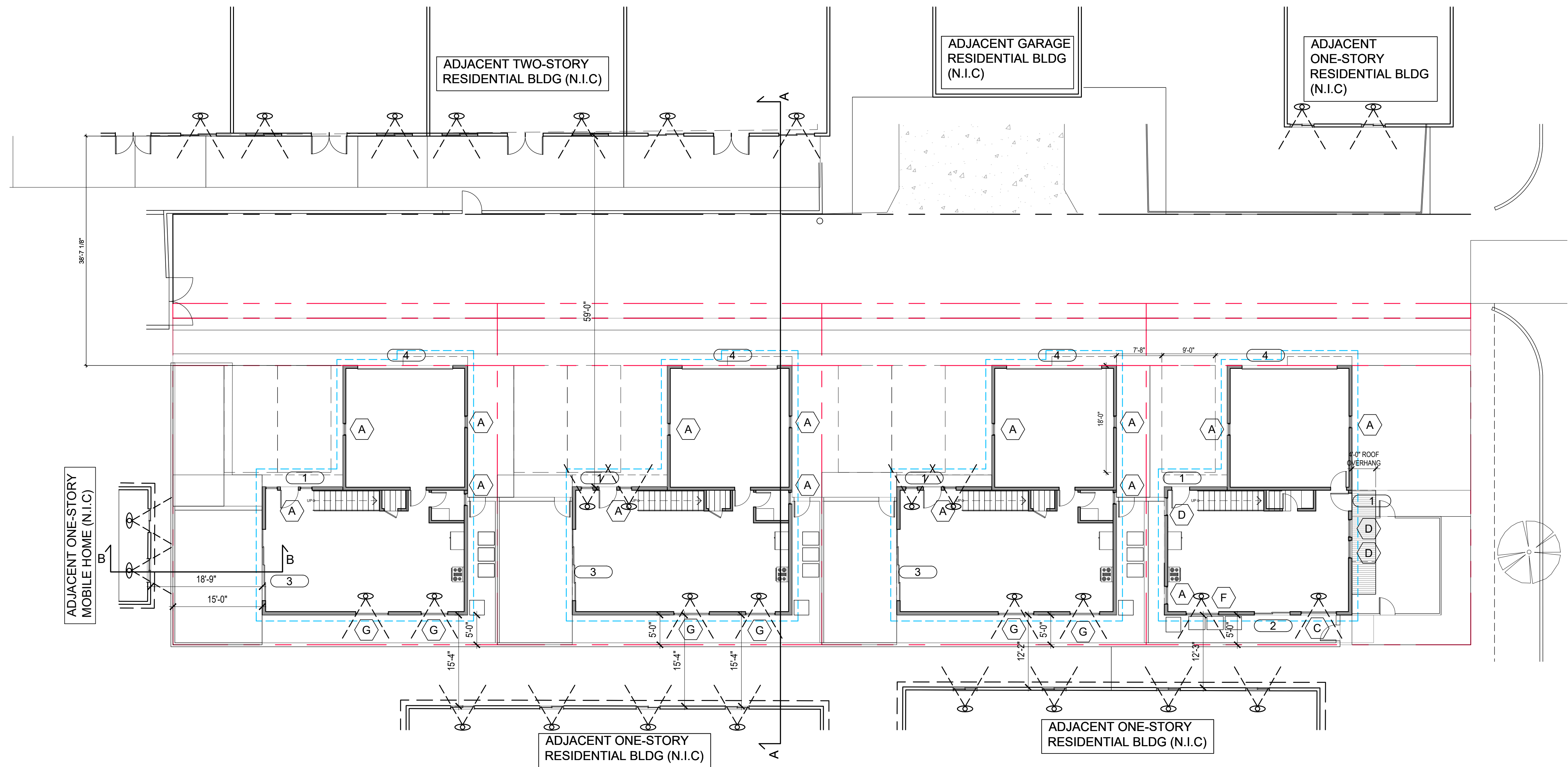




SIGHT DIAGRAM: SECTION A-A **5**  
SCALE: 1/8" = 1'-0"



SIGHT DIAGRAM: SECTION B-B **3**  
SCALE: 1/8" = 1'-0"



SIGHT DIAGRAM: FLOOR PLAN **4**  
SCALE: 1/8" = 1'-0"

WINDOW SCHEDULE						
SYMBOL NUMBER	TYPE	SIZE		HEAD HEIGHT	CASEMENT	SLIDING
		WIDTH	HEIGHT			
A	A	2'-0"	5'-0"	8'-0"		●
B	B	2'-6"	5'-0"	8'-0"	●	
C	C	2'-6"	2'-0"	8'-0"		●
D	D	3'-0"	5'-0"	8'-0"		●
E	E	5'-0"	2'-0"	8'-0"	●	
F	F	5'-0"	4'-6"	8'-0"		●
G	G	6'-0"	5'-0"	8'-0"		●

NOTE:  
RECESSED WINDOWS INTO WALL TO PROVIDE DEPTH.

WINDOW SCHEDULE **2**  
SCALE: NTS

DOOR SCHEDULE				
NUMBER	TYPE	SIZE		THICKNESS
		WIDTH	HEIGHT	
1	1	3'-0"	8'-0"	1-3/4"
2	2	6'-0"	8'-0"	1-3/4"
3	3	12'-0"	8'-0"	1-3/4"
4	4	16'-0"	8'-0"	1-3/4"

DOOR SCHEDULE **1**  
SCALE: NTS



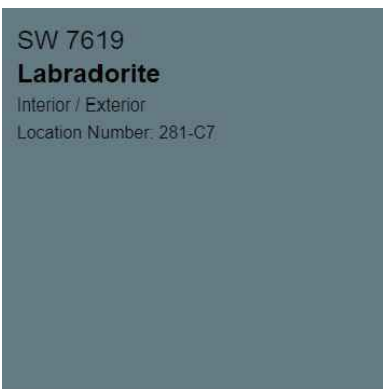
STUCCO FINISH:  
SAND FLOAT 20/30



ASPHALT ROOF  
SHINGLES



EXTERIOR LIGHT



PAINT COLOR:  
SHERWIN WILLIAMS



PAINT COLOR:  
SHERWIN WILLIAMS



RAILING



PAINT COLOR:  
SHERWIN WILLIAMS



SIDING:  
HARDIE PLANK

## MATERIAL AND COLOR



411 E. HUNTINGTON DR.  
SUITE 308  
ARCADIA, CA 91006  
PHN: (626) 446-5300

549 BERNARD STREET, COSTA MESA



Project:

**Alfa Made LLC**  
549 Bernard St  
Costa Mesa CA 92627

SITE PLAN FRONT

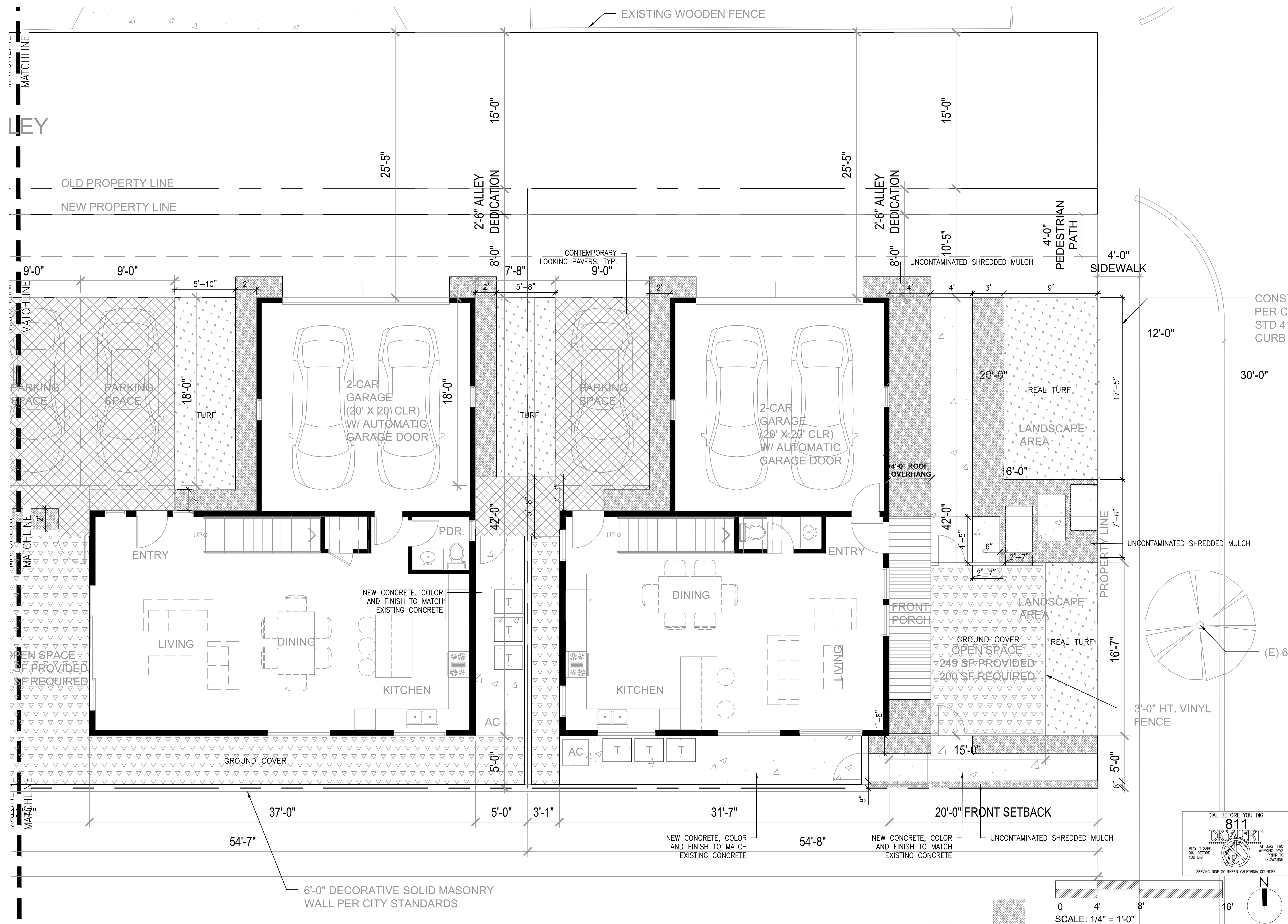
Revisions:

Submittal Date:	
-----------------	--

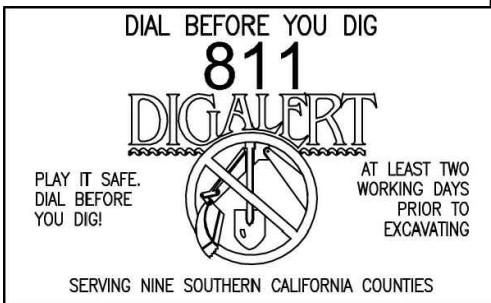
February 17, 2022

Sheet Number:

L1.







Project:

**Alfa Made LLC**  
549 Bernard St  
Costa Mesa CA 92627

SITE PLAN – BACK

Revisions:

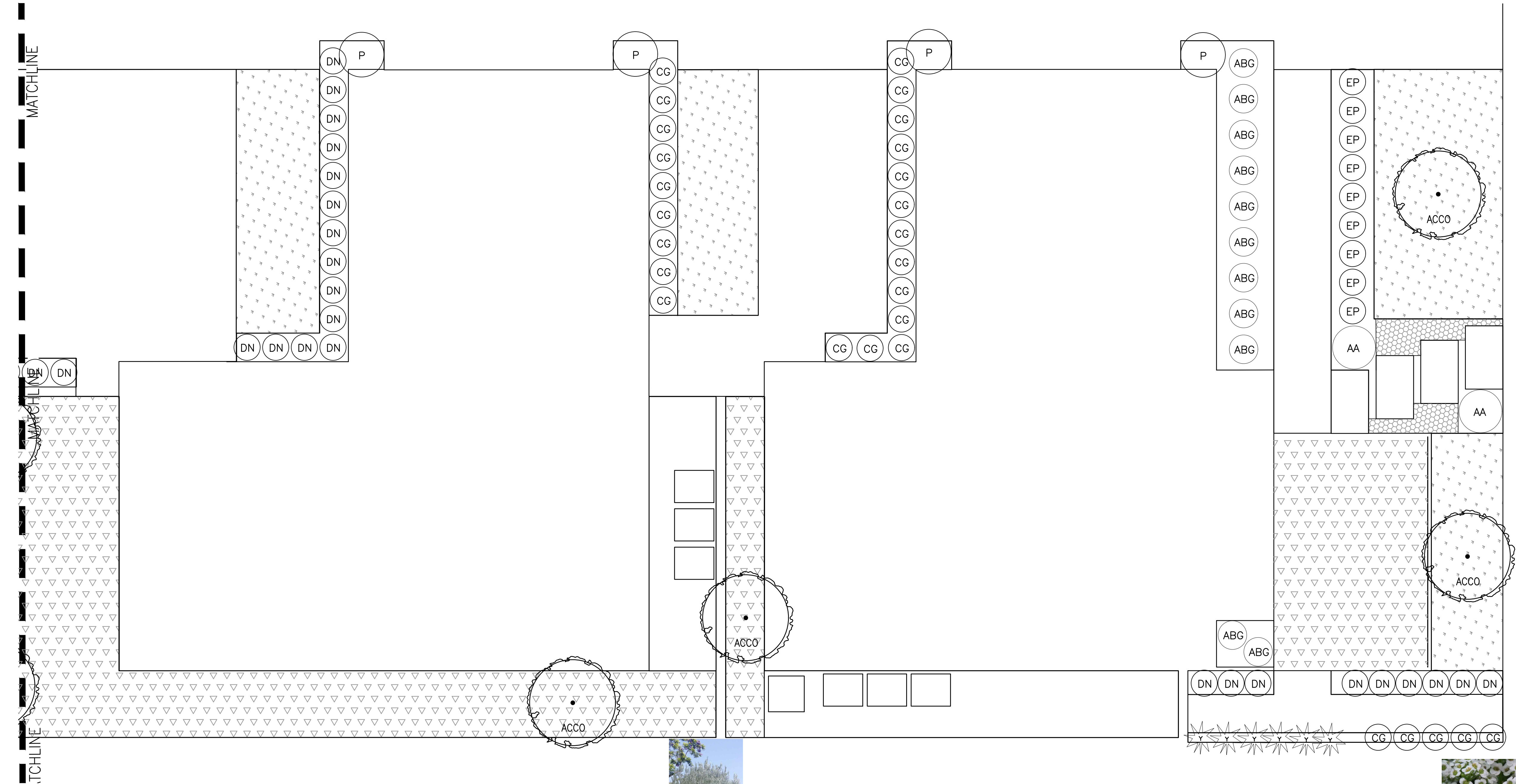
Submittal Date:

February 17, 2022

Sheet Number:

L1.2





TREE

Scientific Name	Common Name	Size	Qty
Acacia covenyi	Blue Bush	24B	10
Podocarpus henkelii	Long Leafed Yellow-wood	24B	10

SHRUB

Scientific Name	Common Name	Size	Qty
Agave attenuata	Foxtail agave	1G	2
Agave 'Blue Glow'		5G	11
Yucca flaccida 'Color Guard'	Color Guard Flaccid Soapwort	1G	6
Delosperma nubigenum	Hardy Yellow Ice Plant	1G	39
Cistanthe grandiflora 'Jazz Time'	Rock Purslane/ Calandrinia	5G	27
Echinacea purpurea	Purple Coneflower	1G	41
Equisetum hyemale	Scouringrush horsetail	5G	39

GROUND COVER

Name	Square Footage
Sweet Alyssum Seeds - Carpet of Snow	23 sq.ft
Dymondia margaretae Silver Carpet	1721 sq.ft

GRASS

Name	Square Footage
Fescue	1035 sq.ft



**L.I.U. Landscape Inc.**  
9422 East Las Tunas Drive  
Tempe City, CA 91780  
License # LA1043216  
www.liulandscape.com  
626-888-9915

Project:

**Alfa Made LLC**  
549 Bernard St  
Costa Mesa CA 92627

PLANTING PLAN FRONT

Revisions:

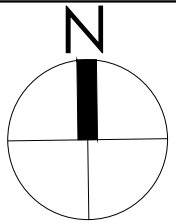
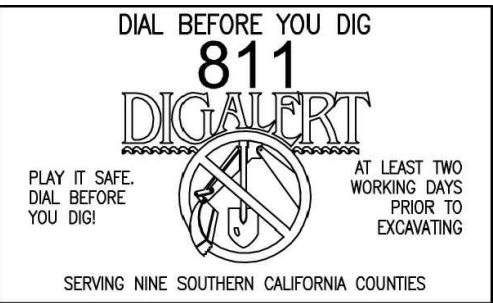
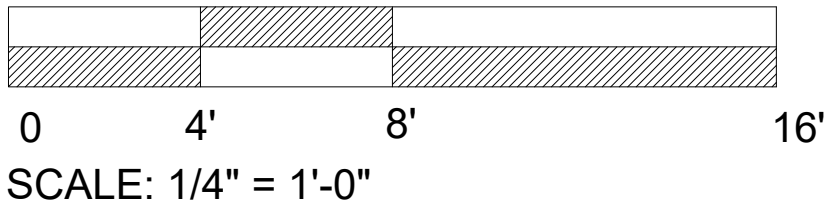
--
--
--
--

Submittal Date:

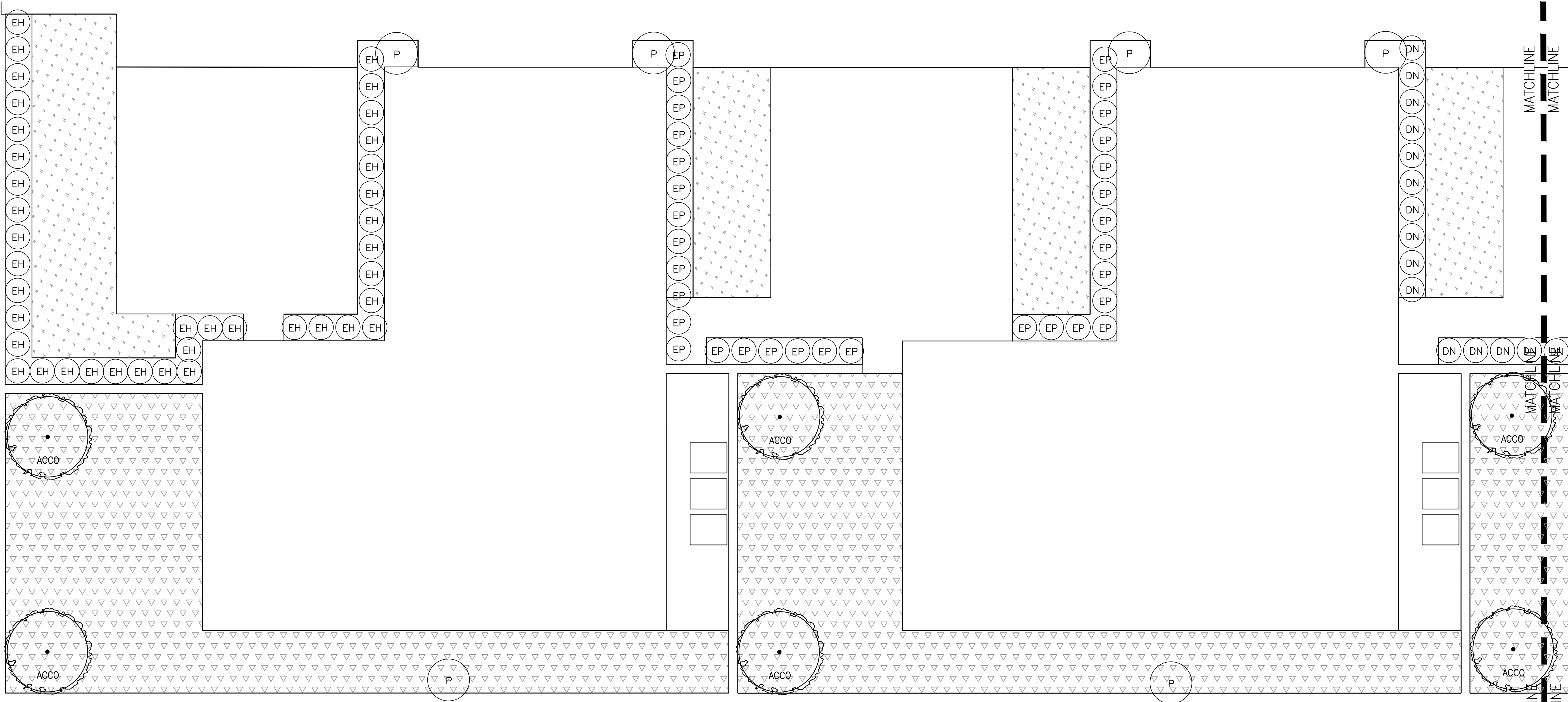
February 17, 2022

Sheet Number:

L3.1







**L.I.U. Landscape Inc.**  
9422 East Las Tunas Drive  
Tempe City, CA 91780  
License # LA1043216  
www.liulandscape.com  
626-888-9915

Project:

**Alfa Made LLC**  
549 Bernard St  
Costa Mesa CA 92627

PLANTING PLAN BACK

CITY REQUIREMENTS

Total Landscape Area: 3420 sq.ft.  
17 trees are required

One (1) tree (fifteen (15) gallon or larger) shall be provided for every two hundred (200) square feet of landscaped area. Fifty (50) percent of all trees shall be evergreen.

At least two (2) different tree species shall be identified on plans and installed as part of the project landscaping

At least seventy (70) percent of all landscaped areas containing trees and shrubs shall be underplanted with groundcover, with the remaining areas to incorporate a layer of uncontaminated compost or mulch as required per water efficient landscape guidelines

Uncontaminated mulch, shredded bark, and/or compost used as a groundcover shall maintain a consistent two (2) inch minimum layer and provide complete coverage under shrubs and trees.

PROPOSED DESIGN

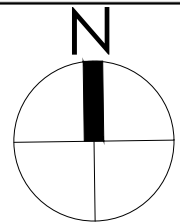
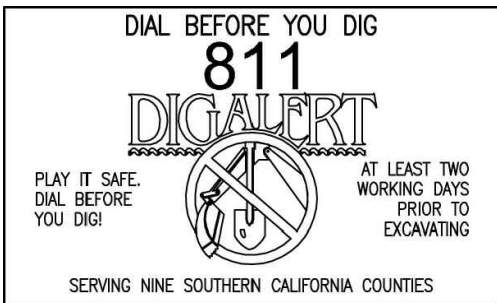
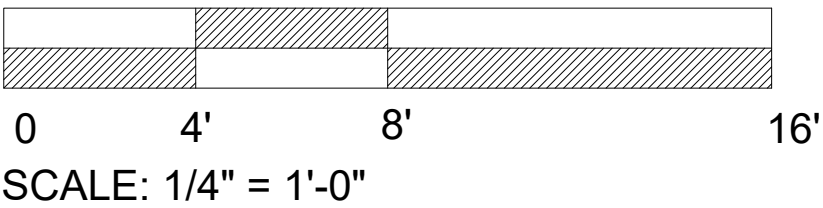
Trees: 20 Shrubs: 165 Mulch: 768 sq.ft. Mulch percentage: 22%  
Ground cover: 2756 sq.ft. Ground cover percentage: 81%

One (1) tree (24 box) was provided for every two hundred (200) square feet of landscaped area. Fifty (50) percent of all trees area evergreen.

Two (2) different tree species were identified on plans and installed as part of the project landscaping

At least seventy (70) percent of all landscaped areas containing trees and shrubs were underplanted with groundcover, with the remaining areas to incorporate a layer of uncontaminated compost or mulch as required per water efficient landscape guidelines

Uncontaminated mulch, used as a groundcover shall maintain a consistent two (2) inch minimum layer and provide complete coverage under shrubs and trees.



Revisions:

--
--
--
--

Submittal Date:

February 17, 2022

Sheet Number:

L3.2



EMMITER FLOW RATE & COUNT PER PLANT				CONTROL VALVE LEGEND		HYDROZONE DESCRIPTION AND LEGEND							GENERAL IRRIGATION NOTES	
PLANT SIZE	EMITTER QTY	EMITTER FLOW RATE	TOTAL GPH	CONTROL VALVE #		CONTROL VALVE # (HYDROZONE ZONE)	LANDSCAPE AREA (SQ.FT)	W.U.C.O.L.S. PLANT WATER USE RATING	PLANT SIZE	HYDROZONE DESCRIPTION	HYDROZONE EXPOSURE	ZONE PRESSURE	APPLICATION RATE	<p>CONTRACTOR SHALL BE LICENSED; IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO READ, UNDERSTAND, AND ADHERE TO PROJECT NOTES AND SPECIFICATION, PERTAINING TO ALL PLANS, INCLUDING THE FOLLOWING GENERAL AND SITE SPECIFIC NOTES.</p> <p>1. THIS DESIGN IS DIAGRAMMATIC. ALL VALVES, ETC., SHOW WITHIN PAVED AREAS FOR DESIGN CLARIFICATION ONLY, AND SHALL BE INSTALLED IN THE PLANTING AREAS WHERE POSSIBLE, AVOID ANY CONFLICTS BETWEEN THE IRRIGATION SYSTEM AND EXISTING STRUCTURES, UTILITIES AND PLANTING.</p> <p>2. ALL MAINLINE PIPING UNDER PAVING SHALL BE INSTALLED IN SEPARATE SLEEVES, MAIN LINE SLEEVE, CONTROL WIRE SLEEVES SHALL BE OF SUFFICIENT SIZE FOR THE REQUIRED NUMBER OF WIRES UNDER PAVING, OR SIZE AS INDICATED ON PLANS.</p> <p>3. ALL EXTERIOR LOW VOLTAGE WIRE CONNECTIONS SHALL BE FULLY ENCLOSED USING WATERPROOF CONNECTORS.</p> <p>4. EXTEND ALL SLEEVES A MINIMUM OF SIX (6) INCHES BEYOND PAVING EDGES.</p> <p>5. PROVIDE A MINIMUM OF 18" COVER OVER ALL PRESSURE MAINLINE PIPE AND 12" MINIMUM COVER OVER ALL NON-PRESSURE LATERAL LINES.</p> <p>6. CONTRACTOR SHALL BE RESPONSIBLE FOR PULLING VALVE WIRING THROUGH SLEEVING WHEN NECESSARY.</p> <p>7. ALL LATERAL LINE PIPING UNDER PAVING SHALL BE PVC SCHEDULE 40 PIPE AND SHALL BE INSTALLED PRIOR TO PAVING.</p> <p>8. EXERCISE EXTREME CARE WHEN EXCAVATING FOR IRRIGATION SYSTEM DUE TO EXISTING UTILITIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BECOME FAMILIAR WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, STRUCTURES, AND UNDERGROUND UTILITIES. THE CONTRACTOR SHALL COORDINATE HIS WORK WITH AND ALL OTHER TRADES ON SITE.</p> <p>9. DO NOT WILLFULLY INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTION, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE DESIGN. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF L.I.U. LANDSCAPE INC.. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.</p> <p>10. ALL THREADED PIPE CONNECTIONS MADE TO SLIP-JOINT PVC PIPE SHALL BE MADE WITH A PVC THREADED COUPLING. ALL THREADED ADAPTERS AND COUPLINGS ARE TO BE 'DURA' DEEP SOCKET TYPE.</p> <p>11. ALL VALVES SHALL BE LOCATED IN GROUND COVER AREAS WHENEVER POSSIBLE. REMOTE CONTROL VALVES SHALL BE INSTALLED IN BELOW GRADE BOXES. USE BROWN COLORED BOXES UNLESS OTHERWISE SPECIFIED.</p> <p>12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING THE FINAL CONNECTION OF CONTROL WIRES BETWEEN EXISTING WIRES AND NEW CONTROL VALVES.</p> <p>13. CONTRACTOR SHALL PROVIDE SEPARATE SLEEVE FOR PRESSURIZED MAINLINE AND LATERALS ROUTED UNDER EXISTING WALKWAYS AS NEEDED.</p> <p>14. CONTRACTOR SHALL FOLLOW ALL MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS FOR INSTALLATION AND COORDINATION OF THE IRRIGATION SYSTEM TO INSURE A COMPLETE SYSTEM.</p> <p>15. COVER ALL DRIP LINES WITH MINIMUM 3" THICK LAYER OF APPROVED BARK MULCH</p> <p>16. PRESSURE REGULATION DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.</p> <p>17. MANUAL SHUT-OFF VALVES SHALL BE REQUIRED, AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION OF THE WATER SUPPLY, TO MINIMIZE WATER LOSS IN CASE OF AN EMERGENCY OR ROUTINE REPAIR.</p> <p>18. CHECK VALVES OR ANTI-DRAIN VALVES AREA REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR.</p>
24" BOX	4	0.50 GPH (BLUE)	2	1		240	MED	SOD	SOD	F SUN	30 PSI	.6"/HR.		
15 GALLON	3	0.50 GPH (BLUE)	1.50	2		161	LOW	1G,5G	SHRUB	F SUN	30 PSI	.6"/HR.		
5 GALLON	2	0.50 GPH (BLUE)	1.00	3		327	LOW	1G,5G,15G	TREE, SHRUB	P SHADE	30 PSI	.6"/HR.		
1 GALLON	1	0.50 GPH (BLUE)	0.50	4		303	MED	SOD	SOD	P SHADE	30 PSI	.8"/HR.		
				5		282	MED	1G,5G,15G	TREES, SHRUBS	P SHADE	30 PSI	.8"/HR.		
				6		382	MED	SOD	SOD	P SHADE	30 PSI	.8"/HR.		
				7		178	LOW		GROUND COVER	P SHADE	30 PSI	.8"/HR.		
				8		64	LOW		GROUND COVER	P SHADE	30 PSI	.8"/HR.		
				9		486	LOW		GROUND COVER	P SHADE	30 PSI	.8"/HR.		
				10		486	LOW		GROUND COVER	P SHADE	30 PSI	.8"/HR.		
				11	511	LOW		GROUND COVER	P SHADE	30 PSI	.8"/HR.			
						W.U.C.O.L.S. PLANTS WATER NEEDS RATINGS: MED=MEDIUM, L = LOW, M/L = MEDIUM LOW, L/VL = LOW TO VERY LOW								
IRRIGATION EQUIPMENT LEGEND														
SYMBOL		DESCRIPTION										SHEET & DETAIL CALL-OUT		
		IRRIGATION SYSTEM CONTROLLER: WEATHERMATIC SL1600 SMARTLINE 8 ZONE MODULAR										SEE 1/L7.0		
		WEATHER MONITOR: WEATHERMATIC SLW1										SEE 2/L7.0		
		1" RP BACKFLOW PREVENTOR W/STRAINER AND PRESSURE REGULATOR FEBCO MODEL 825 YA, ANGLE PATTERN REDUCED PRESSURE ASSEMBLY WITH MODULAR RELIEF VALVE AND CHECK VALVE INTERNAL COMPONENTS: INTEGRAL FLANGED UNION CONNECTIONS AND BALL VALVE										SEE 3/L7.0		
		1" Ø BALL VALVE: CONTRACTOR TO SUPPLY AND INSTALL NIBCO, PVC Tru-Bloc TRUE UNION, MODEL 'D' BALL VALVE WITH DUEL THREADED UNIONS OR APPROVED EQUIVALENT. • INSTALL USING NDS PRO-SERIES 14"x19" CORRUGATED VALVE BOX, WITH OVERLAPPING BOLT DOWN LID, SAND COLOR BOX AND COVER PART #314BCB-SAND OR APPROVED EQUIVALENT.										SEE 4/L7.0		
		3/4" QUICK COUPLING VALVE ASSEMBLY: RAINBIRD MODEL # 33DLRC, WITH LOCKING COVER										SEE 5/L7.0		
		LOW FLOW REMOTE CONTROL VALVES W/PRESSURE REGULATOR & RBY FILTER ASSEMBLY:  CONTRACTOR TO SUPPLY AND INSTALL, NEW RAINBIRD CONTROL ZONE KITS WITH PLASTIC GLOBE VALVE AND COMBINED PRESSURE REGULATOR AND FILTER, OR APPROVED EQUIVALENT AS FOLLOWS: • AT CONTROL VALVE 'A1'-USE RAINBIRD MODEL XCZ-100-PRF 1"CONTROL ZONE KITS WITH PLASTIC GLOBE VALVE COMBINED PRESSURE REGULATOR AND FILTER • INSTALL NEW CONTROL VALVES IN NDS PRO-SERIES 14"x19" CORRUGATED VALVE BOX, OR APPROVED EQUIVALENT, WITH OVERLAPPING BOLT DOWN LID, SAND COLOR, BOX AND COVER PART # 314BCB-SAND, OR APPROVED EQUIVALENT.										SEE 6/L7.0		
		IRRIGATION MAIN LINE: CONTRACTOR TO SUPPLY AND INSTALL 1"Ø SCH 40 PVC PIPE AND ALL REQUIRED FITTINGS AND MATERIAL, FROM NEW 1" POINT OF CONNECTION AND BALL VALVE. IRRIGATION CONTRACTOR TO CONFIRM LOCATION OF POINT OF CONNECTION WITH CITY REPRESENTATIVE, SEE SITE SPECIFIC NOTES.										SEE 7/L7.0		
		UNDERGROUND SLEEVES: 4" DIAMETER SCHEDULE 40 PVC TYP., UNLESS OTHERWISE NOTED. EXTEND 6" BEYOND EDGE OF ALL PAVING AREA										SEE 7/L7.0		
		IRRIGATION LATERAL SCHEDULE: 3/4"40 PVC PLASTIC PIPE AND ALL REQUIRED FITTINGS & MATERIALS FROM DRIP REMOTE CONTROL VALVES										SEE 2/L7.1		
		POC IN-LINE DRIP PIPE: SOLID DIAMOND DENOTES CONNECTION TO INLINE DRIP PIPE AT GRADE										--		
		POLYLINE POC: SOLID CIRCLE DENOTES CONNECTION BETWEEN SCHEDULE 40 PVC LATERAL STUB UP AND DRIP POLY LINE										--		
		BLANK POLY LINE: NETAFIM TECHLINE RW 17MM BLANK POLYETHYLENE, IRRIGATION TUBING (BROWN WITH PURPLE STRIPE) UV RESISTANT OR APPROVED EQUAL. SEE PLAN & NOTES FOR LOCATIONS.  POINT SOURCE, ONLINE DRIP EMITTERS: NETAFIM COLOR CODED SPECS SERIES SELF PIERCING EMITTERS W/INTERNAL CHECK VALVE, ANTI-SIPHON, PRESSURE COMPENSATING AND SELF CLEANING. SEE EMITTER FLOW RATE & COUNT LEGEND, THIS SHEET > 0.5 GPH EMITTERS MODEL # SPCV-05, BLUE  ON GRADE IN-LINE DRIP IRRIGATION PIPE: NETAFIM TECH LINE CV 17MM BROWN UV RESISTANT POLYETHYLENE DRIPLINE MODEL #TLCV-4-12 WITH 0.4 GPH FLOW. 12" O.C. INSTALL PER DRIP DETAILS, DRIPLINE ROW SPACING 16" O.C.										SEE 8/L7.0 & 1/L7.1		
		12" POP-UP TATTAL-TAIL ASSEMBLY: (TWO PER IRRIGATION CIRCUIT), CONTRACTOR TO SUPPLY AND INSTALL, RAINBIRD 1812 12" POP-UP BODY WITH RAINBIRD PA-80 ADAPTER, 1/2" SCH 40 PVC THREADED CAP, RAINBIRD SA-12-5050 SWING JOINT ASSEMBLY, FITTING WITH 1/2" FPT OUTLET, OR APPROVED EQUIVALENT, SEE DETAIL. PLACE VISIBLE LOCATIONS PER L.I.U. LANDSCAPE INC. REPRESENTATIVES APPROVAL. INSTALL PER MFG. NOTE AND SPECIFICATION.										SEE 3/L7.1		
		MANUAL LINE FLUSH VALVE: CONTRACTOR TO SUPPLY AND INSTALL, NETAFIM MANUAL SHUT OFF VALVE MODEL# TL5OV, OR APPROVED EQUIVALENT. MOUNTED AT END OF POLYETHYLENE (BLANK) IRRIGATION TUBING RUN. SEE PLAN FOR REFERENCE LOCATIONS, FINAL LOCATION TO BE DETERMINED ON SITE DURING INSTALLATION OF IRRIGATION SYSTEM.INSTALL USING NDS PRO SERIES, 10" DIAMETER X 12"H ROUND SAND COLORED VAVLE BOX WITH LID, PART #111 BC SAND, OR APPROVED EQUIVALENT.										SEE 4/L7.1		



**L.I.U. Landscape Inc.**  
**9422 East Las Tunas Drive**  
**Temple City, CA 91780**  
**License # LA1043216**  
**www.liulandscape.com**  
**626-888-9915**

Project:

**Alfa Made LLC**  
549 Bernard St  
Costa Mesa CA 92627

Revisions:

- 
- 
- 
- 

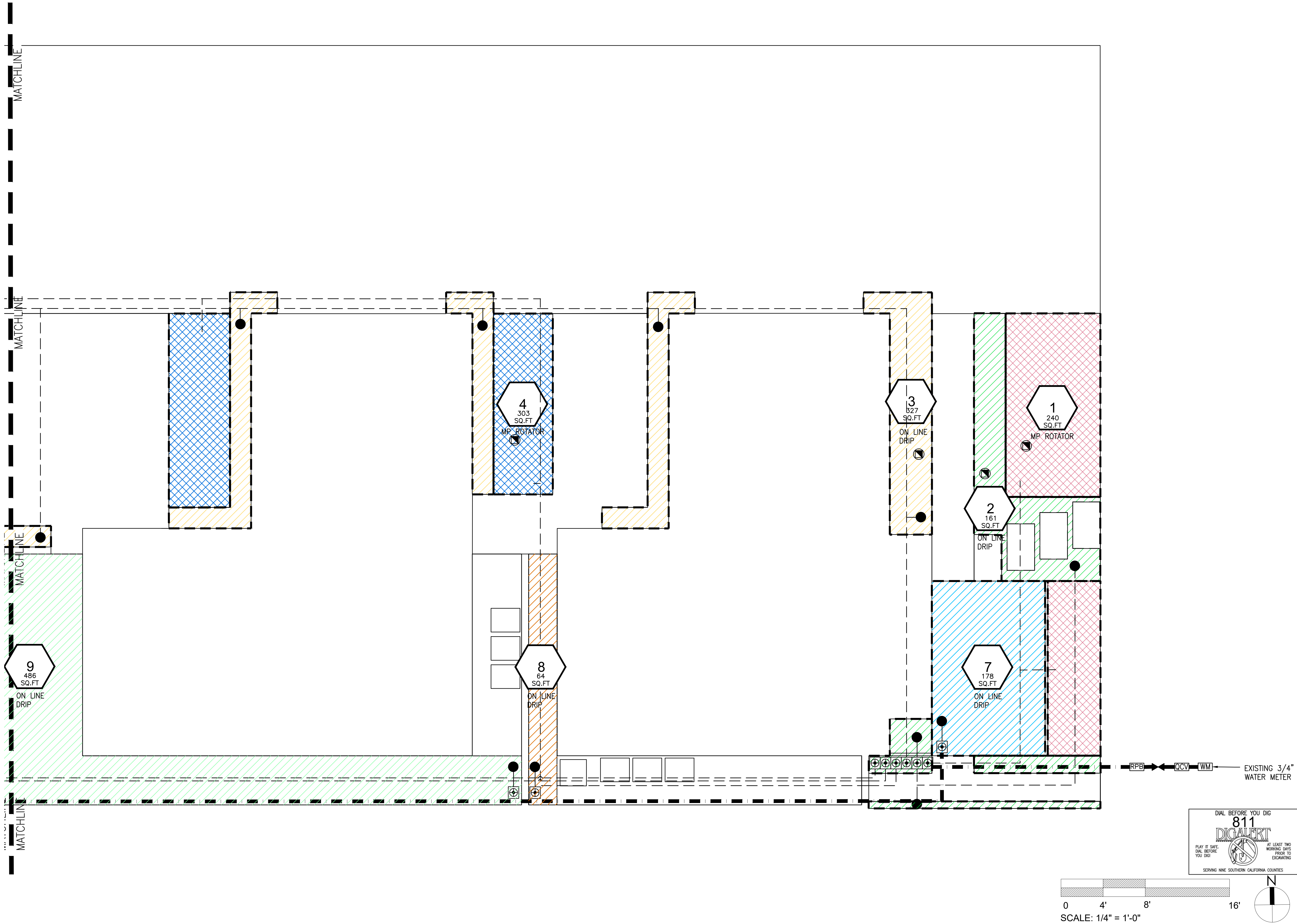
Submittal Date:

February 17, 2022

Sheet Number:

L5.0





**L.I.U. Landscape Inc.**  
9422 East Las Tunas Drive  
Temple City, CA 91780  
License # LA1043216  
www.liulandscape.com  
626-888-9915

Project:

**Alfa Made LLC**  
549 Bernard St  
Costa Mesa CA 92627

IRRIGATION HYDROZONE PLAN FRONT

Revisions:

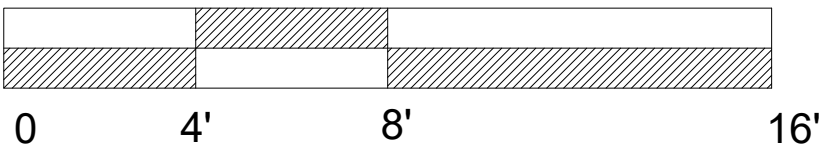
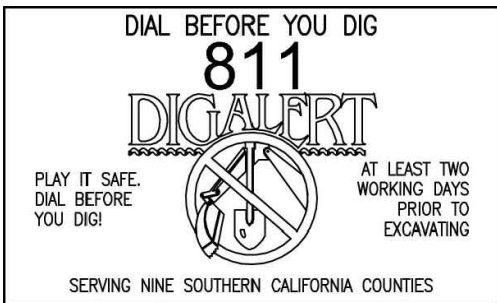
--  
--  
--  
--

Submittal Date:

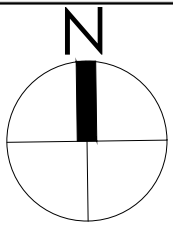
February 17, 2022

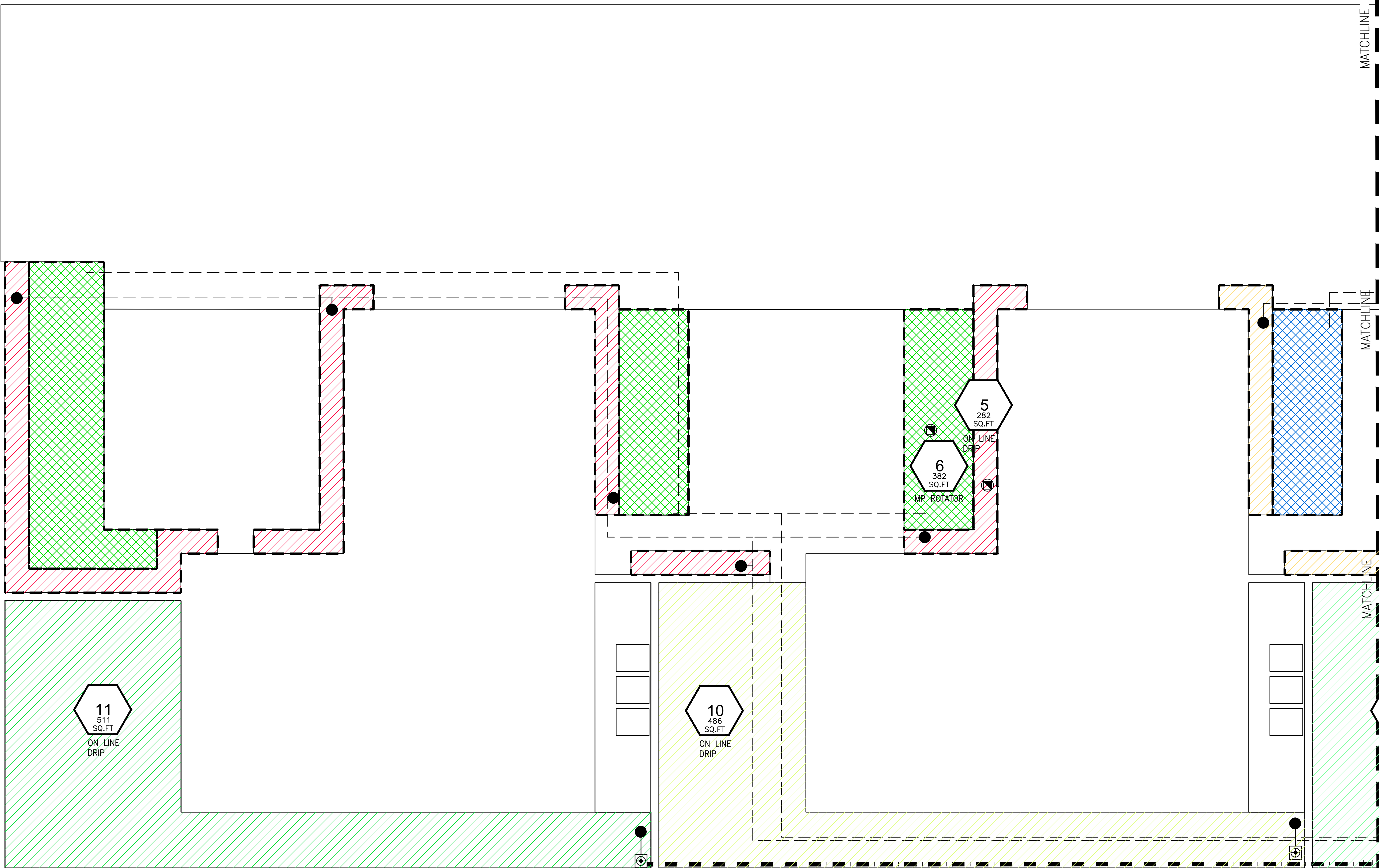
Sheet Number:

L6.0



SCALE: 1/4" = 1'-0"





**L.I.U. Landscape Inc.**  
9422 East Las Tunas Drive  
Tempe City, CA 91780  
License # LA1043216  
www.liulandscape.com  
626-888-9915

Project:

**Alfa Made LLC**  
549 Bernard St  
Costa Mesa CA 92627

IRRIGATION HYDROZONE PLAN BACK

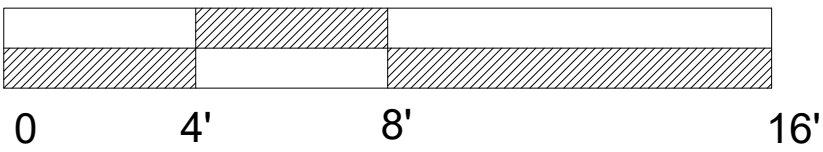
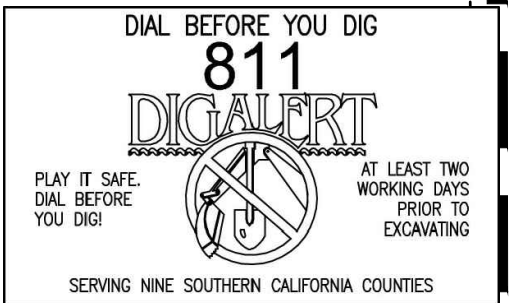
Revisions:

Submittal Date:

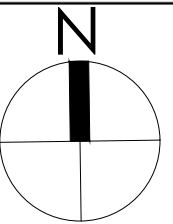
February 17, 2022

Sheet Number:

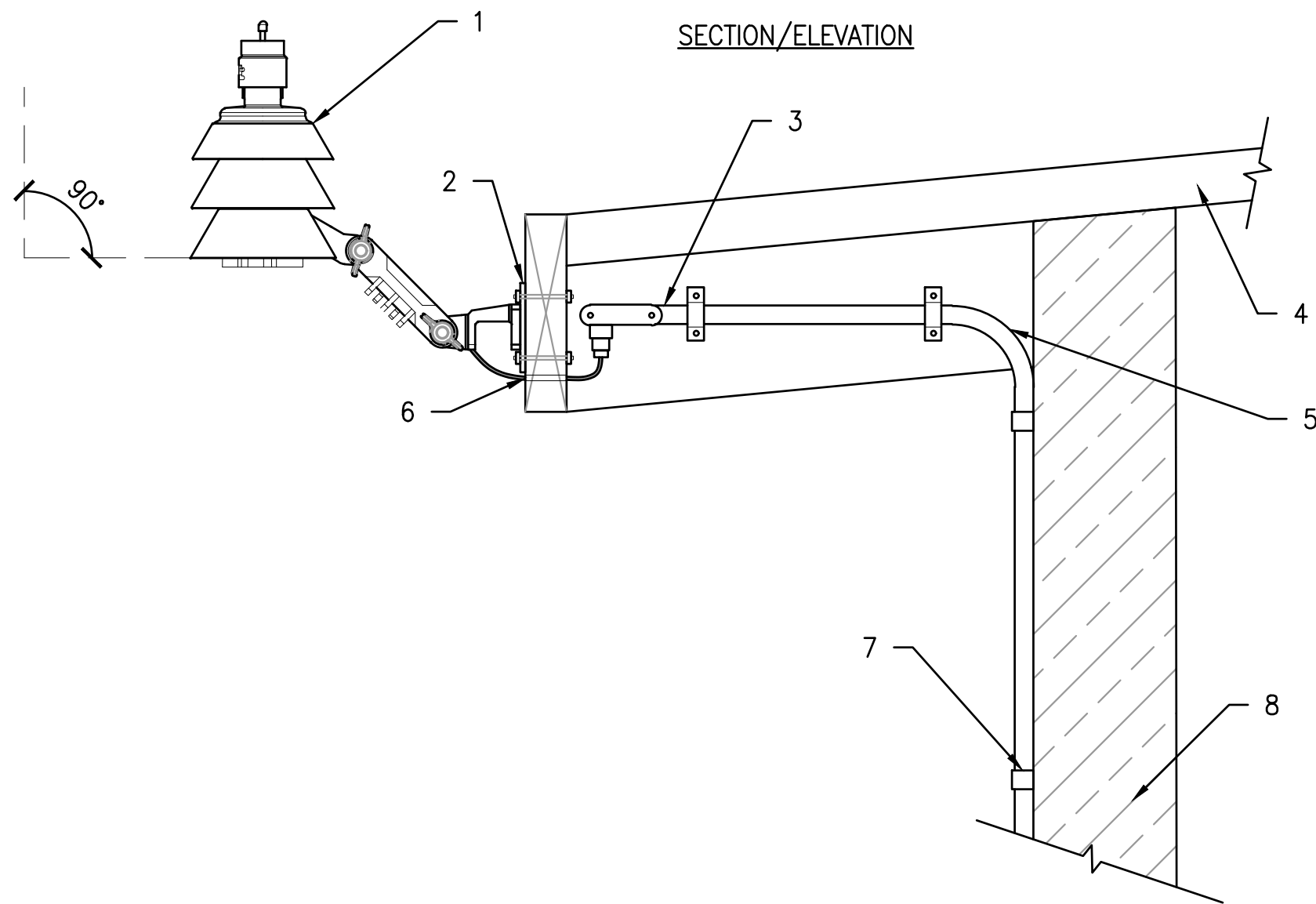
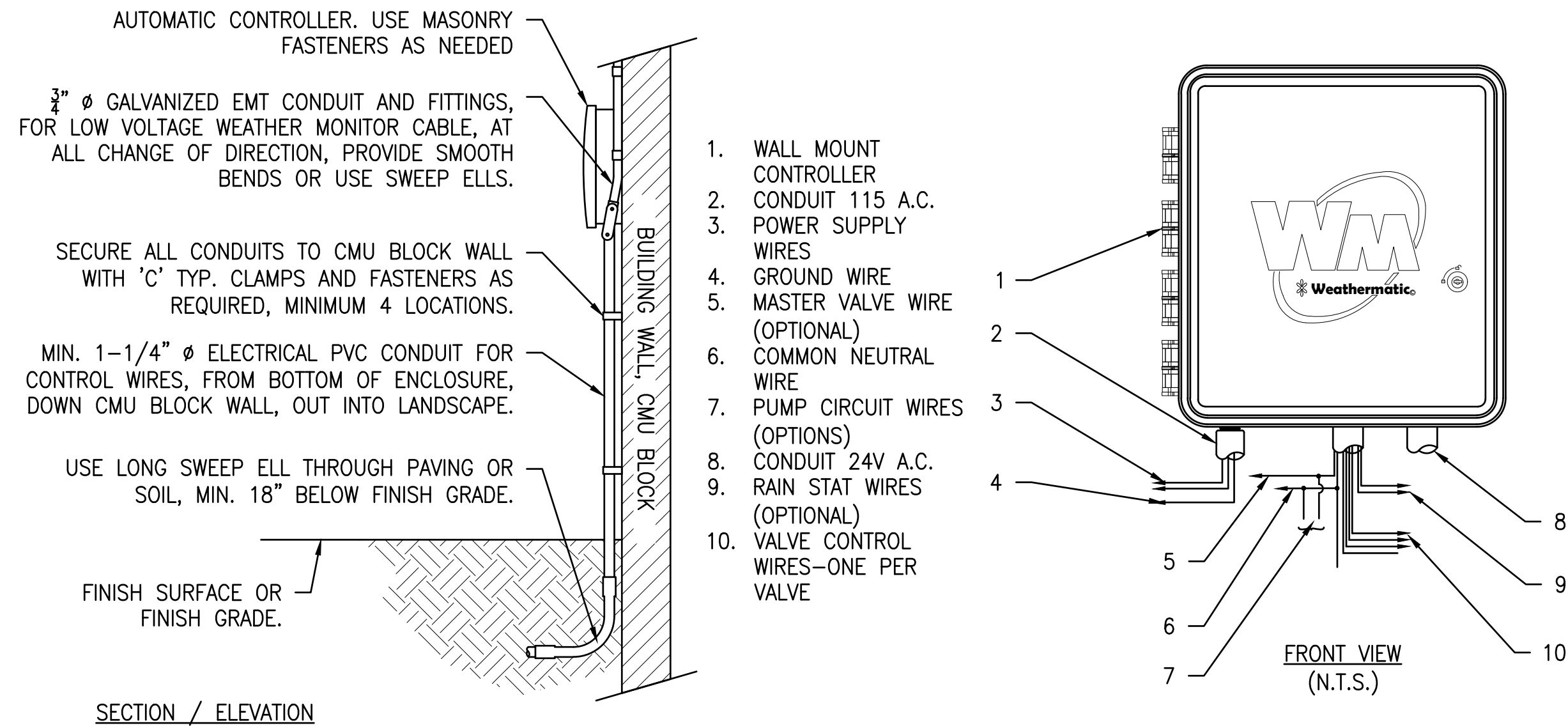
L6.1



SCALE: 1/4" = 1'-0"



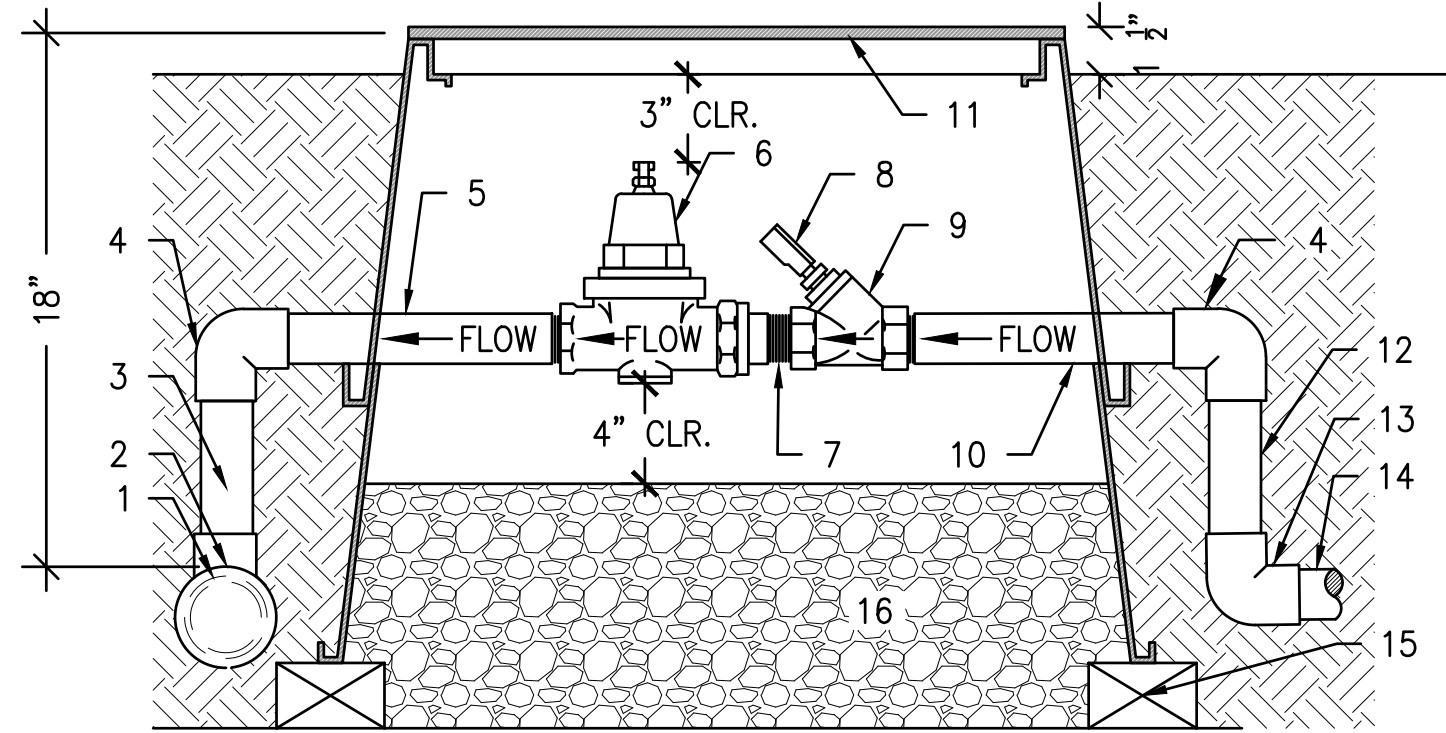




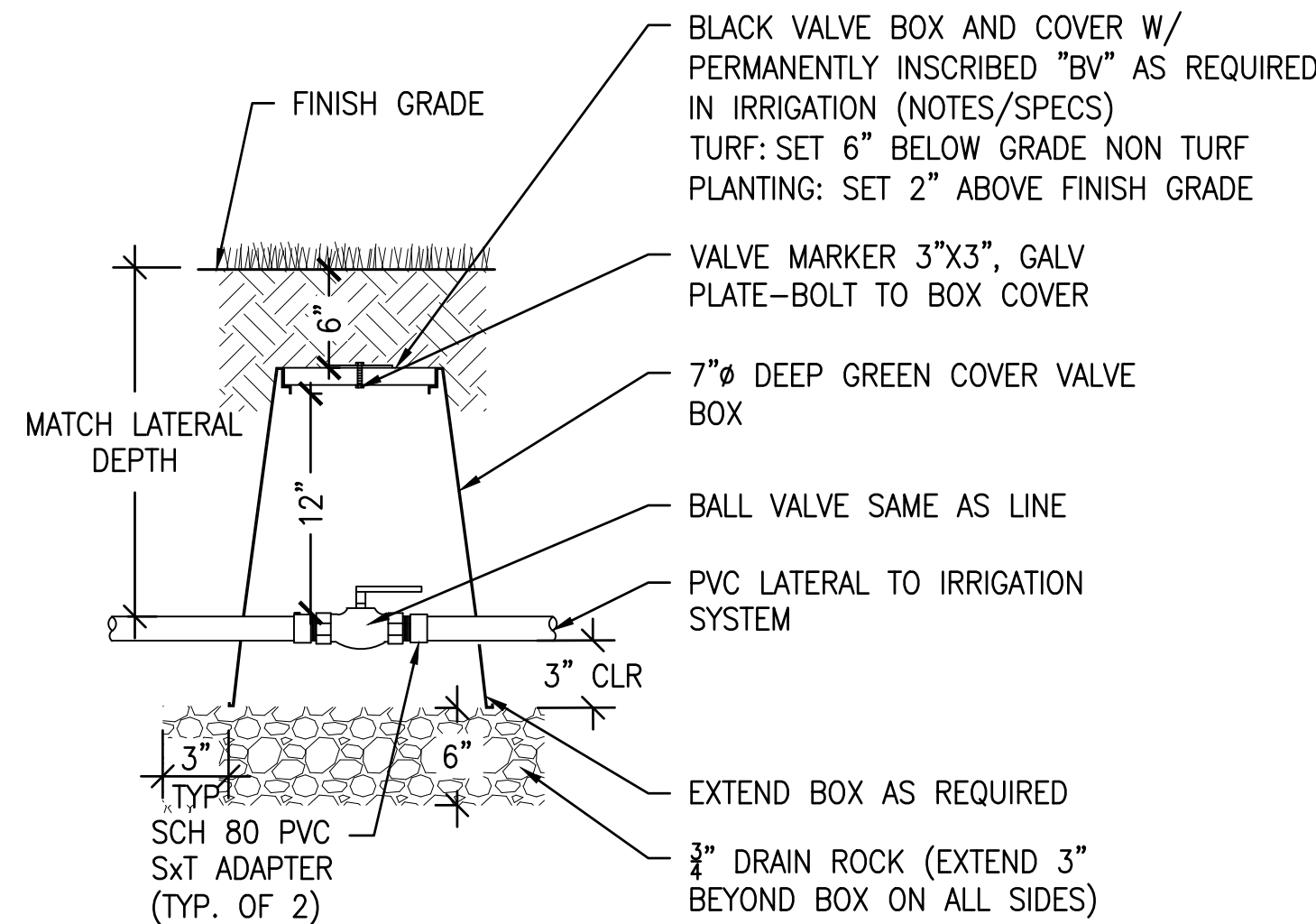
1. NEW WEATHER MONITOR, SEE IRRIGATION LEGENDS AND NOTES FOR MODEL AND MFG.
2. MOUNT WEATHER MONITOR ON BUILDING EAVE AS SHOWN, WITH BRACKET PROVIDED BY MFG. PER DETAILS, NOTES AND MFG. DIRECTIONS. SET MONITOR PLUMB AND LEVEL.
3. 'L' TYPE CONDUIT OUTLET BODY WITH WEATHER TIGHT RUBBER COMPRESSION FITTING AT END OF  $\frac{3}{4}$ "  $\phi$  GALVANIZED EMT CONDUIT WITH FITTINGS REQUIRED.
4. BUILDING ROOF.
5. AT ALL CHANGE OF DIRECTIONS IN CONDUIT, PROVIDE SMOOTH BEND OR USE SWEEP ELLS, SIZE TO MATCH.
6. DRILL CLEARANCE HOLE THROUGH WOOD EAVE TO EASILY FEED CABLE FROM WEATHER MONITOR TO NEW CONDUIT.
7. SECURE ALL CONDUITS TO SIDE OF WOOD ROOF RAFTER AND CMU BUILDING WALL WITH TYP. CLAMPS AND FASTENERS AS REQUIRED, CLAMPS, MIN. 4 LOCATIONS.
8. BUILDING WALL, CMU BLOCK.

1 IRRIGATION SYSTEM CONTROLLER  
SCALE:  $1\frac{1}{2}" = 1'$

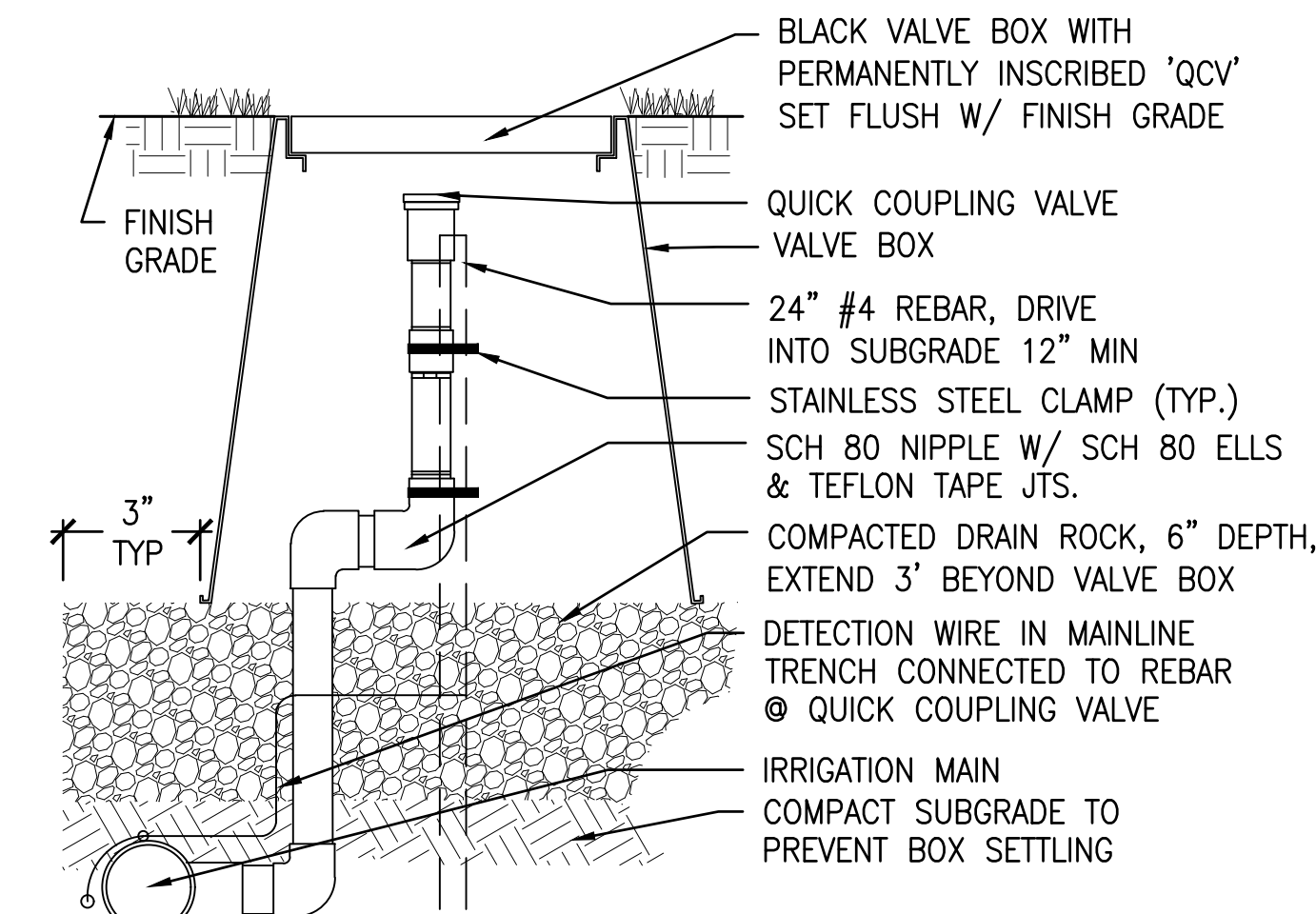
2 WEATHER MONITOR ON BUILDING EVE  
SCALE:  $1" = 1'$



1. SCH 40 PVC LATERAL LINE, SIZE PER PLAN.
2. SCH 80 PVC SLIP X SLIP TEE OR ELL, (WITH REDUCER IF NEEDED), SIZE PER PLAN.
3. SCH 80 PVC SLIP X SLIP NIPPLE, SIZE AND LENGTH AS NEEDED (2 REQUIRED)
4. SCH 80 PVC SLIP X SLIP ELL, SIZE PER PLAN (2 REQUIRED).
5. SCH 80 PVC SLIP X THREAD NIPPLE, SIZE AND LENGTH AS NEEDED (2 REQUIRED).
6. PRESSURE REGULATOR-MFG. AND SIZE PER IRRIG. LEGEND.
7. THREADED BASS NIPPLE, SIZE AND LENGTH AS REQUIRED.
8. PRESSURE GAUGE, MFG. AND MODEL, SEE IRRIG. LEGEND, SET DIAL FACING UP.
9. BRASS WYE STRAINER, MFG., SIZE AND SCREEN IRRIG. LEGEND.
10. SCH 80 PVC SLIP X THREAD NIPPLE, SIZE AND LENGTH REQUIRED.
11. RECTANGULAR PLASTIC VALVE BOX. SIZE AND COLOR PER IRR. LEGEND, HEAT "PR" ON LID IN 2" HIGH BLOCK LETTERS.
12. SCH 80 PVC SLIP X SLIP NIPPLE, SIZE, LENGTH AS REQUIRED.
13. SCH 80 PVC SLIP X SLIP ELL, SIZE PER PLAN.
14. SUPPLY LINE OR FROM EX. P.O.C. - SEE NOTES ON PLAN.
15. BRICK SUPPORTS (1 OF 4).
16. 4" THICK BASE OF  $\frac{3}{4}$ " WASHED GRAVEL.

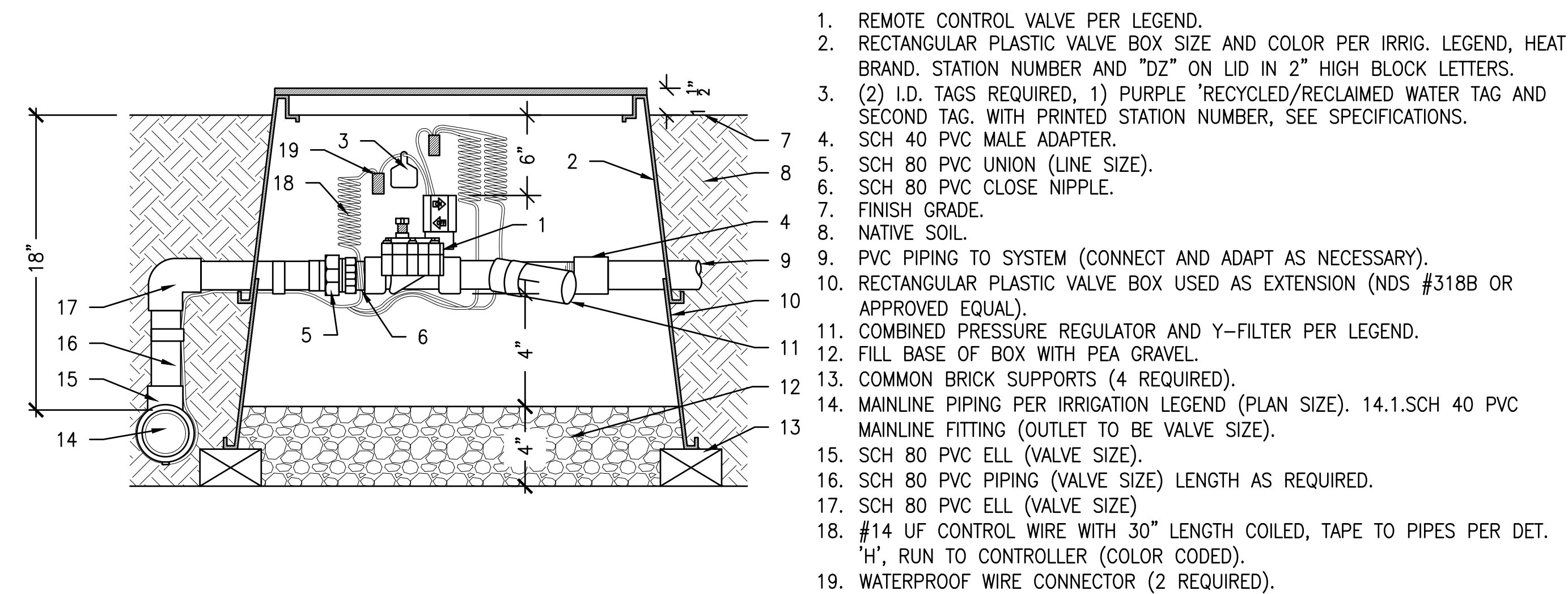


4 BALL VALVE  
SCALE:  $1\frac{1}{2}" = 1'$

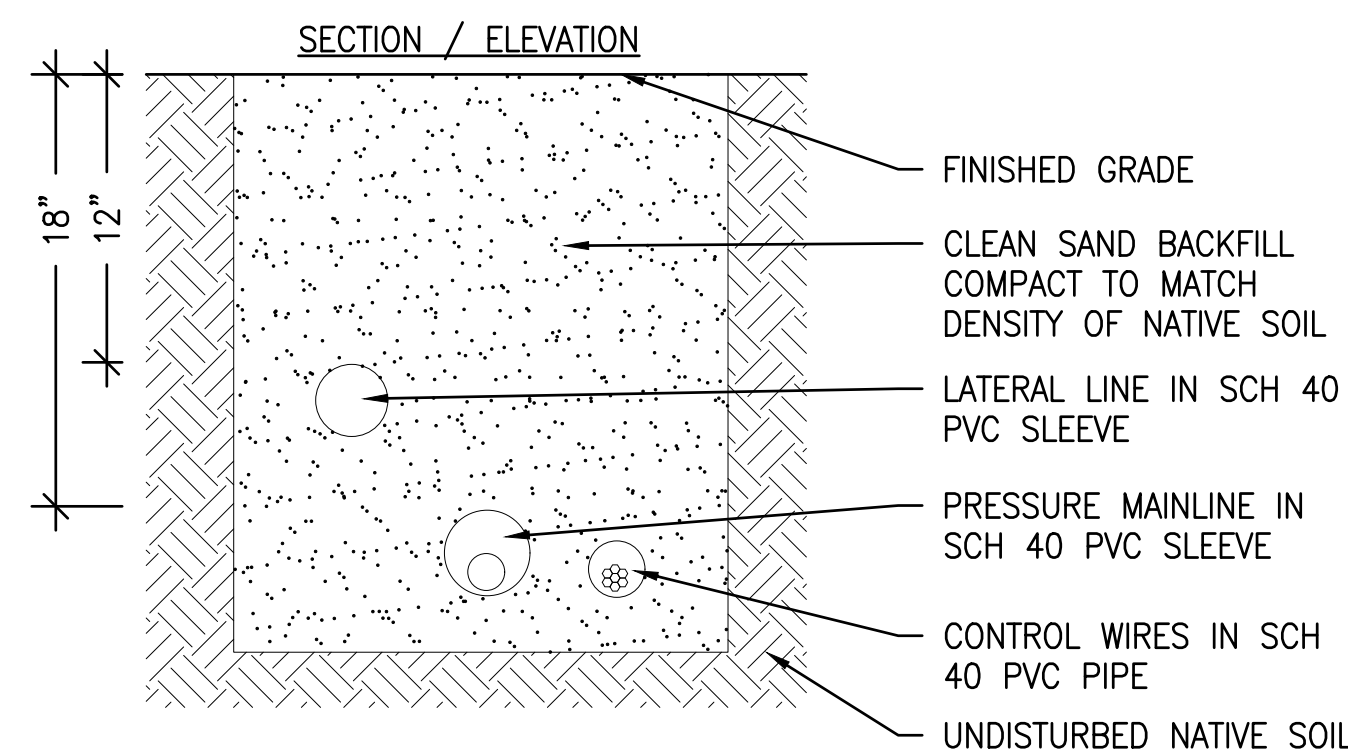


- NOTES:
1. INSTALL TO PREVENT SETTLING.
  2. CENTER QCV IN BOX.
  3. POSITION QCV TO ALLOW CONVENIENT, ACCESSIBLE ACCESS TO QCV KEY & HOSE SWIVEL.

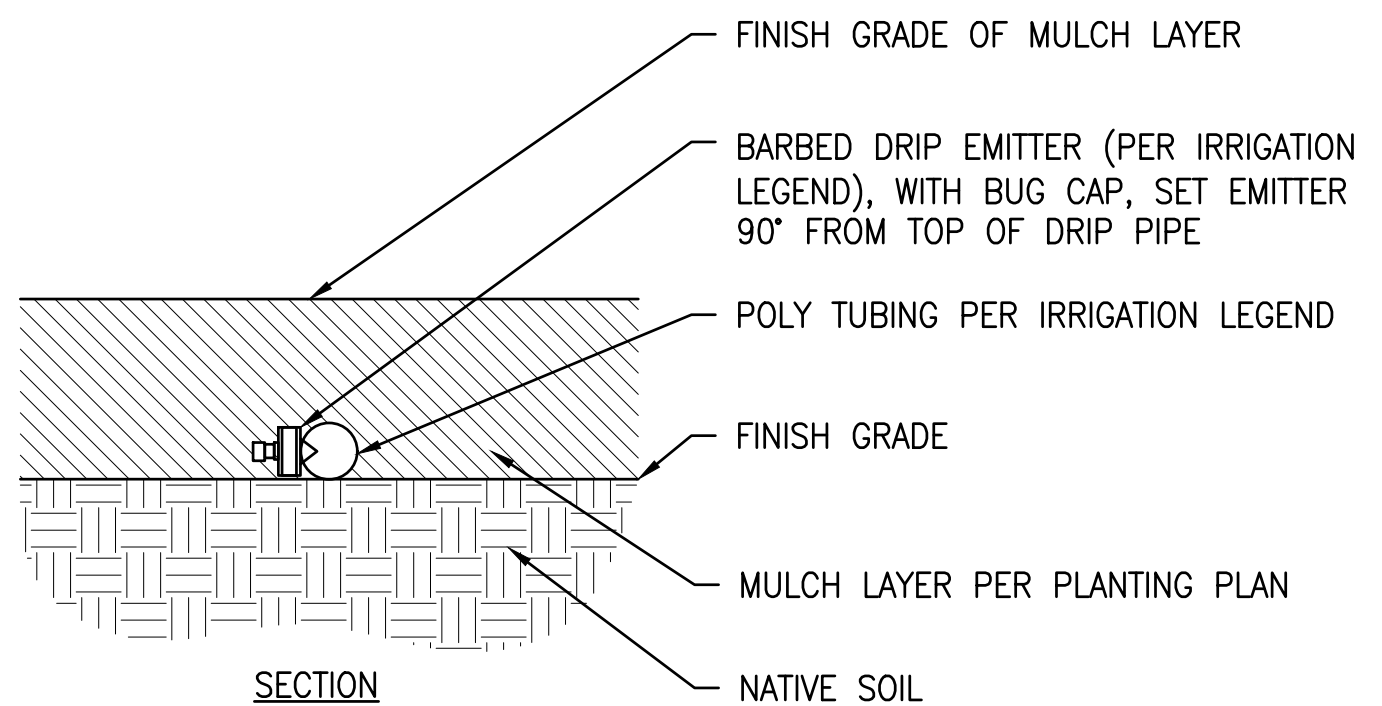
5 QUICK COUPLER VALVE  
SCALE:  $3" = 1'$



6 DRIP ZONE CONTROL VALVE  
SCALE:  $1\frac{1}{2}" = 1'$



7 UNDERGROUND SLEEVING  
SCALE:  $1\frac{1}{2}" = 1'$



8 DRIP EMITTER ON POLY TUBING  
SCALE:  $3/4" = 1'$



**L.I.U. Landscape Inc.**  
9422 East Las Tunas Drive  
Tempe City, CA 91780  
License # LA1043216  
www.liulandscape.com  
626-888-9915

Project:

**Alfa Made LLC**  
549 Bernard St  
Costa Mesa CA 92627

IRRIGATION DETAILS

Revisions:

--  
--  
--  
--

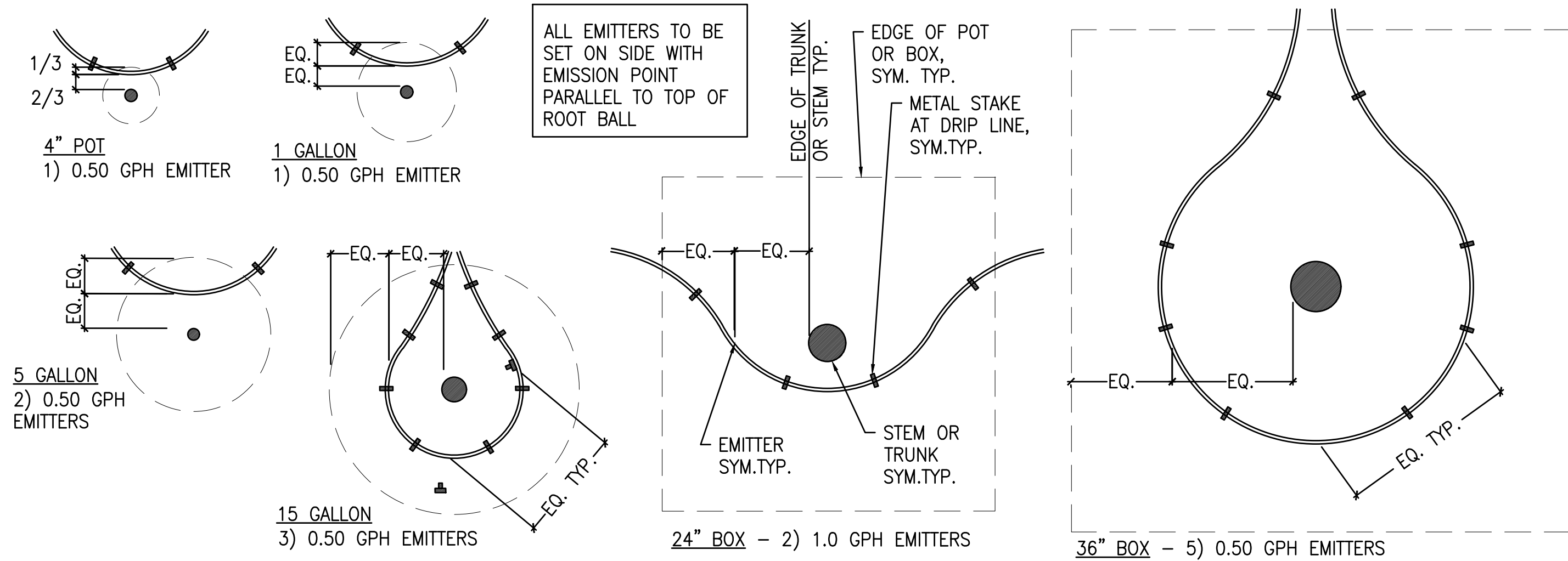
Submittal Date:

February 17, 2022

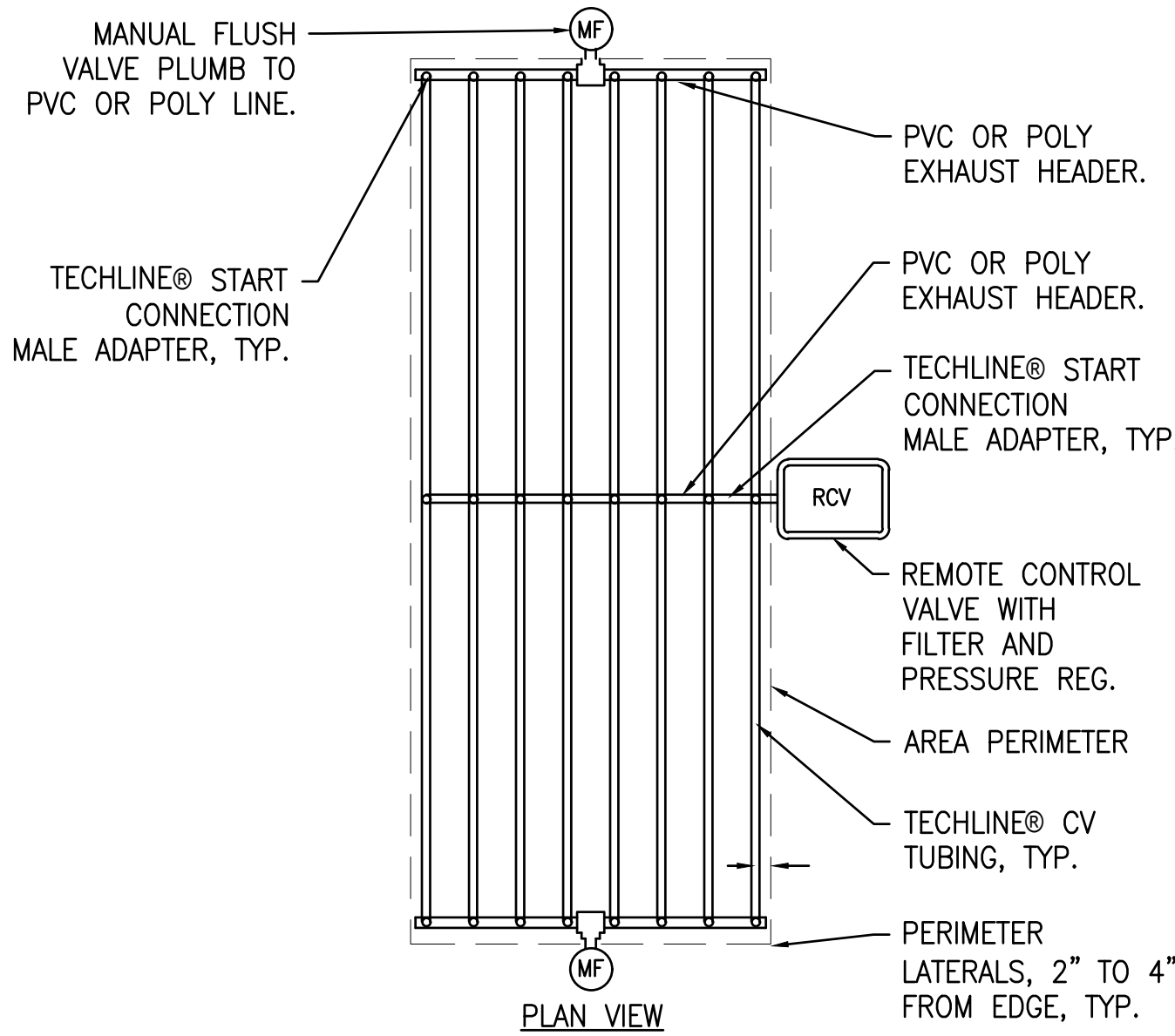
Sheet Number:

L7.0

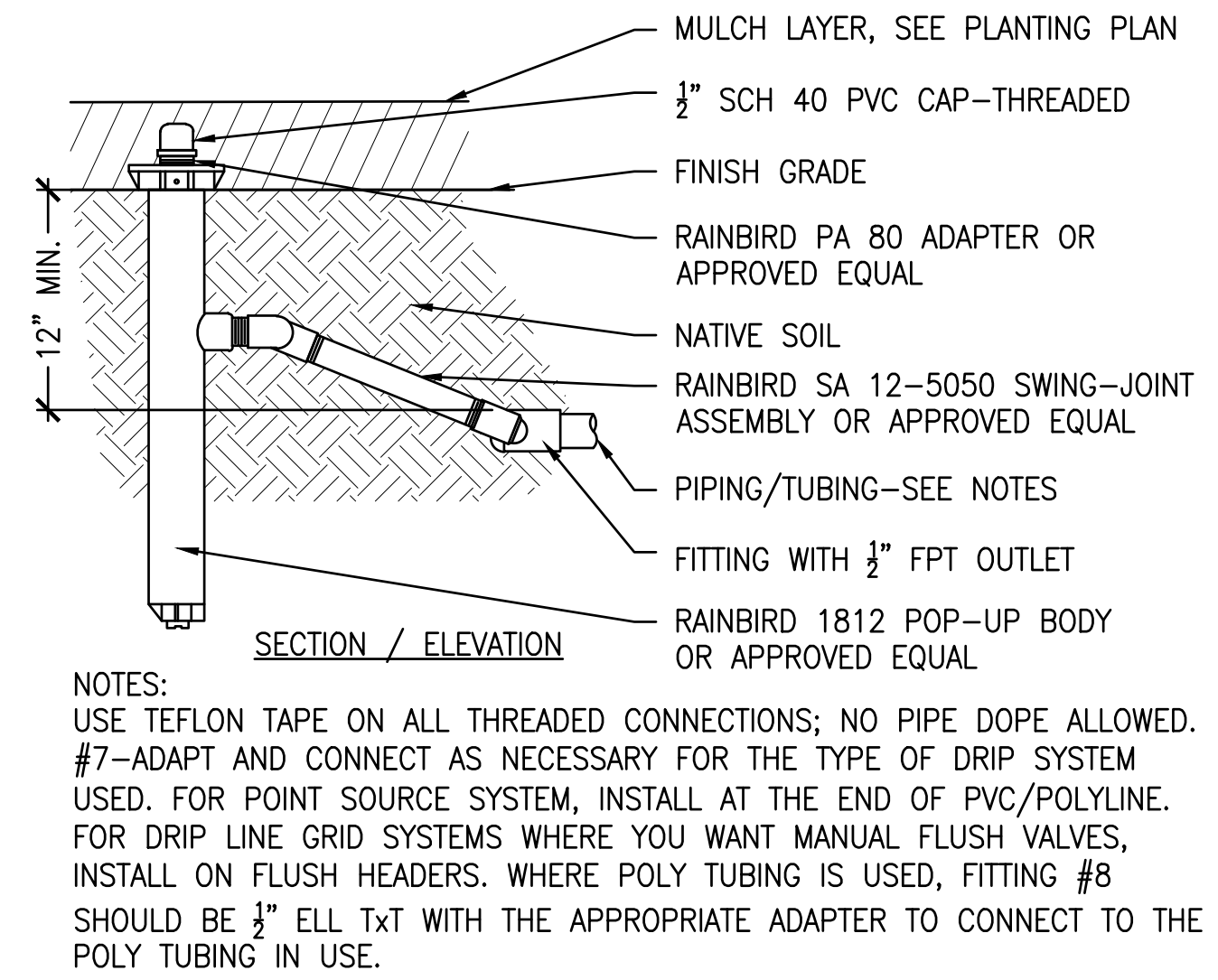




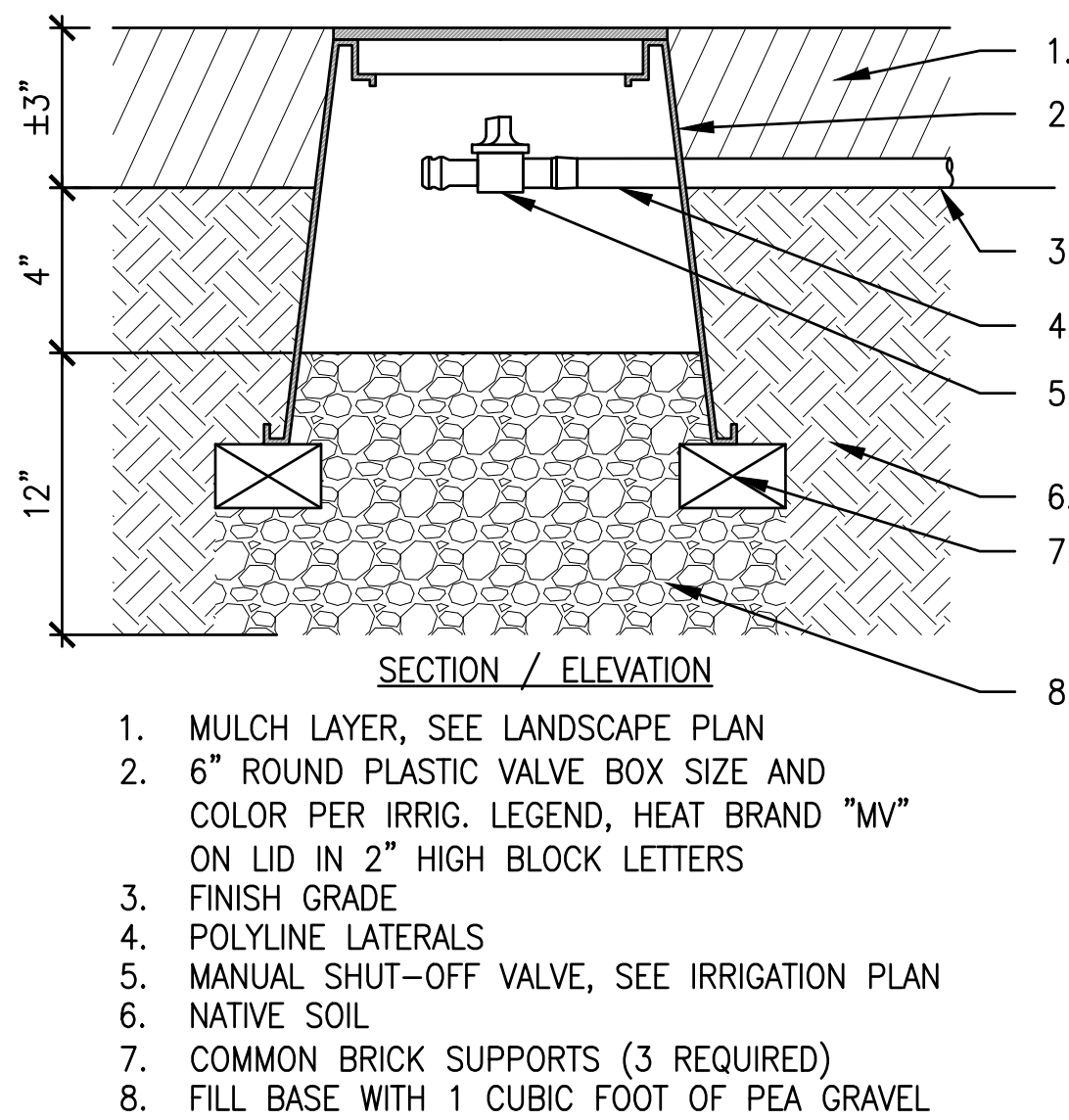
1 ONLINE DRIP EMITTER LAYOUT  
SCALE: 3/4" = 1'



2 INLINE DRIP CENTER FEED  
SCALE: 3/4" = 1'



3 POP-UP TATTLETALE ASSEMBLY  
SCALE: 1" = 1'



4 MANUAL FLUSH VALVE  
SCALE: 1 1/2" = 1'

IRRIGATION DETAILS

  
**L.I.U. Landscape Inc.**  
9422 East Las Tunas Drive  
Tempe City, CA 91780  
License # LA1043216  
www.liulandscape.com  
626-888-9915

Project:

**Alfa Made LLC**  
549 Bernard St  
Costa Mesa CA 92627

Revisions:

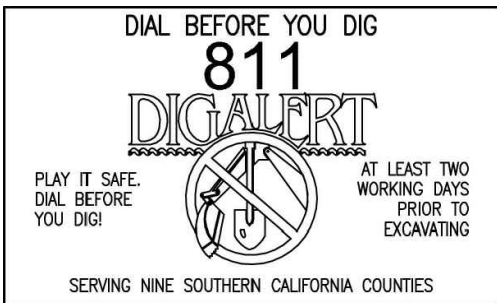
--  
--  
--  
--

Submittal Date:

February 17, 2022

Sheet Number:

L7.1





CITY OF COSTA MESA  
PRECISE GRADING PLAN  
FOR  
PROPOSED RESIDENCE  
549 WEST BERNARD STREET  
COSTA MESA, CA 92627

GRADING NOTES

1. All work shall be in accordance with the Grading Code of the County of Orange and any amendments by the City of Costa Mesa or any special requirements of the permit. A copy of the City Code and City Manual shall be retained on the job site while work is in progress. When referenced on the grading plans, a copy of OC Public Works Standard Plans shall also be retained on the site.
2. Grading shall not be started without first notifying the assigned City Inspector. A pregrading meeting on the site is required before start of grading with the following people present: Owner, Grading Contractor, Design Civil Engineer, Soil Engineer, Engineering Geologist, OC Grading Inspector, and when required, the Archaeologist, Paleontologist, and Surveyor. The required inspections for grading will be explained at the meeting.
3. Issuance of a grading permit does not eliminate the need for permits from other agencies with regulatory responsibilities for construction activities associated with the work authorized on this plan.
4. The Grading Permit and an approved copy of the approved Grading Plan shall be on the permitted site while grading work is in progress.
5. Preliminary soil and geology reports, and all subsequent reports as approved by the Building Division are considered a part of the approved grading plan.
6. The Soil Engineer and Engineering Geologist shall perform sufficient inspections and be available during grading and construction to verify compliance with the plans, specifications and the Code within their purview.
7. The Civil Engineer shall be available during grading to verify compliance with the plans, specifications, City Code, and any special conditions of the permit within their purview.
8. The Soil Engineer and Engineering Geologist shall, after clearing and prior to placement of fill in canyons, inspect each canyon for areas of adverse stability, and to determine the presence or absence of subsurface water or spring flow. If needed, subdrains will be designed and constructed prior to the placement of fill in each respective canyon.
9. Subdrain outlets shall be completed at the beginning of the subdrain construction.
10. The exact location of the subdrains shall be surveyed in the field for line/grade and shown on as graded or revised plans.
11. Areas to receive fill shall be properly prepared and approved in writing by the Soil Engineer and the Building Official prior to placing fill.
12. Fills shall be benched into competent material per OC Public Works Standard Plan No 1322.
13. All existing fills shall be approved by the Building Official or removed prior to placing additional fills.
14. Fills shall be compacted throughout to a minimum of 90% relative compaction. Aggregate base for asphaltic areas shall be compacted to a minimum of 95% relative compaction. Maximum density shall be determined by ASTM D1557 or approved equivalent and filed density by ASTM D1556 (Sand-Cone) and ASTM D6938 (Nuclear Gauge Method) or an approved equivalent.
15. Cut and fill slopes shall be no steeper than 2-feet horizontal to 1-foot vertical (2:1) except where specifically approved by the Building Official.
16. All cut slopes shall be investigated both during and after grading by the Engineering Geologist to determine if any slope stability problems exist. Should excavation disclose any geological hazards or potential geological hazards, the Engineering Geologist shall submit recommended treatment to the Building Official for approval.
17. Where support or buttressing of cut and natural slopes is determined necessary by the Engineering Geologist and Soil Engineer, the Soil Engineer shall submit design, locations and calculations to the Building Official prior to construction. The Engineering Geologist and Soil Engineer shall inspect and control the construction of the buttressing and certify to the stability of the slope and adjacent structures upon completion.
18. When cut pads are brought to near grade, the Engineering Geologist shall determine if the bedrock is extensively fractured or faulted, and will readily transmit water. If considered necessary by the Engineering Geologist and Soil Engineer, a compacted fill blanket will be placed.
19. All trench backfill shall be tested and approved by the Soil Engineer per the City Code.
20. Any existing irrigation lines and cisterns shall be removed or crushed in place and approved by the Building Official and the Soil Engineer.
21. Any existing water wells shall be abandoned in compliance with the specifications approved by Orange County Health Care Agency and Division of Environmental Health.
22. Any existing cesspools and septic tanks shall be abandoned in compliance with the California Plumbing Code to the approval of Building Official.

EARTHWORK QUANTITIES

RAW CUT	20	CUBIC YARDS
RAW FILL	40	CUBIC YARDS
OVER-EX	300	CUBIC YARDS
SHRINKAGE (±5%)	15	CUBIC YARDS
NET	35	CUBIC YARDS (IMPORT)

GRADING NOTES (CONTINUED)

23. The stockpiling of excess material shall be approved by the Building Official prior to excavation.
24. Export soil must be transported to a legal dump or to a permitted site approved by the Building Division.
25. The permittee is responsible for dust control measures.
26. The permittee shall give reasonable notice to the owner of adjoining lands and building prior to beginning excavations which may affect the lateral and subjacent support of the adjoining property. The notice shall state the intended depth of the excavation and when the excavation will commence. The adjoining owner shall be allowed at least 30 days and reasonable access on the permitted property to protect his structure, if he so desires, unless otherwise protected by law.
27. All concrete structures that are exposed to the on-site soils shall be constructed with Type V cement, unless deemed unnecessary by soluble sulfate-content tests conducted by the Soil Engineer.
28. Slopes exceeding 5 feet in height shall be planted with an approved plant material. In addition, slopes exceeding 15 feet in height shall be provided with an approved irrigation system, unless otherwise approved by the Building Official.
29. All existing drainage courses through this site shall remain open until facilities to handle storm water are approved and functional, however, in any case, the permittee shall be held liable for any damage due to obstructing natural drainage patterns.
30. Sanitary facilities shall be maintained on site.
31. The location and protection of all utilities is the responsibility of the permittee.
32. Approved protective measures and temporary drainage provisions shall be used to protect adjoining properties during grading.
33. Grading operations including maintenance of equipment within one-mile of a human occupancy shall be conducted between the hours of 7:00 a.m. and 7:00 p.m. Monday thru Friday. Saturdays 9:00 a.m. thru 6:00 p.m. Prohibited all hours Sundays and the following Federal holidays: Christmas Day, New Years Day, Memorial Day, Independence Day, Labor Day, and Thanksgiving Day. CMMC sec 13-279
- a) All construction vehicles or equipment, fixed or mobile, operated within 1000 feet of a dwelling shall be equipped with properly operational and maintained mufflers.
- b) Stockpiling and/or vehicle staging areas shall be located as far as practical from dwellings and within the limits of the grading permit.
34. Grading and excavation shall be halted during periods of high winds. According to AQMD Rule 403, high wind conditions means instantaneous wind speeds exceed 25 MPH. This level occurs only under extreme conditions such as Santa Ana Wind conditions.
35. Asphalt sections must be per City Code: Parking stall – 3" A/C over 6" A/B, Drives 3" A/C over 10" (Commercial), and 12" (Industrial). Or: Prior to rough grade release for Building Permits by the City Inspector; the Soil Engineer shall submit for approval pavement section recommendations, based on "R" value analysis of the sub-grade soils, and expected traffic indices.
36. Roof gutters shall be installed to prevent roof drainage from falling on manufactured slopes, with appropriate down spouts and outlets.
37. The Civil Engineer, as a condition of rough grade approval, shall provide a blue top with accompanying witness stake, set at the center of each pad reflecting the pad elevation for precise permits, and a blue top with witness stake set at the drainage swale high-point reflecting the high point elevation for Preliminary Permits.
38. Prior to final approval, the Civil Engineer shall certify to the Building Official the amount of earth moved during the grading operation.
39. The Engineering Geologist shall perform periodic inspections and submit a complete report and map upon completion of the rough grading.
40. The Grading Contractor shall submit a statement of compliance to the assigned Grading Inspector that the grading is in accordance with the approved Grading Plan prior to final approval.
41. The compaction report and approval from the Soil Engineer shall indicate the type of field testing performed. The method of obtaining the in-place density shall be identified whether sand cone, drive ring or nuclear, and shall be noted for each test. Sufficient maximum density determinations shall be performed to verify accuracy of the maximum density curves used by the Field Technician.
42. In the event that soil contamination is discovered during excavation and removal of an existing tank, work shall be stopped until a site assessment and mitigation plan has been prepared, submitted and approved by the OC Health Care Agency/Environmental Health and the Building Division.

EROSION CONTROL

43. In the case of emergency (24-Hour/Day), call Will Rolph at Work Telephone 949.464.8115.
44. Equipment and workers for emergency work shall be made available at all times during the rainy season. Necessary materials shall be available on site and stockpiled at convenient locations to facilitate rapid construction of temporary devices when rain is imminent.
45. Erosion, sediment and chemical control devices shall not be moved or modified without the approval of the Building Official.
46. All removable erosion protective devices shall be in place at the end of each working day when the 5-Day Rain Probability Forecast exceeds 40%.
47. After a rainstorm, all silt and debris shall be removed from streets, check berms and basins.
48. Graded areas of the permitted area perimeter must drain away from the face of slopes at the conclusion of each working day. Drainage is to be directed towards desilting facilities.
49. The permittee and contractor shall be responsible and shall take necessary precautions to prevent public trespass onto areas where impounded water creates a hazardous condition.
50. The permittee and contractor shall inspect the erosion control work and insure that the work is in accordance with the approved plan.

ENVIRONMENTAL NOTES

51. The permittee shall notify all general contractors, subcontractors, material suppliers, lessees and property owners that dumping of chemicals into the storm drain system or the watershed is prohibited.
52. Permittee shall maintain construction site in a condition that an anticipated storm does not carry wastes or pollutants off the site. Potential pollutants include but are not limited to: solid or liquid chemical spills, wastes from paint, stains, sealants, glues, limes, pesticides herbicides, wood preservatives and solvents; asbestos fibers, paint flakes or stucco fragments; fuels, oils, lubricants, and hydraulic, radiator or battery fluids; fertilizers, vehicle/equipment wash water and concrete wash water; concrete, detergent or floatable wastes; wastes from any engine/equipment steam cleaning or chemical degreasing and super chlorinated potable water line flushing. During construction, permittee shall dispose of such materials in a specified and controlled temporary area on-site, physically separated from potential storm water runoff, with ultimate disposal in accordance with local, state and federal requirements.
53. Permittee may discharge material other than storm water only when necessary for performance and completion of construction practices and where they do not: cause or contribute to a violation of any water quality standard; cause or threaten to cause pollution, contamination or nuisance; or contain a hazardous substance in a quantity reportable under Federal Regulation 40 CFR, Parts 117 and 302.
54. Dewatering of contaminated groundwater or discharging contaminated soils via surface erosion is prohibited. Dewatering of non-contaminated groundwater requires a National Pollutant Discharge Elimination System Permit from the respective State Regional Water Quality Control Board.
55. SPECIAL NOTE: "Survey monuments shall be preserved and referenced before construction and replaced after construction pursuant to Section 8771 of the Business and Professional Code."

SPECIAL NOTE

ALL GRADING SHALL COMPLY PER SOILS REPORT'S RECOMMENDATIONS.

SCOPE OF WORK

THE PROJECT PROPOSES DEMOLITION OF AN EXISTING SINGLE-FAMILY RESIDENCE AND CONSTRUCTION OF 4 NEW SINGLE-FAMILY RESIDENCES WITH YARD IMPROVEMENTS.

SURVEY NOTE

SURVEYOR OR ENGINEER (LICENSE BELOW 33966) SHALL MONUMENT PROPERTY CORNERS BEFORE STARTING GRADING.

PERMITS REQUIRED

SEPARATE PLAN CHECKS AND PERMITS SHALL BE REQUIRED FOR RETAINING WALLS AND BLOCK WALLS.

AN ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY FROM THE PUBLIC SERVICES DEPARTMENT

SHEET INDEX

- C1 TITLE SHEET  
C2 GRADING PLAN  
C3 STORM DRAIN PLAN  
C4 EROSION CONTROL PLAN

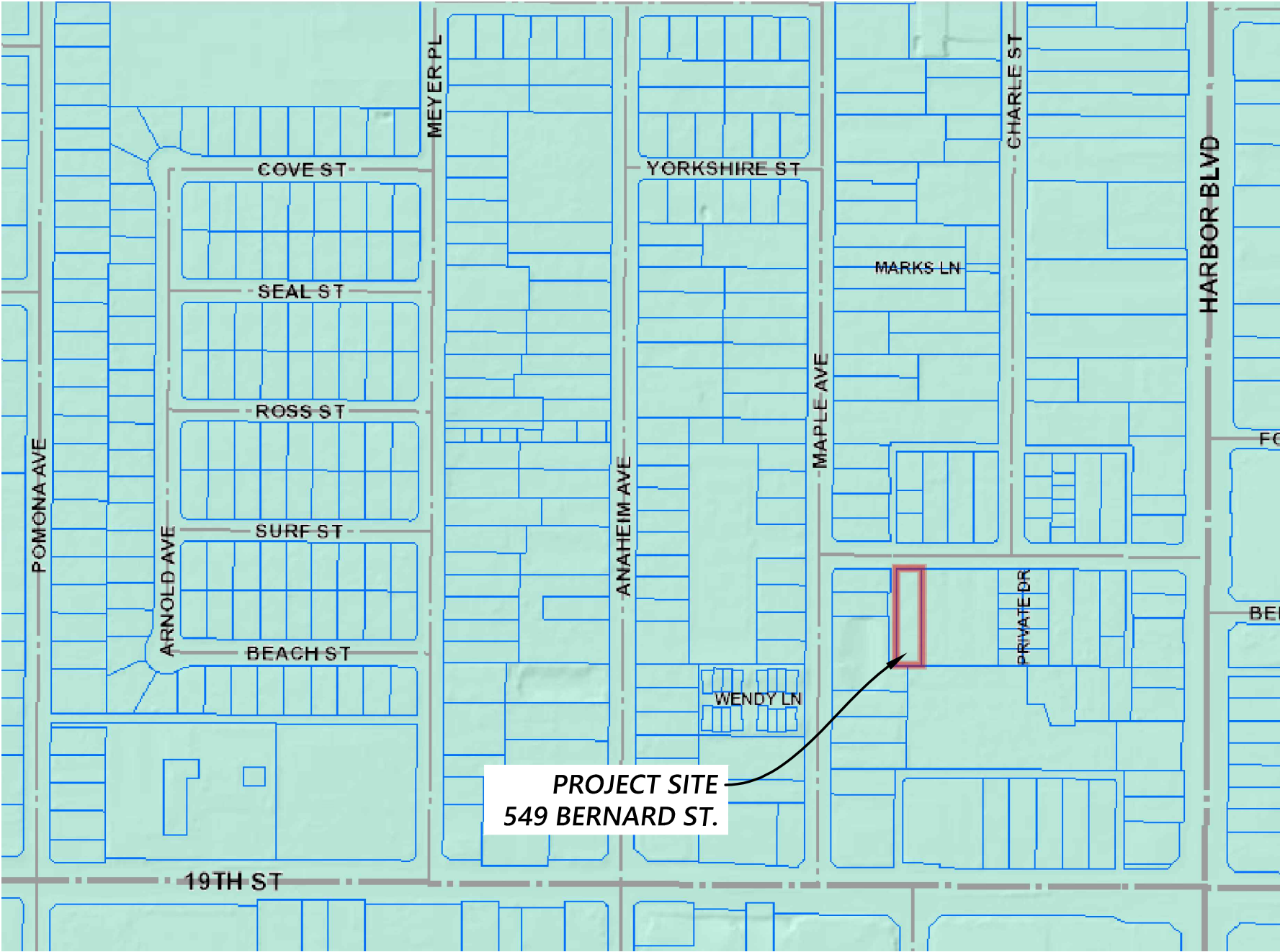
LEGAL DESCRIPTION

LOT 13 OF TRACT NO. 17921, IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 953, PAGES 46-50 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 422-103-29

LEGEND

TS	TOP OF STEM WALL
TOP	TOP OF SLOPE
TRW	TOP OF RETAINING WALL
FF	FINISHED FLOOR ELEVATION
TG	TOP OF GRATE
TC	TOP OF COPING OR TOP OF CURB
PA	PLANTER AREA
TW	TOP OF WALL
LS	LANDSCAPE
FS	FINISHED SURFACE
FL	FLOW LINE
FG	FINISHED GRADE
GB	GRADE BREAK
HP	HIGH POINT
INV	INVERT
GFF	GARAGE FINISHED FLOOR
EG	EXISTING GRADE
( )	EXISTING SPOT ELEVATION
---	PROPERTY LINE AND LIMIT-OF-WORK
---	PROPOSED WALL
(102.6) OR 102.6	EXISTING ELEVATION; CONTRACTOR SHALL FIELD VERIFY ELEVATIONS PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO CIVILSCAPES ENGINEERING
---	FLOWLINE
GB	GRADEBREAK LINE
---	STORM DRAIN PIPE



VICINITY MAP

NO SCALE

PRECISE GRADING PLAN  
FOR PROPOSED RESIDENCE  
TITLE SHEET  
549 WEST BERNARD STREET  
COSTA MESA, CA 92627

REVISIONS

NO.	REVISION	DATE



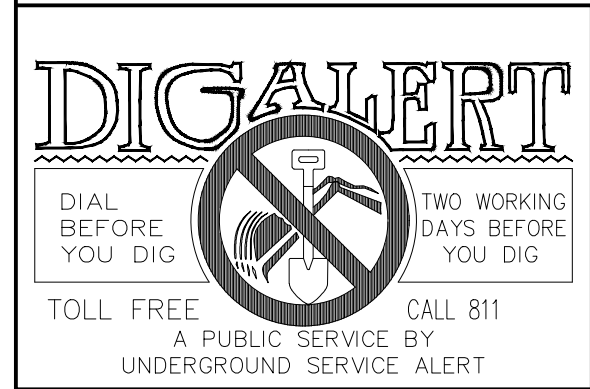
JOB NO.	20060
DATE	5/25/2022
SHEET NO.	

C1

SHEET NO. 1 OF 4







1. PUBLIC SERVICES INSPECTION IS REQUIRED PRIOR TO ISSUANCE OF BUILDING FINAL. AT THE TIME OF INSPECTION, IF ANY EXISTING PUBLIC IMPROVEMENTS SURROUNDING THE SITE IS DAMAGED; NEW CURB & GUTTER AND STREET PAVEMENT WILL BE REQUIRED.
2. PLEASE OBTAIN WRITTEN APPROVAL FROM SEWER AND WATER AGENCIES
3. LANDSCAPE WITHIN THE PUBLIC RIGHT-OF-WAY SHALL COMPLY WITH SECTION 3.0 OF COSTA MESA STREETScape AND MEDIAN DEVELOPMENT

A map of the study area showing the location of the study area relative to the North and the scale in feet. The map includes a north arrow pointing upwards, labeled "NORTH". Below the north arrow is a scale bar with markings at 0, 8, and 16 feet. The scale bar is labeled "SCALE IN FEET" and "1 INCH = 8 FEET". The map shows a large, irregularly shaped area with a dashed line indicating the boundary of the study area. The area is divided into several smaller, irregularly shaped areas by solid lines. The area is labeled "STUDY AREA" in the center.

- ① HARDSCAPE PER ARCHITECT'S PLAN.
- ② DRIVEWAY PER ARCHITECT'S PLAN.
- ③ PLANTER AREA PER ARCHITECT'S PLAN.
- ④ WALL OR FENCE PER ARCHITECT'S PLAN.
- ⑧ FURNISH & INSTALL 6" NDS SPEE-D BASIN W/6" GREEN ATRIUM GRATE PER DETAIL ON SHEET C3
- ⑨ FURNISH & INSTALL 6" NDS SPEE-D BASIN W/6" BRASS SQUARE GRATE PER DETAIL ON SHEET C3

**PRECISE GRADING PLAN  
FOR PROPOSED RESIDENCE  
GRADING PLAN**  
549 WEST BERNARD STREET

**CIVILSCAPES**  
ENGINEERING

28052 CAMINO CAPISTRANO, STE 213  
LAGUNA NIGUEL, CA 92677  
949.454.8115 info@civilscales.com

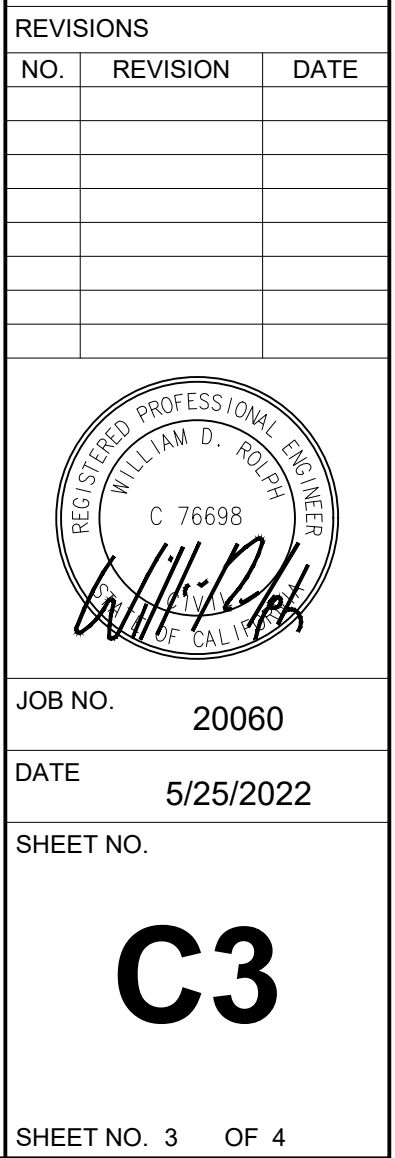
**CISE GRADING PROJECT  
PROPOSED RESIDUAL  
GRADING PLAN**  
549 WEST BERNARD STREET  
COSTA MESA, CA 92627

[illegible]

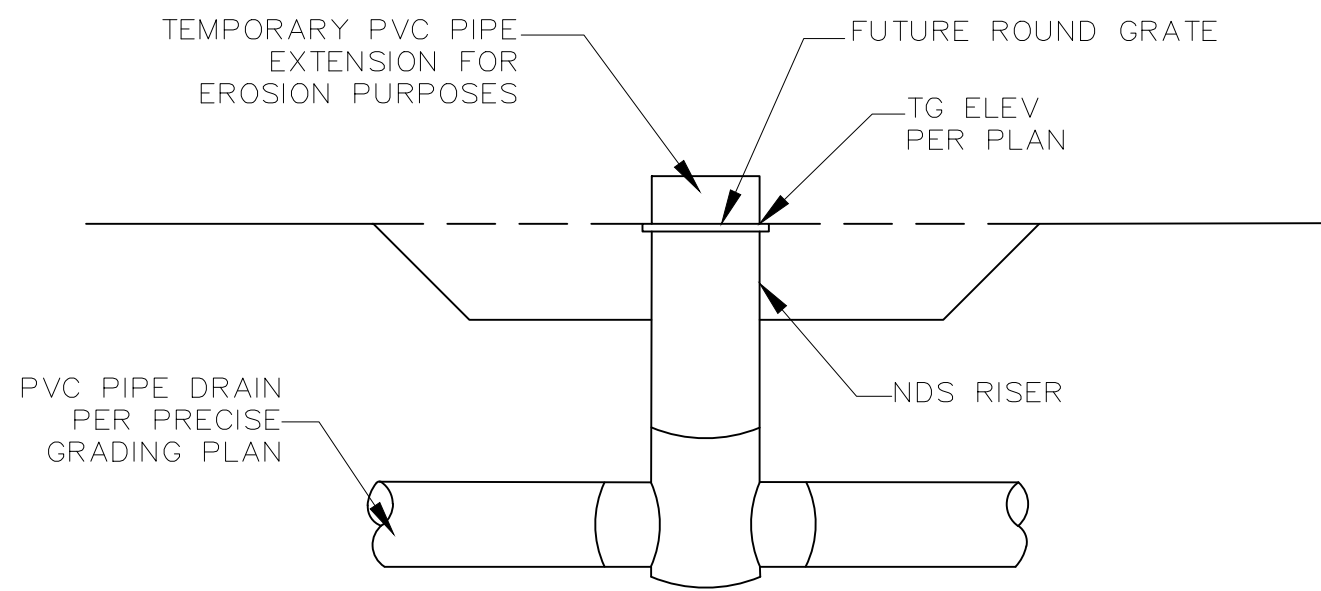
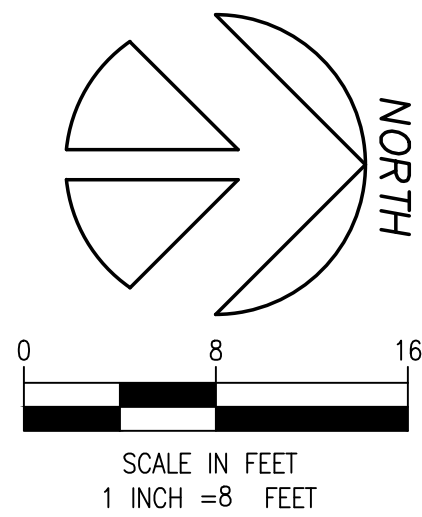
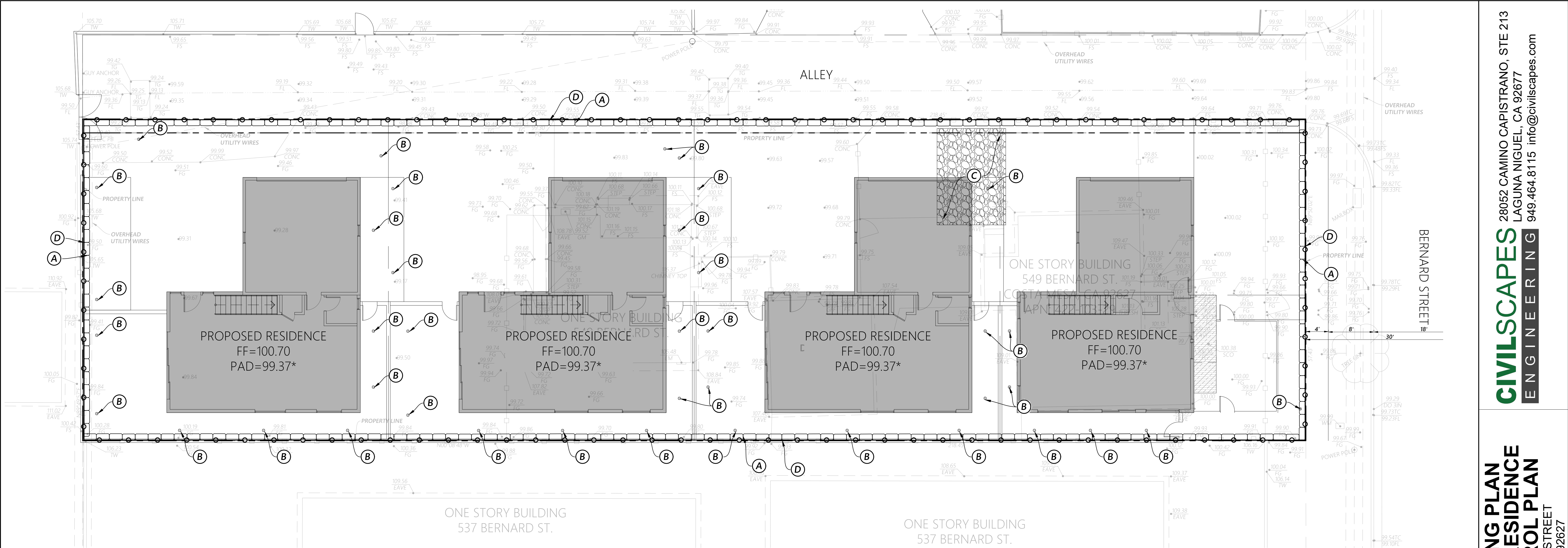
# C2

SHEET NO. 2 OF 4









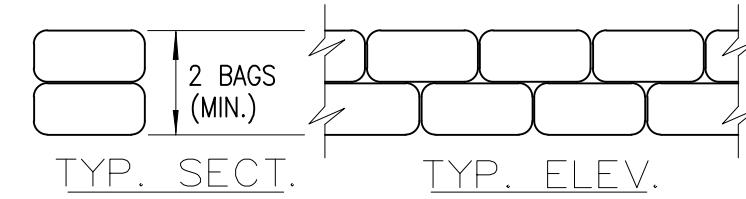
**B** AREA DRAIN INLET PROJECTION  
NO SCALE

**EROSION CONTROL CONSTRUCTION NOTES**

- A** INSTALL GRAVEL BAG BARRIER PER CASQA SE-8 AND SE-6
- B** INLET PROTECTION PER DETAIL HEREON
- C** STABILIZED CONSTRUCTION ENTRANCE USING CRUSHED ROCK PER CASQA TC-1
- D** 6' TALL CHAIN-LINK FENCE WITH DUST CONTROL COVER AROUND PERIMETER OF PROPERTY.

**NOTES:**

- CONTRACTOR SHALL PROVIDE ONSITE CONCRETE WASHOUT FACILITY AND COMPLY WITH CASQA BMP WM-8.
- ALL REMOVABLE EROSION PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE 5-DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
- SEDIMENTS FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENT CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE, AND STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OF ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND.
- APPROPRIATE BMPs FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS OR RESIDUES SHALL BE IMPLEMENTED AND RETAINED ON SITE TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTY BY WIND OR RUNOFF.



**A** GRAVEL BAG DETAIL  
NO SCALE



REVISIONS		
NO.	REVISION	DATE



JOB NO. 20060  
DATE 5/25/2022  
SHEET NO.

**C4**