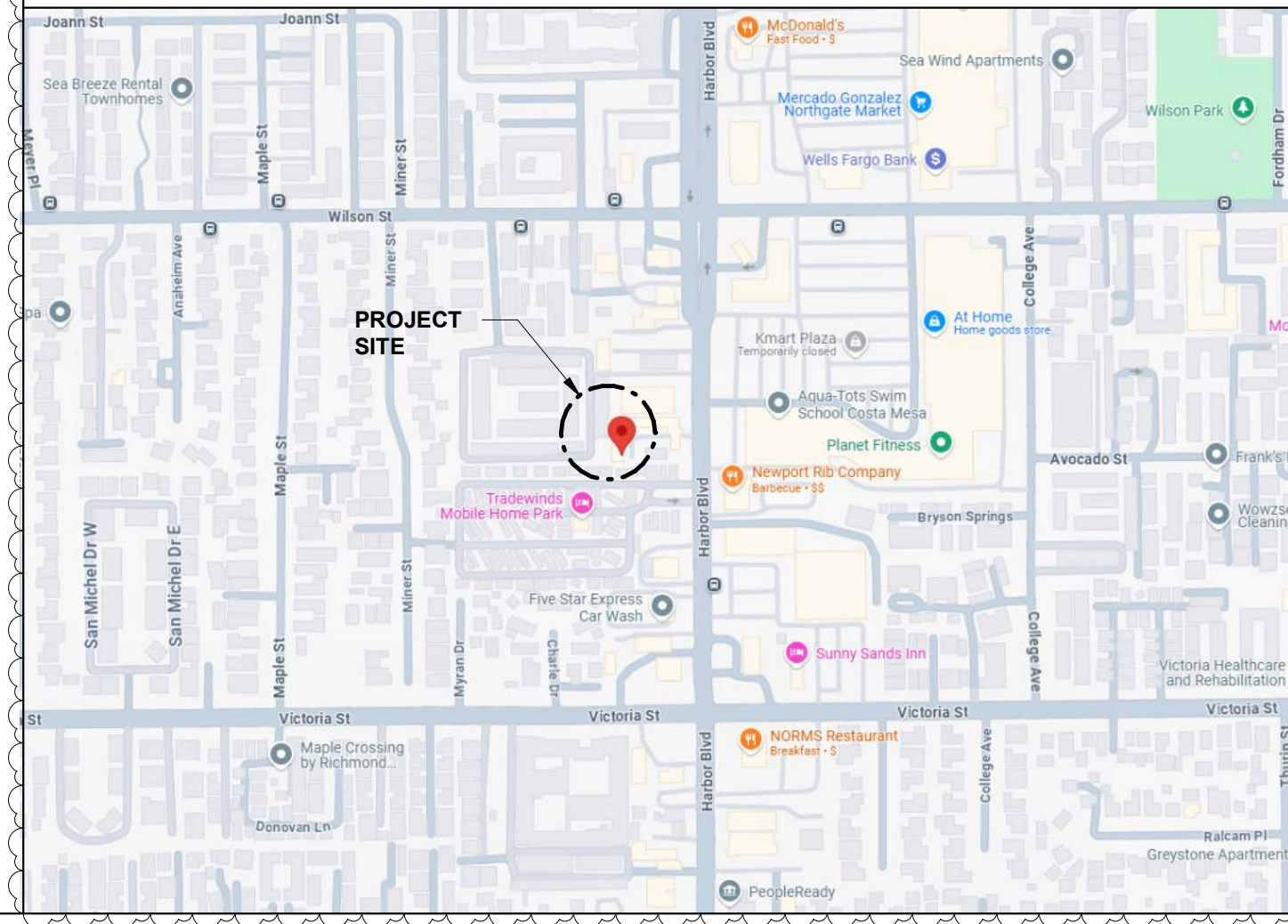


SRO Conversion

2205 Harbor Boulevard, Costa Mesa, CA 92627

VICINITY MAP



PROJECT DATA

APPLICABLE CODES:

- 2022 California Administrative Code (CAC)
Part 1, Title 24, California Code of Regulations (CCR)
- 2022 California Building Code (CBC)
Part 2, Title 24, CCR
- 2022 California Electrical Code (CEC)
Part 3, Title 24, CCR
- 2022 Based on the 2020 National Electrical Code (NEC)
California Mechanical Code (CMC)
Part 4, Title 24, CCR
- 2022 Based on the 2021 Uniform Mechanical Code (UMC)
California Plumbing Code (CPC)
Part 5, Title 24, CCR
- 2022 Based on the 2021 Uniform Plumbing Code (UPC)
California Energy Code (CEC)
Part 6, Title 24, CCR
- 2022 California Fire Code (CFC)
Part 9, Title 24, CFG based on the IFC 2018
- 2022 Based on the 2021 International Fire Code (IFC)
California Existing Building Code (CEBC)
Part 10, Title 24, CCR
- 2022 Based on the 2021 International Building Code
California Green Building Standards Code (CALGreen)
Part 11, Title 24, CCR
- 2022 California Referenced Standards Code (CRSC)
Part 12, Title 24, CCR

BUILDING SHELL DATA:

BUILDING TYPE: V-A (NON-SPRINKLED)
BUILDING AREA: 28,286 SF (TOTAL)
STORIES: 2-STORIES
-1st FLOOR: 7,336 SF
-2nd FLOOR: 7,463 SF
APN: 422-193-24

OCCUPANCY : RESIDENTIAL GROUP R-2

DOUBLE OCCUPANCY UNITS:

1st FLOOR: UNIT 01
UNIT 02
UNIT 08
2nd FLOOR: UNIT 06
UNIT 46

SCOPE OF WORK:

MOTEL CONVERSION TO 42 SINGLE OCCUPANCY, 4 DOUBLE OCCUPANCY AND 1 MANAGER'S UNIT FOR A TOTAL OF 47 UNITS, FURNISHED WITH KITCHENETTE WITH APPLIANCES AND FULLY ENCLOSED BATHROOMS

PROJECT TEAM

OWNER

Aura Investments LLC
29911 Niguel Road, Suite 6429
Laguna Niguel, CA 92607

Contact: Name
P: number
E: email

ARCHITECT

MSA
2646 Dupont Drive, Suite 60-320
Irvine, California 92612

Contact: Michael K. Schafer
P: 949.584.5426
E: mschafer@msa-corp.net

CIVIL ENGINEER

Hunsaker & Associates Irvine, Inc.
3 Hughes
Irvine, CA 92618

Contact: Ben Etemadi
P: 949.583.1010
E: email

LANDSCAPE ARCHITECT

RLA
8841 Research Drive
Irvine, CA 92618

Contact: Name
P: 949.387.1323
E: ridgela.com

SHEET INDEX

ARCHITECTURAL

- A-0.0 COVER / SITE PLAN
- AD-1.0 OVERALL SITE PLAN (DEMOLITION)
- AD-2.1 1st FLOOR PLAN (DEMOLITION)
- AD-2.1A 1st FLOOR PLAN - AREA A
- AD-2.1B 1st FLOOR PLAN - AREA B
- AD-2.1C 1st FLOOR PLAN - ANNEX
- AD-2.2 2nd FLOOR PLAN (DEMOLITION)
- AD-2.2A 2nd FLOOR PLAN - AREA A
- AD-2.2B 2nd FLOOR PLAN - AREA B
- AD-2.2C 2nd FLOOR PLAN - ANNEX
- AE-1.0 OVERALL SITE PLAN (RENOVATION)
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- AE-2.2 2nd FLOOR PLAN (RENOVATION)
- AE-2.2A 2nd FLOOR PLAN - AREA A
- AE-2.2B 2nd FLOOR PLAN - AREA B
- AE-2.2C 2nd FLOOR PLAN - ANNEX
- A-4.3 TYP. TOILET RM. ELEVATIONS

CIVIL

SHEET 1 OF 1 CONCEPTUAL SITE PLAN

LANDSCAPE

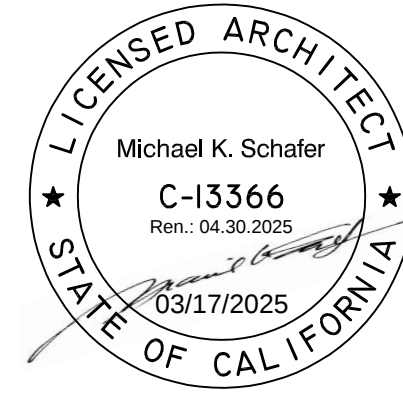
- L 1.1 PRELIMINARY LANDSCAPE PLAN
- L 2.1 PLANT MATERIAL IMAGERY

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for:

Aura Investments LLC

2205 Harbor Boulevard, Costa Mesa, CA 92627

PLAN ISSUE DATES

Rev.	Date	Description
1	01.05.2025	Plan Backcheck
2	03.04.2025	Plan Backcheck #2
3	04.01.2025	Planning Comment

AGENCY APPROVAL

PLAN CHECK NO.

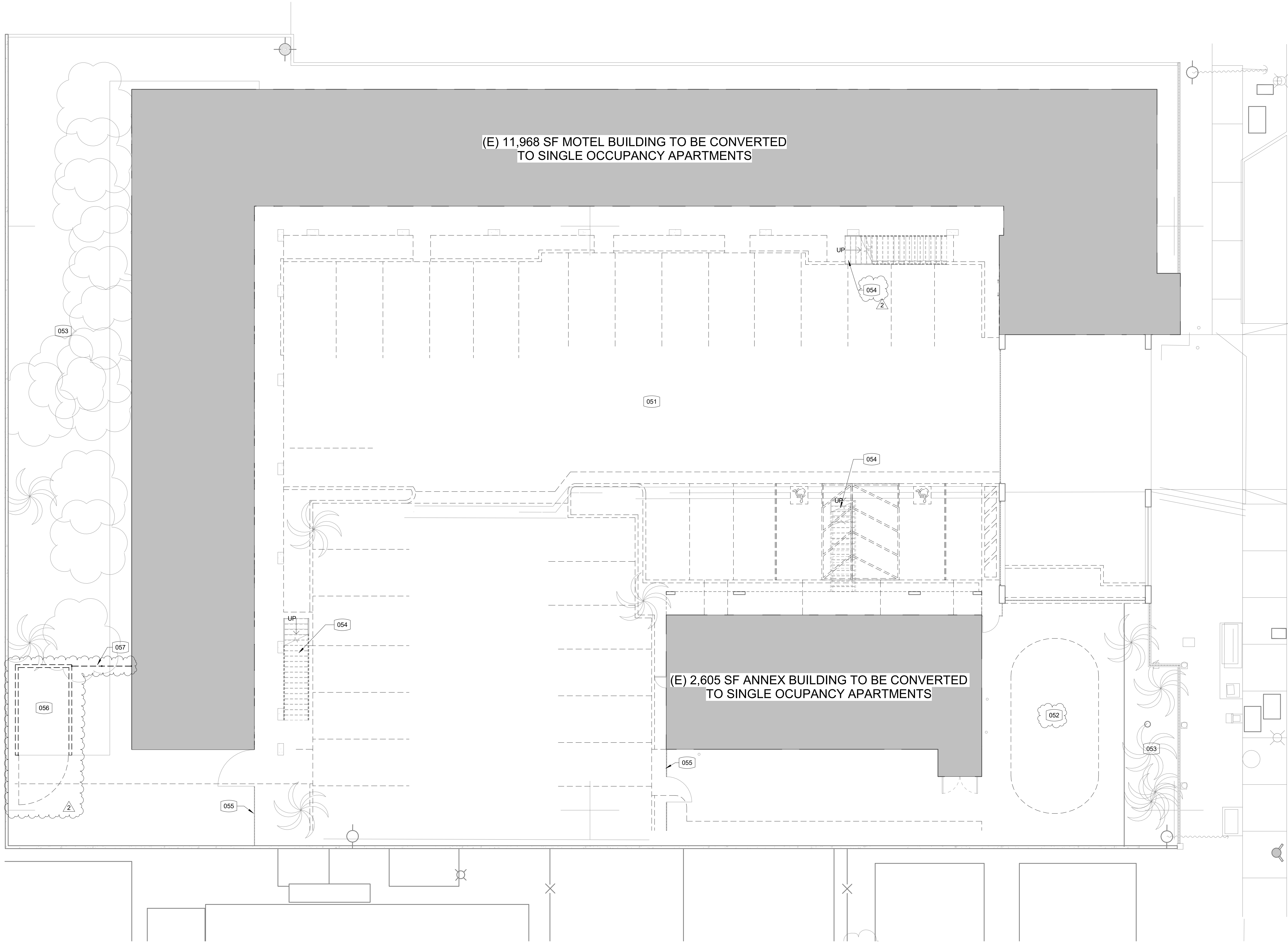
PA / PM MKS

Drawn By: RF

Project No.: 24026

COVER / SITE
PLAN

A-0.0



KEY NOTES

- 051 REMOVE EXISTING PARKING STRIPING AND CONCRETE CURB. PREP FOR NEW STRIPING.
- 052 REMOVE EXISTING POOL AND PREP FOR NEW CONCRETE PATIO.
- 053 REMOVE EXISTING FOLIAGE, SHRUBERY AND LANDSCAPING. PREP FOR NEW LANDSCAPING AS INDICATED.
- 054 EXISTING STAIRS TO REMAIN.
- 055 EXISTING CHAIN LINK FENCE and/or GATE TO REMAIN.
- 056 REMOVE EXISTING TRASH ENCLOSURE.
- 057 REMOVE EXISTING CHAIN LINK FENCE.

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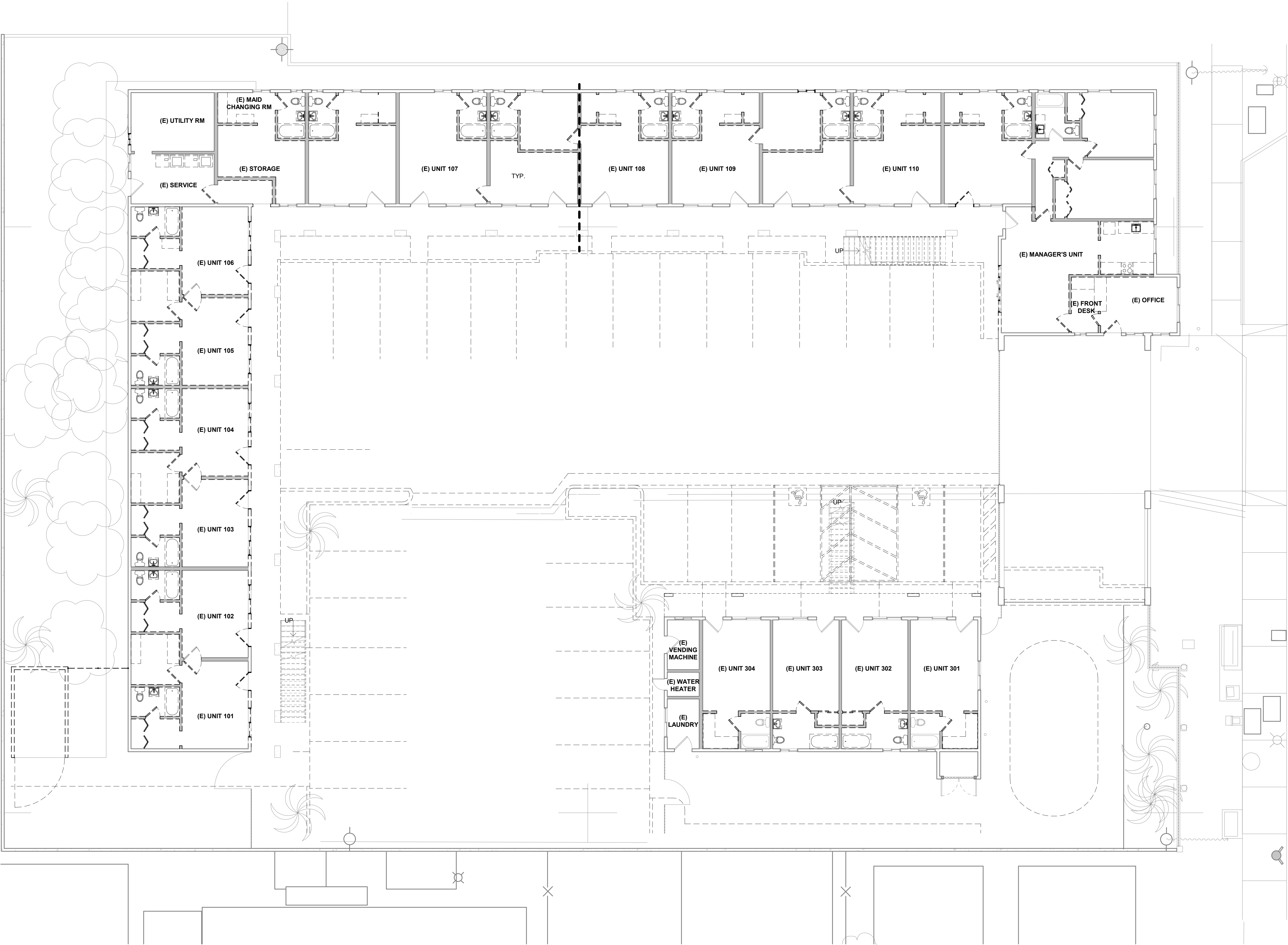
AGENCY APPROVAL

PLAN CHECK NO.

PA / PM	MKS
Drawn By:	RF
Project No.:	24026

**OVERALL SITE PLAN
(DEMOLITION)**

AD-1.0



PARTITION LEGEND:

- (E) 1-HOUR RATED FIRE PARTITION
- (E) ACOUSTICAL / NON-RATED PARTITION
- (E) PARTITION TO BE DEMOLISHED
- NEW ACOUSTICAL / NON-RATED PARTITION (4" STUD U.N.O.)
- NEW 1-HOUR RATED FIRE PARTITION (4" STUD U.N.O.)

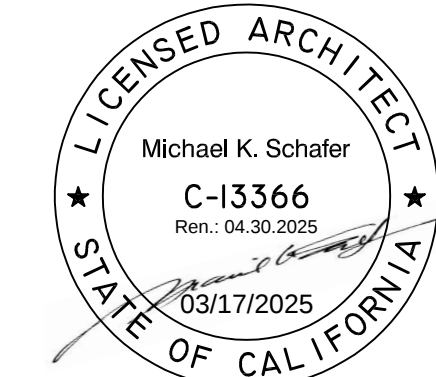
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for:

Ahura Investments LLC

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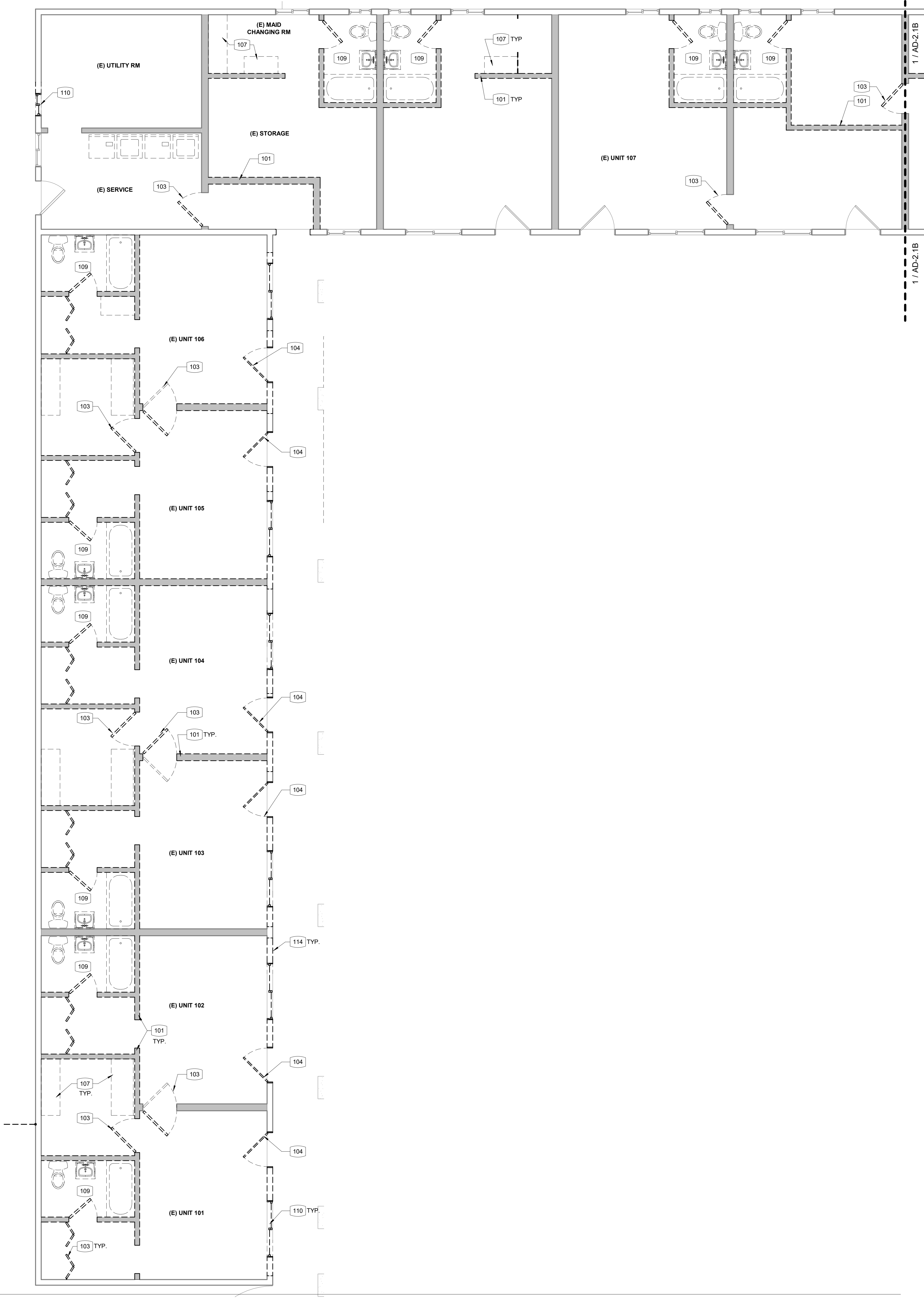
PA / PM MKS

Drawn By: LR/ AA

Project No.: 24026

**1st FLOOR
PLAN
(DEMOLITION)**

AD-2.1



PARTITION LEGEND:

- (E) 1-HOUR RATED FIRE PARTITION
- (E) ACOUSTICAL / NON-RATED PARTITION
- (E) PARTITION TO BE DEMOLISHED
- NEW ACOUSTICAL / NON-RATED PARTITION (4" STUD U.N.O.)
- NEW 1-HOUR RATED FIRE PARTITION (4" STUD U.N.O.)

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KEYPLAN

PLAN CHECK NO.

PA / PM	MKS
Drawn By:	RF
Project No.:	24026

1st FLOOR PLAN - AREA A

AD-2.1A

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Michael K. Schafer
C-13366
Ren.: 04.30.2025
03/17/2025
CONSULTANT

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Aura Investments LLC
2205 Harbor Boulevard, Costa Mesa, CA 92627

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Rev. Date	Description
2	03.04.2025 Plan Backcheck #2

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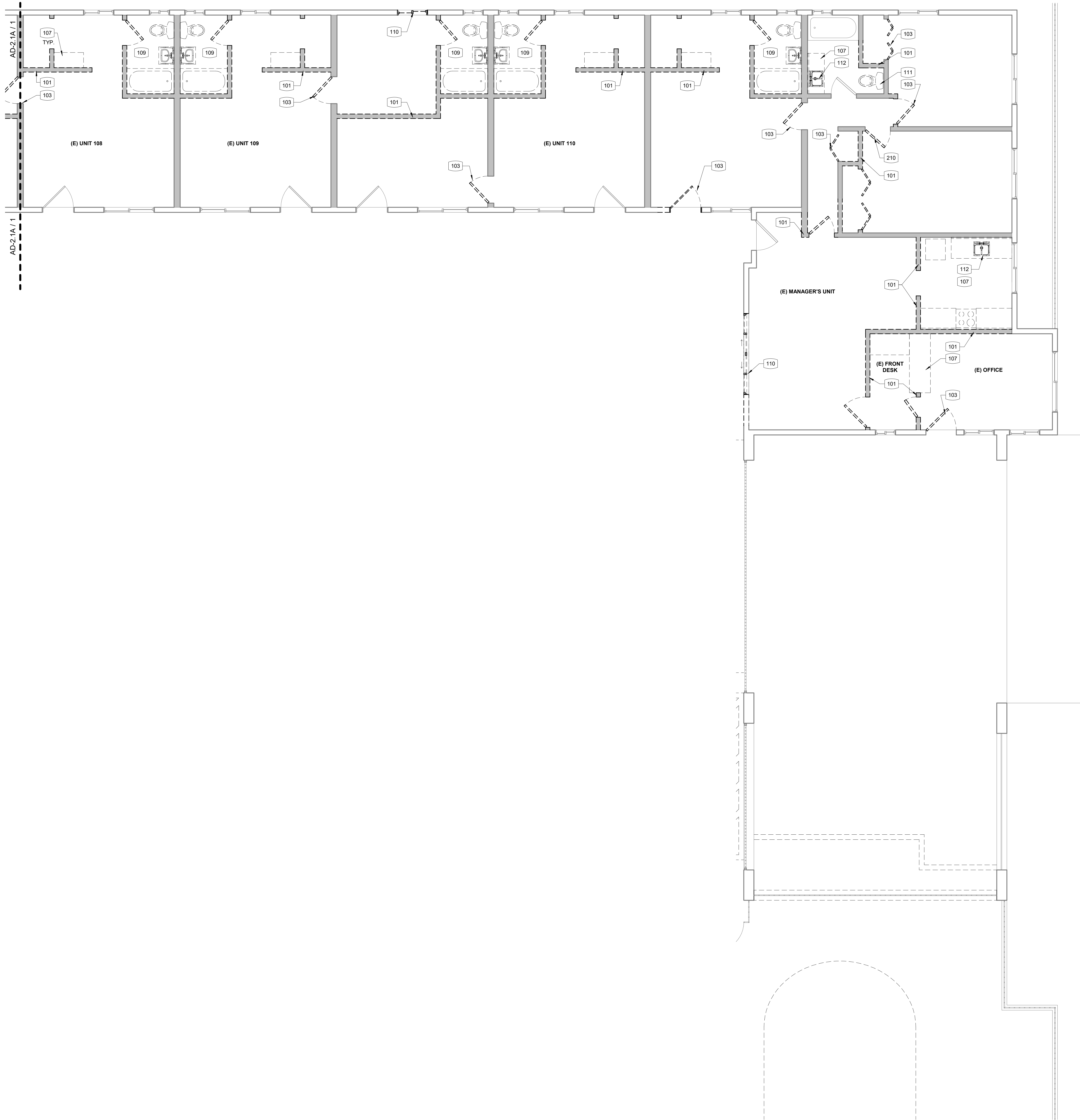
PLANNING

ARCHITECTURE

INTERIORS

DEVELOPMENT SERVICES

CONSTRUCTION MANAGEMENT



Enlarged 1st Floor Plan (Demolition) - Area B
1/4" = 1'-0"

PARTITION LEGEND:	
	(E) 1-HOUR RATED FIRE PARTITION
	(E) ACOUSTICAL / NON-RATED PARTITION
	(E) PARTITION TO BE DEMOLISHED
	NEW ACOUSTICAL / NON-RATED PARTITION (4" STUD U.N.O.)
	NEW 1-HOUR RATED FIRE PARTITION (4" STUD U.N.O.)

NOTE:

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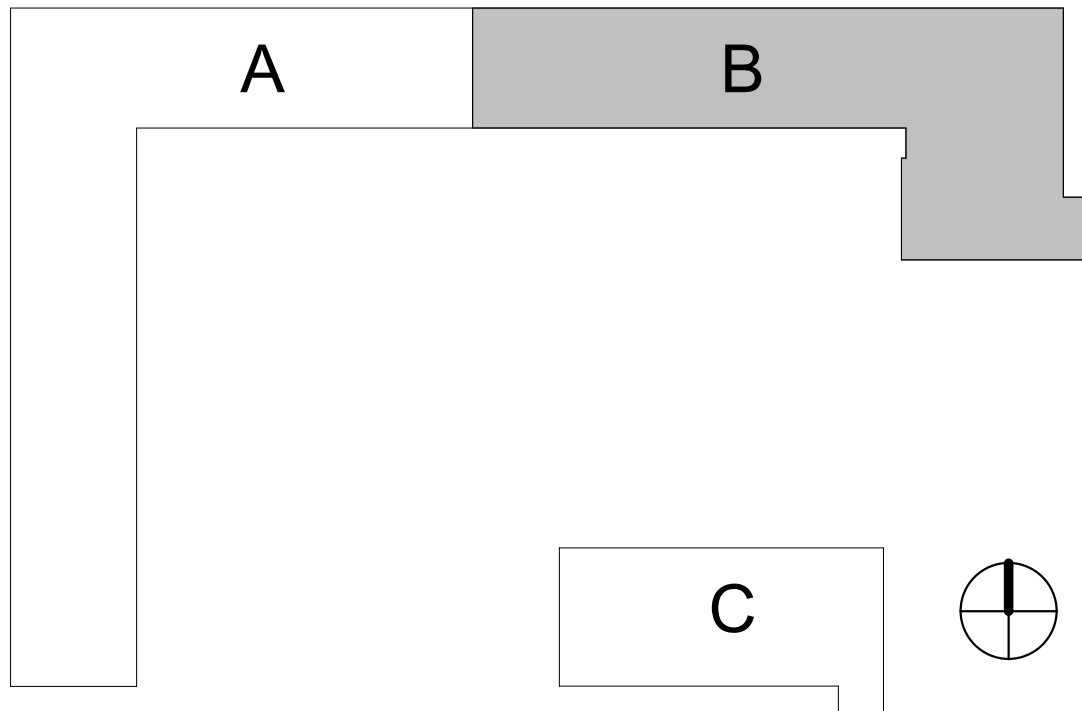
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- 111 REMOVE EXISTING TOILET.
- 112 REMOVE EXISTING COUNTER MOUNTED SINK.
- 210 NEW COOK TOP.

KEYPLAN



SRO Conversion

for:
Aura Investments LLC
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Rev. Date	Description
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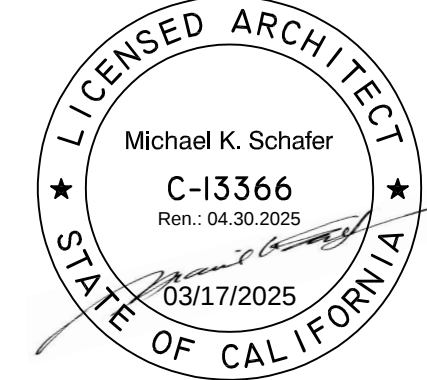
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Drawn By:	RF
Project No.:	24026

1st FLOOR
PLAN - AREA B

AD-2.1B

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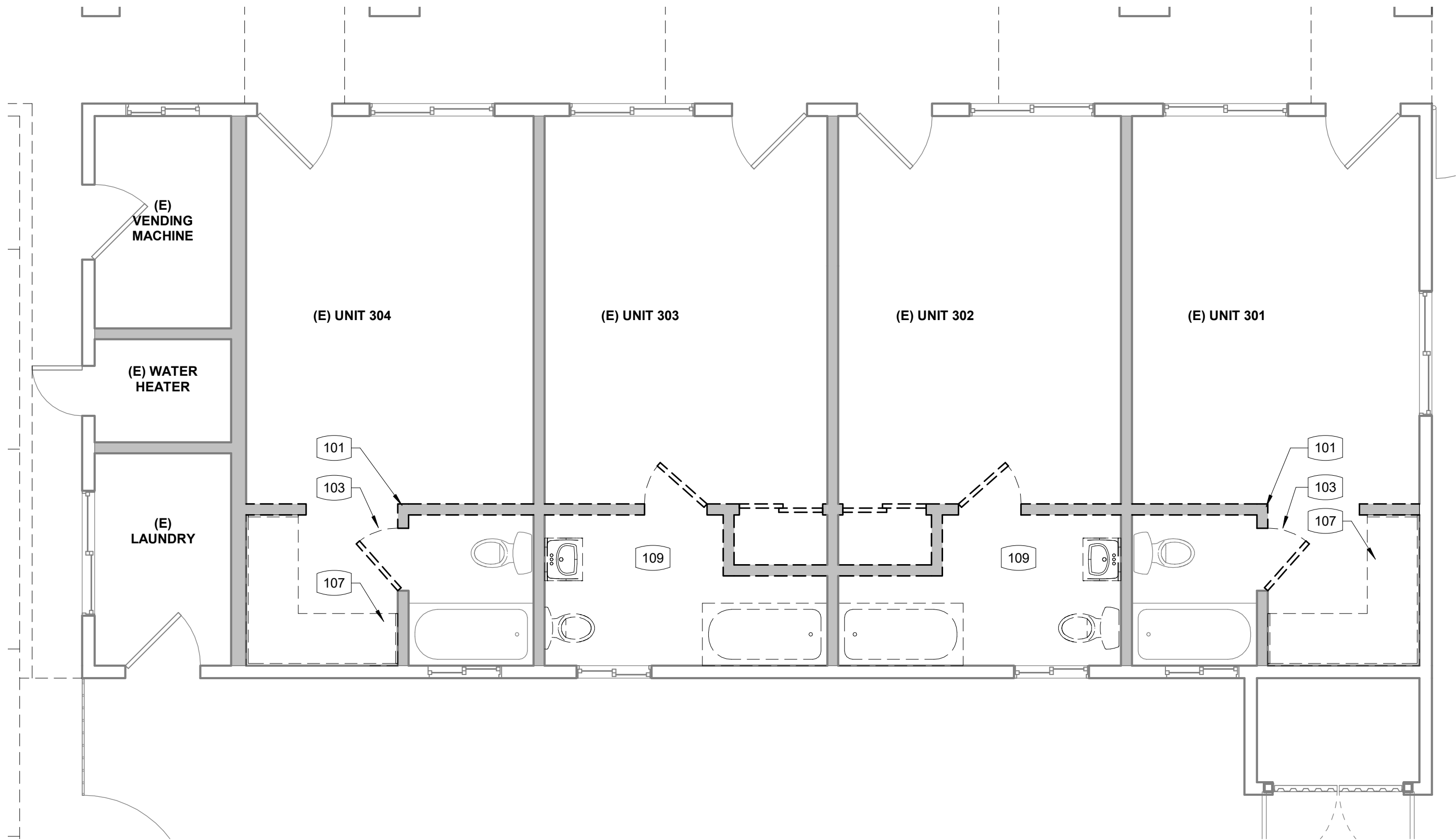


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Enlarged 1st Floor Plan (Demolition) - Annex
1/4" = 1'-0"

PARTITION LEGEND:

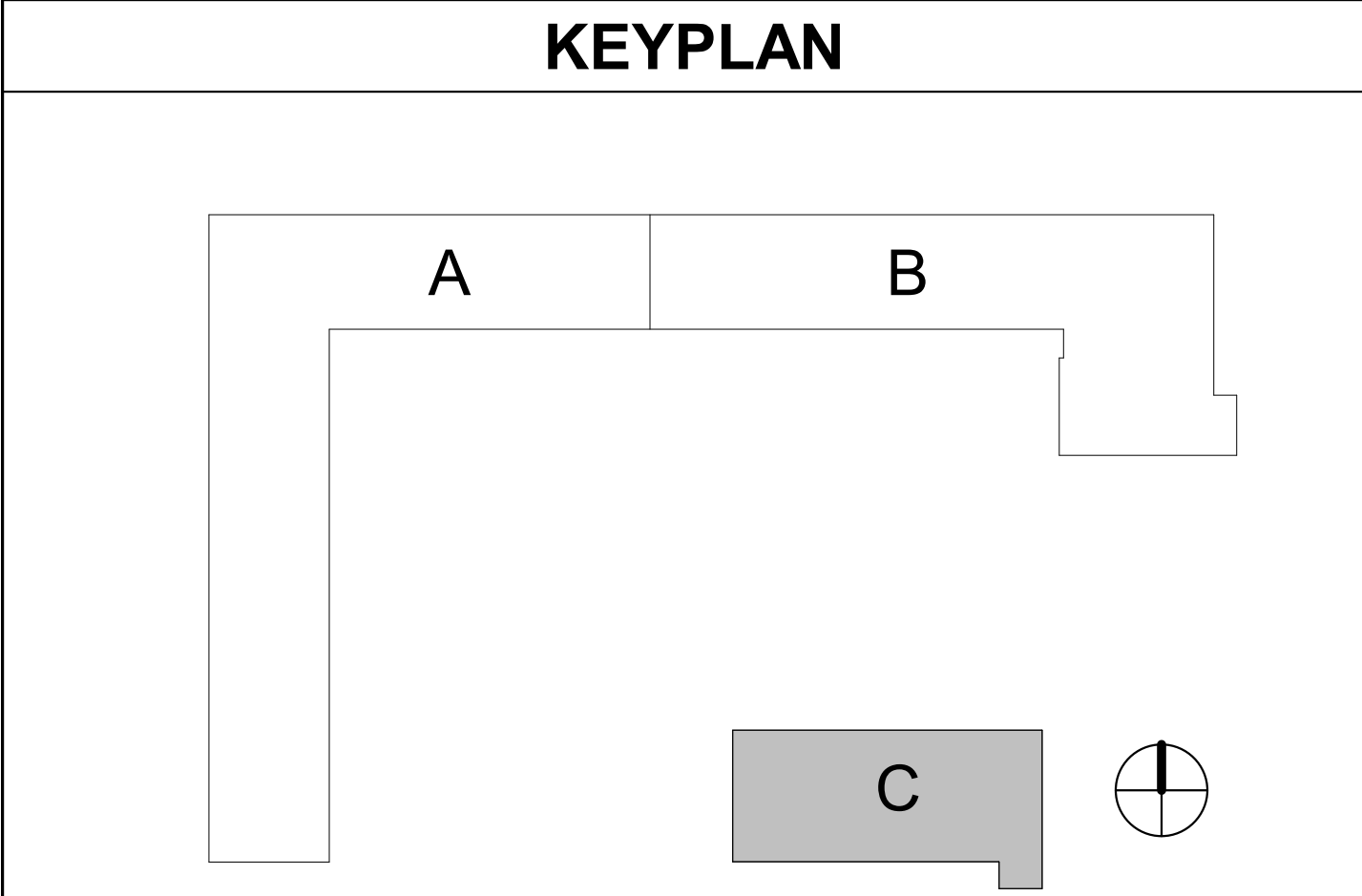
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- (E) ACOUSTICAL / NON-RATED PARTITION
- (E) PARTITION TO BE DEMOLISHED
- NEW ACOUSTICAL / NON-RATED PARTITION (4" STUD U.N.O.)
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2205 Harbor Boulevard, Costa Mesa, CA 92627

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Drawn By:	RF
Project No.:	24026

**1st FLOOR
PLAN - ANNEX**

AD-2.1C

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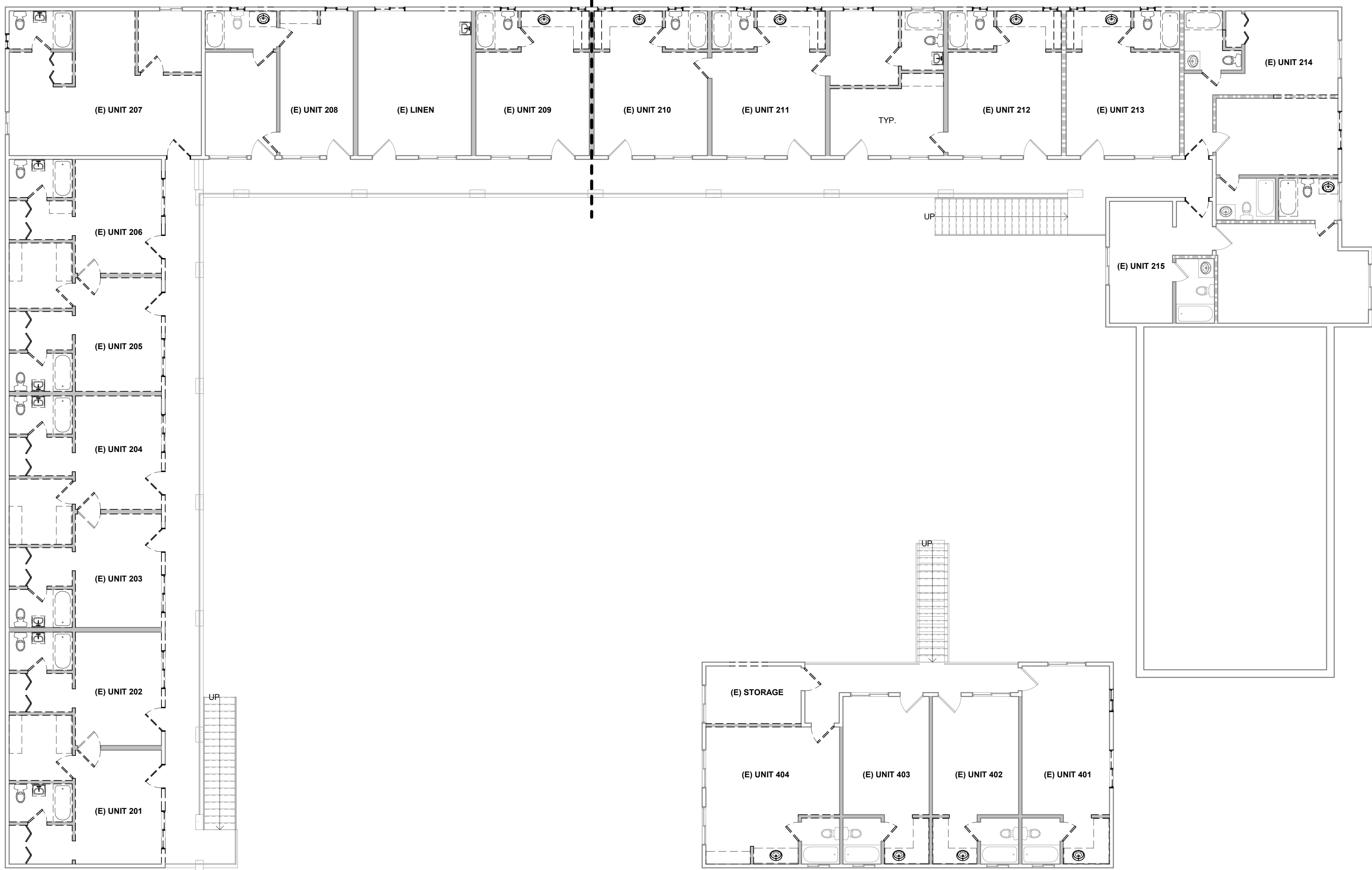
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PARTITION LEGEND:	
	(E) 1-HOUR RATED FIRE PARTITION
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	NEW ACOUSTICAL / NON-RATED PARTITION (4" STUD U.N.O.)
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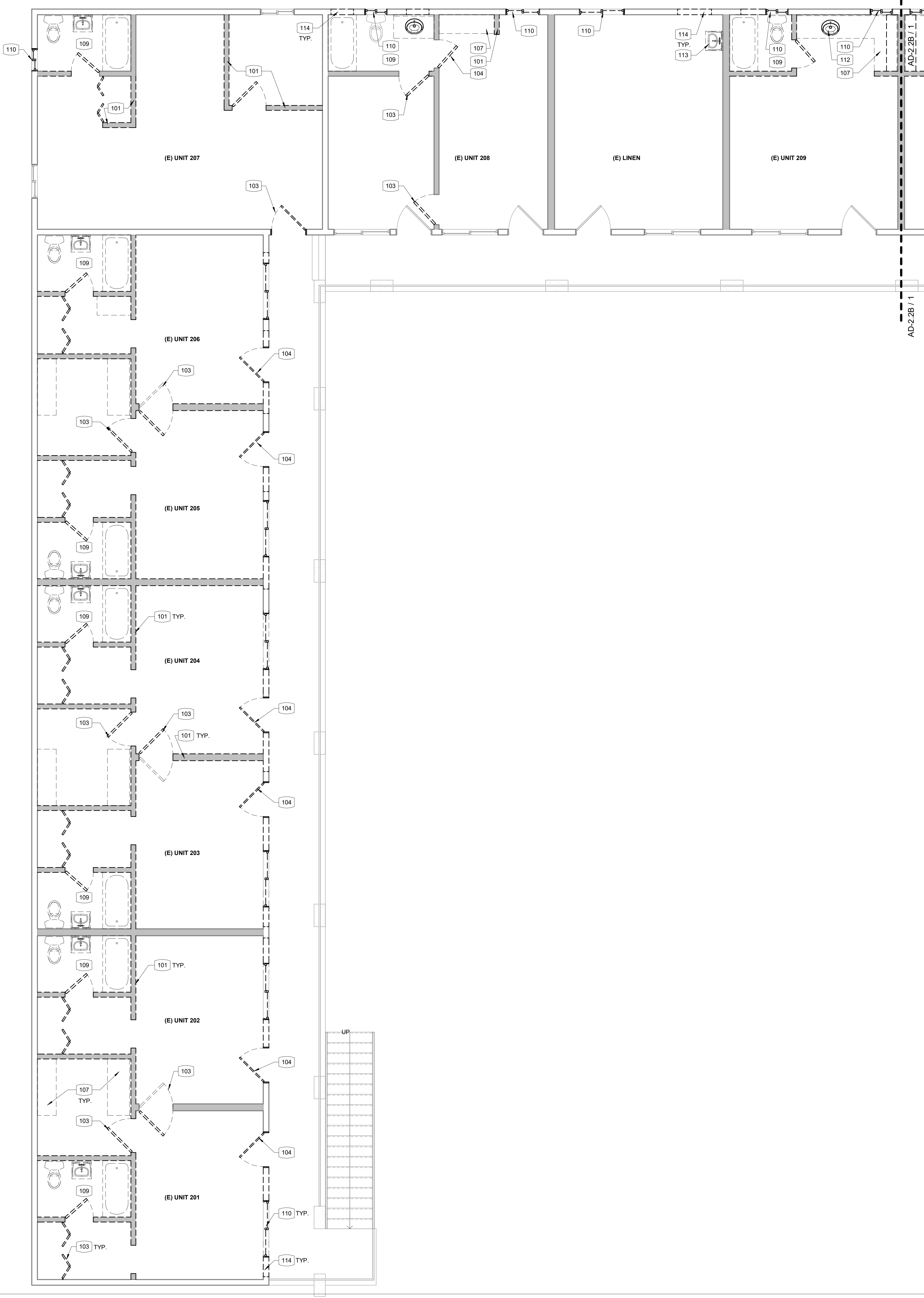
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Drawn By:	LR/ AA
Project No.:	24026

2nd FLOOR
PLAN
(DEMOLITION)

AD-2.2

Enlarged 2nd Floor Plan (Demolition) - Area A
1/4" = 1'-0"



PARTITION LEGEND:

- (E) 1-HOUR RATED FIRE PARTITION
- (E) ACOUSTICAL / NON-RATED PARTITION
- (E) PARTITION TO BE DEMOLISHED
- NEW ACOUSTICAL / NON-RATED PARTITION (4" STUD U.N.O.)
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 - 114 REMOVE PORTION OF EXISTING PARTITION and PREP FOR NEW WINDOW or DOOR AS INDICATED.

KEYPLAN

PLAN CHECK NO.

PA / PM	MKS
Drawn By:	Author
Project No.:	24026

2nd FLOOR PLAN - AREA A

AD-2.2A

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Irvine, California 92612
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LICENSED ARCHITECT
Michael K. Schaefer
C-13366
Ren.: 04.30.2025
03/17/2025
STATE OF CALIFORNIA
CONSULTANT

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for:
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2205 Harbor Boulevard, Costa Mesa, CA 92627

PLAN ISSUE DATES

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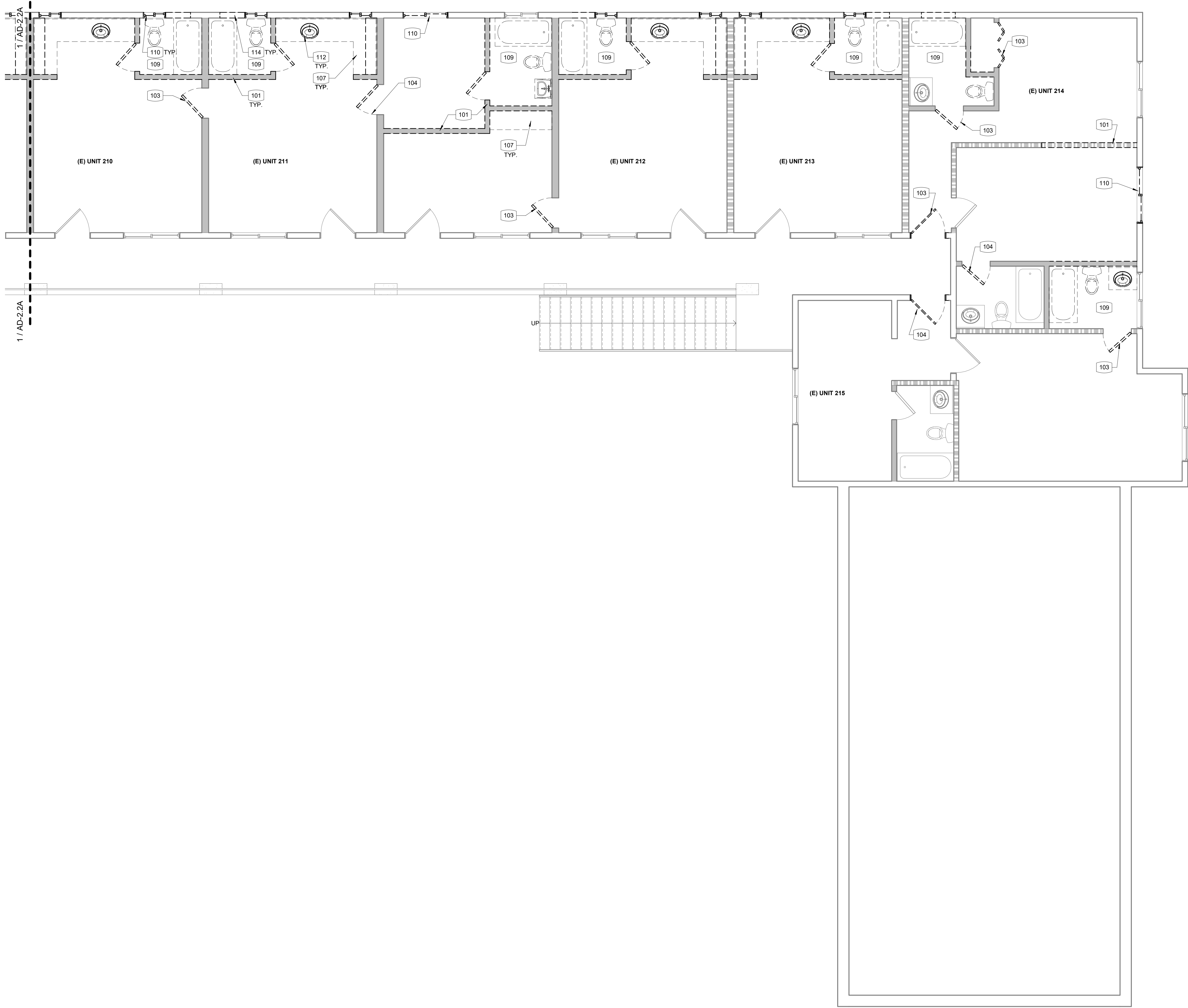
PLAN CHECK NO.

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2nd FLOOR PLAN - AREA A

AD-2.2A

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PARTITION LEGEND:	
	(E) 1-HOUR RATED FIRE PARTITION
	(E) ACOUSTICAL / NON-RATED PARTITION
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	NEW ACOUSTICAL / NON-RATED PARTITION (4" STUD U.N.O.)
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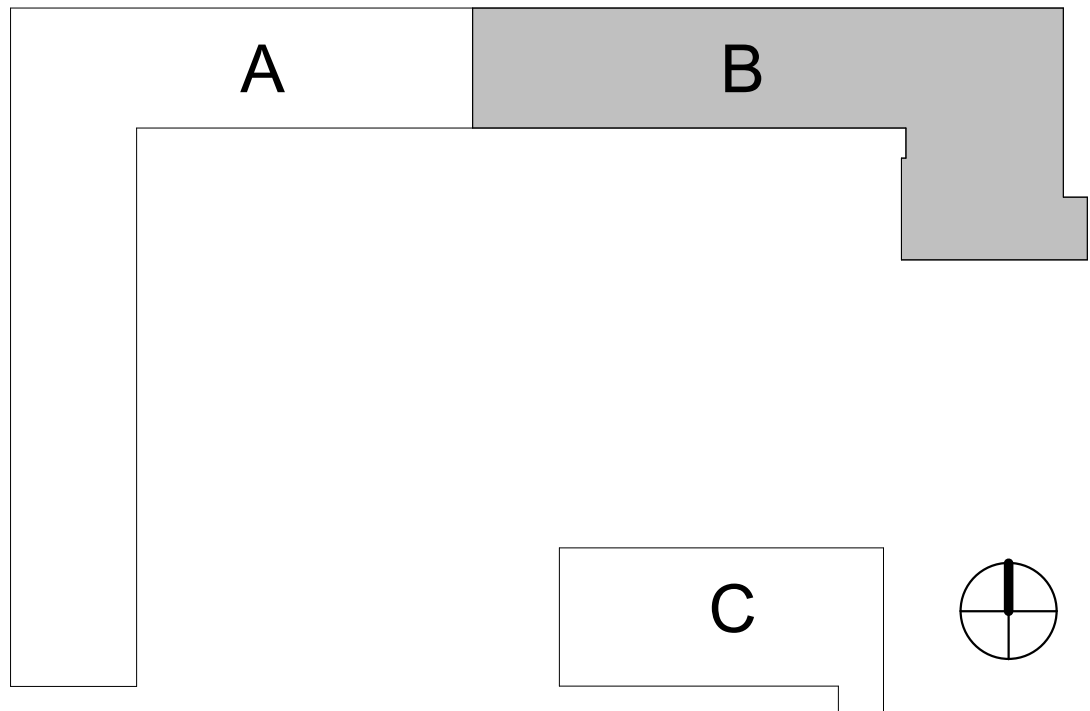
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Irvine, California 92612
www.msassociatesinc.com

Professional Stamp
Michael K. Schaefer
C-13366
Ren.: 04.30.2025
03/17/2025
CONSULTANT

SRO Conversion
for:
Aura Investments LLC
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2 03.04.2025	Plan Backcheck #2

KEYPLAN

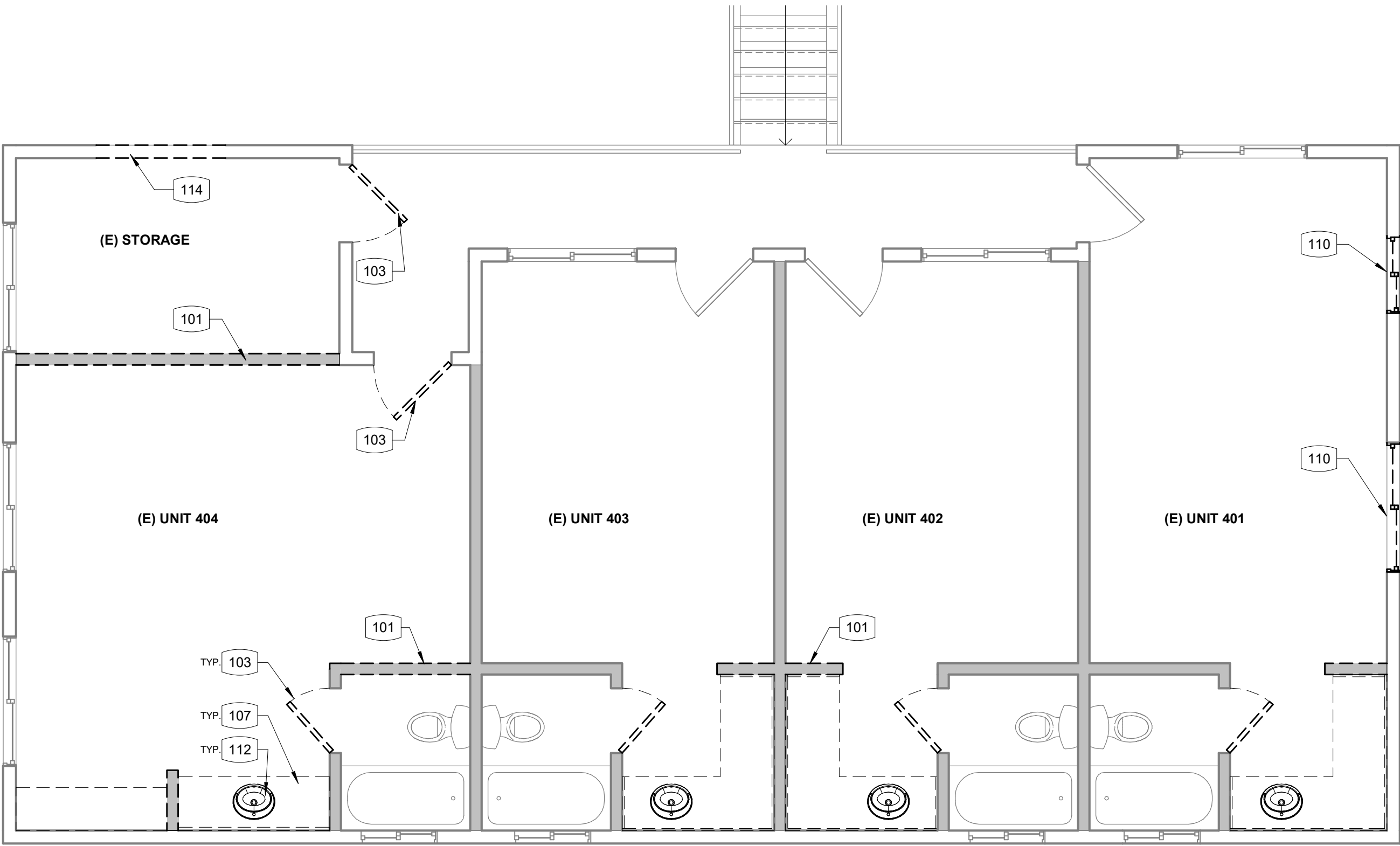


AGENCY APPROVAL

PLAN CHECK NO.	
PA / PM	MKS
Drawn By:	Author
Project No.:	24026

**2nd FLOOR
PLAN - AREA B**

AD-2.2B



Enlarged 2nd Floor Plan (Demolition) -
Annex
1/4" = 1'-0"

PARTITION LEGEND:	
	(E) 1-HOUR RATED FIRE PARTITION
	(E) ACOUSTICAL / NON-RATED PARTITION
	(E) PARTITION TO BE DEMOLISHED
	NEW ACOUSTICAL / NON-RATED PARTITION (4" STUD U.N.O.)
	NEW 1-HOUR RATED FIRE PARTITION (4" STUD U.N.O.)

NOTE:

-CONTRACTOR TO VERIFY ALL DIMENSIONS BEFORE COMMENCEMENT OF WORK.

-DIMENSIONS: WALL DIMENSIONS ARE FACE OF FINISHED FACE TO FINISHED FACE UNLESS NOTED OTHERWISE. WINDOW / DOOR DIMENSIONS ARE TO CENTER LINE OF WINDOW / DOOR WHERE SHOWN.

-WHERE DIMENSION IS PRECEDED BY A (x) SYMBOL, THIS REPRESENTS/ALLOWS A "FLOAT" IN LAYING OUT THE WORK. CONTRACTOR IS TO NOTIFY ARCHITECT IN WRITING, PRIOR TO FRAMING, IF DIMENSION EXCEED ±2" FOR DIRECTION ON HOW TO PROCEED.

KEY NOTES

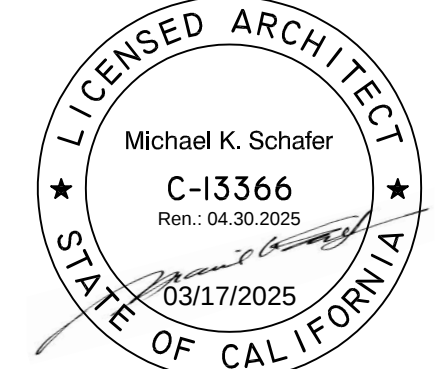
- 101 GENERAL NOTE: REMOVE PARTITIONS, DOOR ASSEMBLIES & ALL ASSOCIATED UTILITIES AS INDICATED.
- 103 REMOVE EXISTING DOOR ASSEMBLY & ASSOCIATED HARDWARE ASSEMBLIES.
- 107 GENERAL NOTE: REMOVE EXISTING CASEWORK, PATCH and/or REPAIR PARTITION WHERE ITEMS HAVE BEEN REMOVED.
- 110 REMOVE EXISTING WINDOW ASSEMBLY & ASSOCIATED HARDWARE ASSEMBLIES AS INDICATED. INFILL PARTITION AS NEEDED TO MATCH EXISTING RATED PARTITION CONSTRUCTION.
- 112 REMOVE EXISTING COUNTER MOUNTED SINK.
- 114 REMOVE PORTION OF EXISTING PARTITION and PREP FOR NEW WINDOW or DOOR AS INDICATED.

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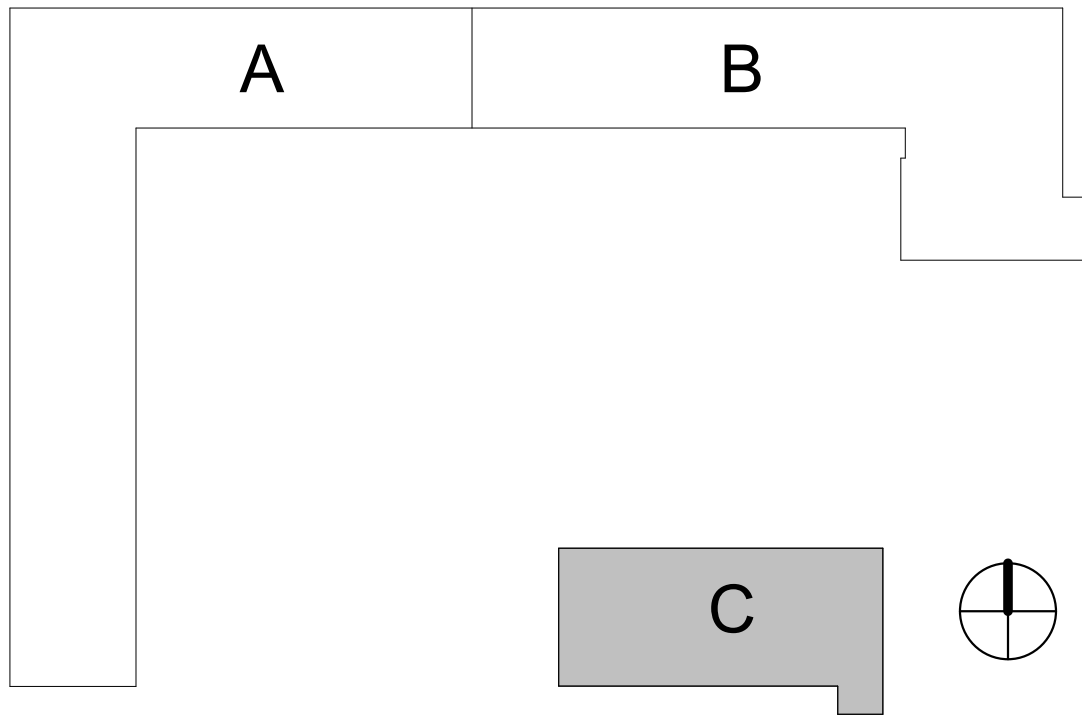
CONSULTANT

SRO Conversion

for:
Aura Investments LLC
2205 Harbor Boulevard, Costa Mesa, CA 92627

PLAN ISSUE DATES	
Rev. Date	Description
2 03.04.2025	Plan Backcheck #2

KEYPLAN



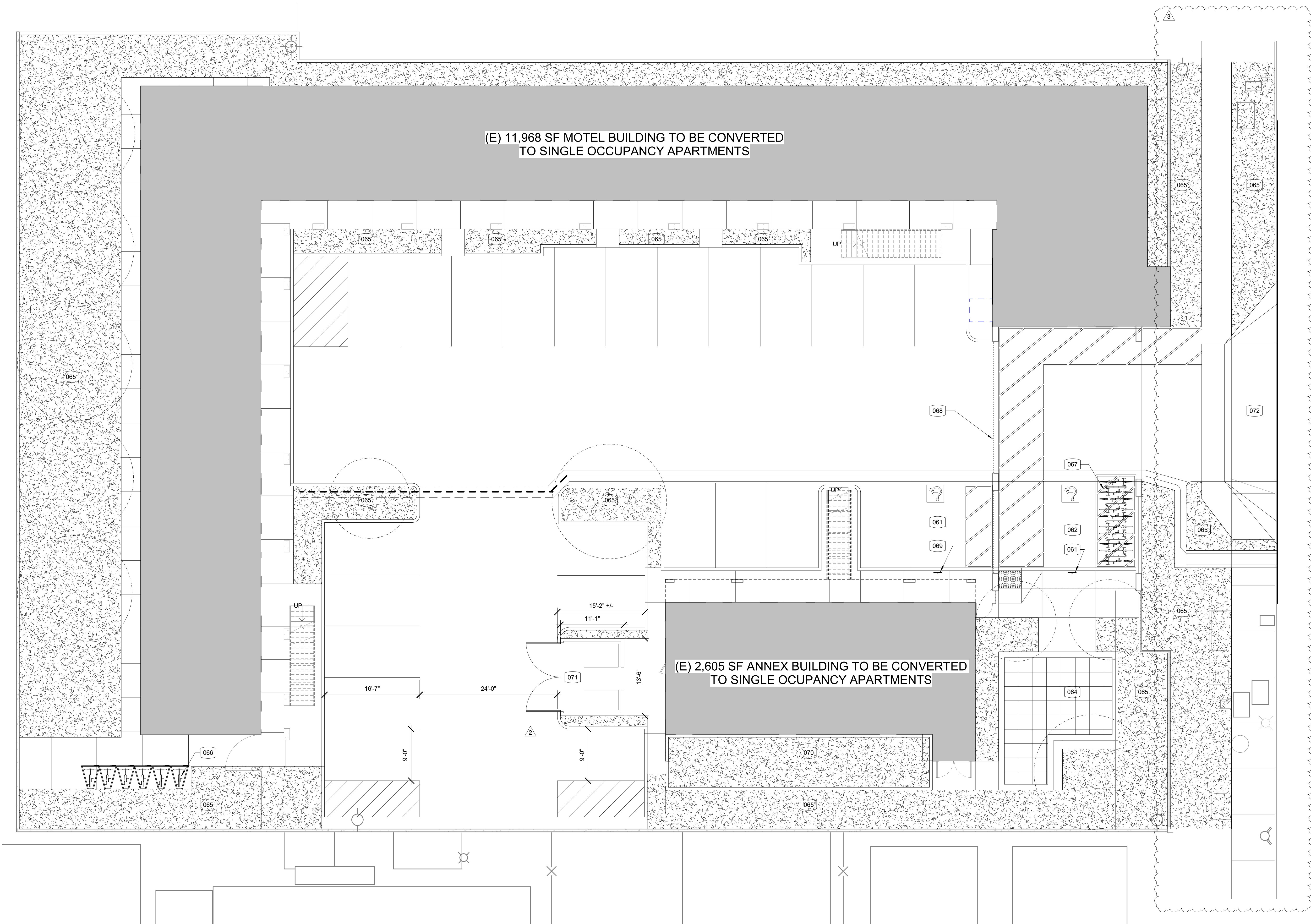
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PLAN CHECK NO.

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Project No.:	24026

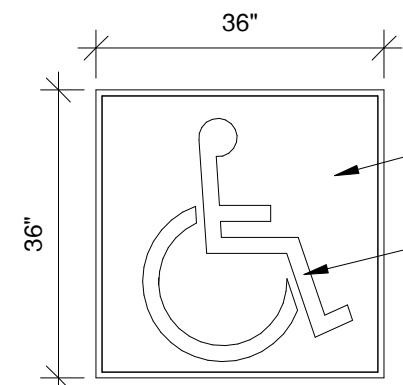
2nd FLOOR
PLAN - ANNEX

AD-2.2C



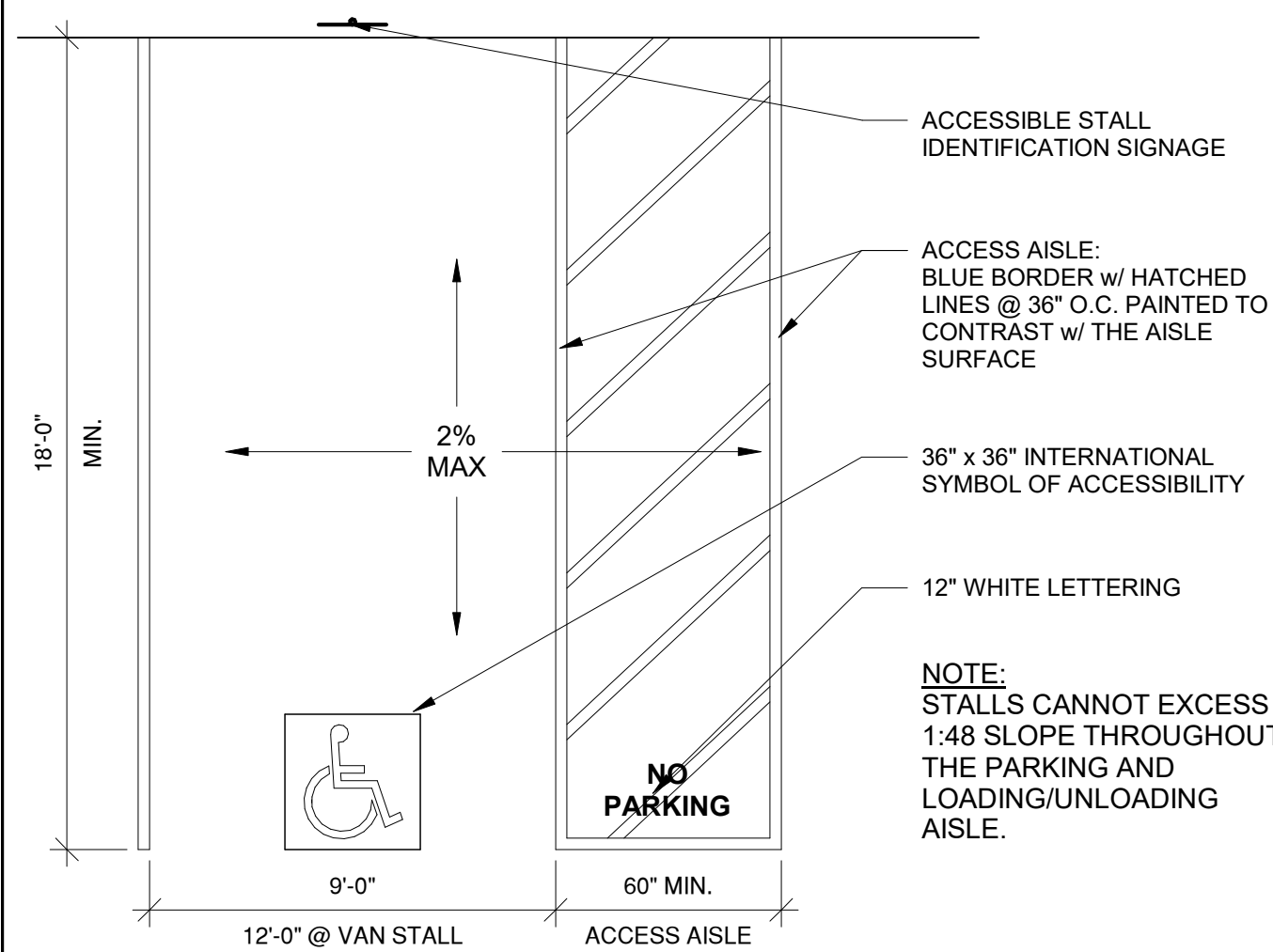
KEY NOTES

- 061 NEW HANDICAP PARKING STALL w/ ACCESSIBLE AISLE.
- 062 NEW VAN ACCESSIBLE HANDICAP STALL w/ ACCESSIBLE AISLE.
- 064 NEW CONCRETE PATIO (REFER TO LANDSCAPING).
- 065 NEW LANDSCAPING AS INDICATED.
- 066 NEW BIKE LOCKER.
- 067 NEW BIKE RACK.
- 068 MANUAL SLIDING GATE.
- 069 ACCESSIBLE PARKING STALL SIGN.
- 070 NEW TURF PLAY AREA (REFER TO LANDSCAPING).
- 071 NEW COMMERCIAL TRASH ENCLOSURE.
- 072 NEW PROPOSED DRIVE APPROACH and CURB CUT (REFER TO CIVIL).

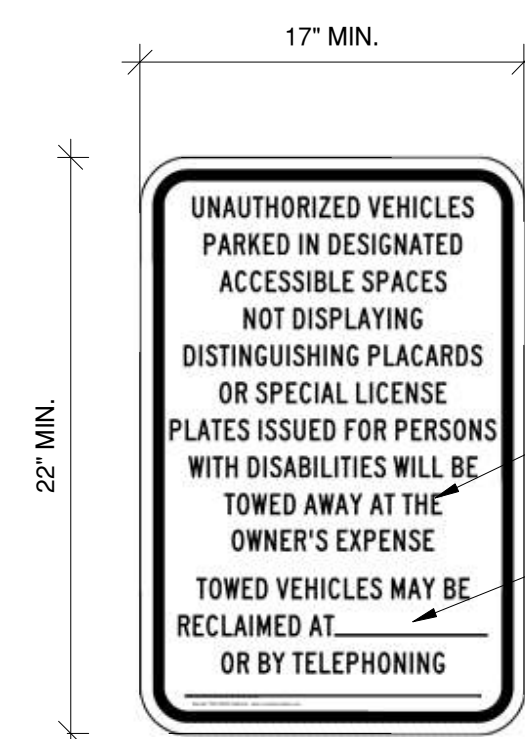


- BLUE TRAFFIC PAINT
MATTHEWS MP26511
- WHITE TRAFFIC PAINT
MATTHEWS MP32071

4 ACCESSIBLE PARKING STALL EMBLEM 1/2" = 1'-0"

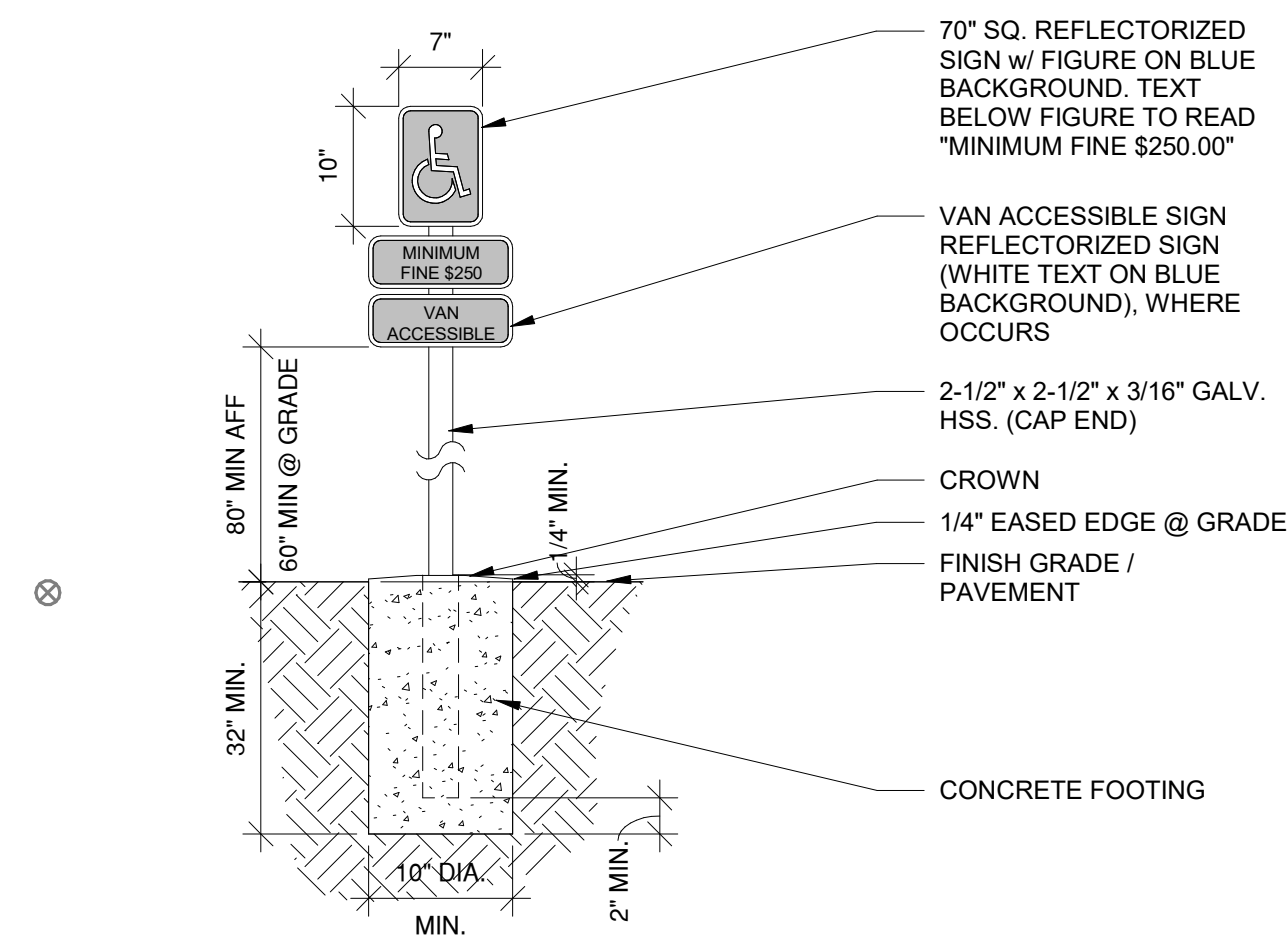


3 ACCESSIBLE PARKING STALL 1/4" = 1'-0"



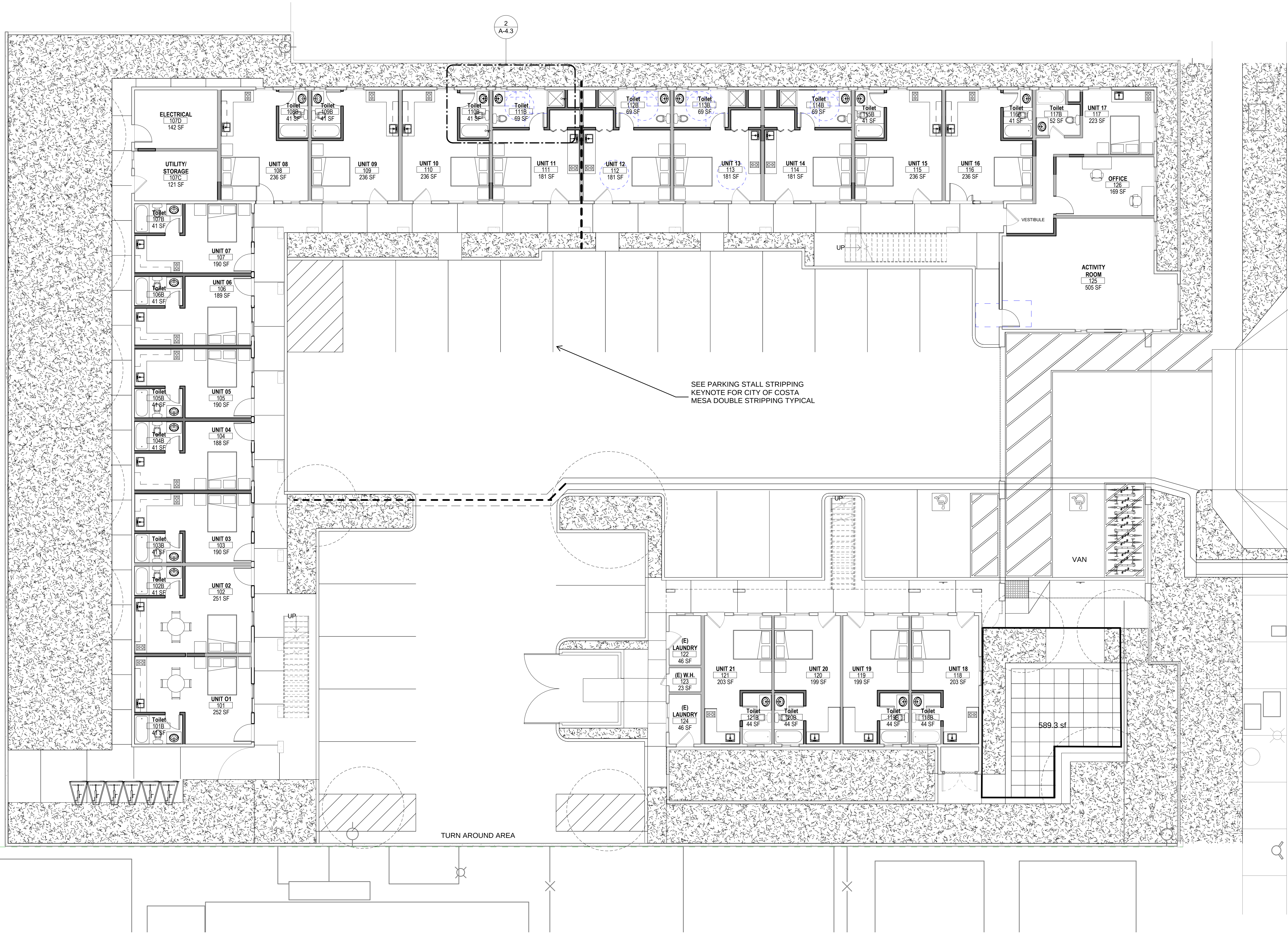
- SIGN SHALL BE POSTED IN A CONSPICUOUS PLACE AT EACH ENTRANCE TO OFF-STREET PARKING FACILITIES, OR IMMEDIATELY ADJACENT TO AND VISIBLE FROM EACH ACCESSIBLE STALL OR SPACE.
- LETTERING ON SIGN MUST BE A MINIMUM OF 1" HEIGHT
- BLANK SPACES ARE TO BE FILLED IN w/ APPROPRIATE INFORMATION AS A PERMANENT PART OF THE SIGN

2 UNAUTHORIZED VEHICLES TOW SIGN 1 1/2" = 1'-0"



1 ACCESSIBLE PARKING SIGNAGE W/ MINIMUM FINE 3/4" = 1'-0"

Rev.	Date	Description
2	03.04.2025	Plan Backcheck #2
3	04.16.2025	Plan Backcheck #3



PARTITION LEGEND:

	(E) 1-HOUR RATED FIRE PARTITION
	(E) ACOUSTICAL / NON-RATED PARTITION
	(E) PARTITION TO BE DEMOLISHED
	NEW ACOUSTICAL / NON-RATED PARTITION (4" STUD U.N.O.)
	NEW 1-HOUR RATED FIRE PARTITION (4" STUD U.N.O.)

NOTE:

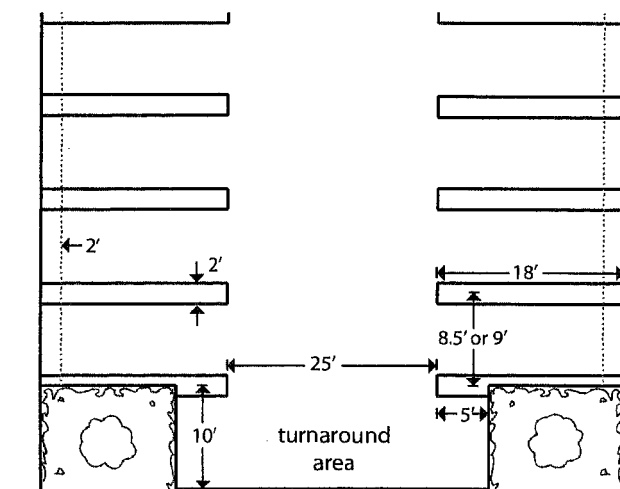
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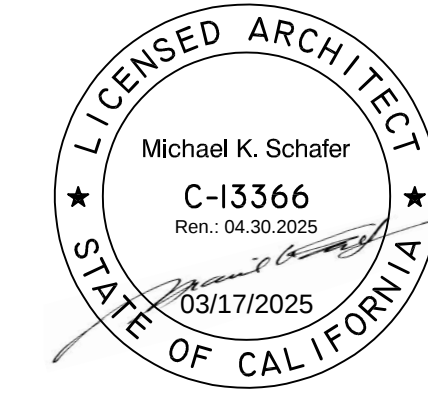
KEYNOTE:

ALL PARKING STALL SHALL BE DOUBLE STRIPPED PER CITY OF COSTA MESA PARKING DESIGN STANDARDS AS INDICATED BELOW



COMMON ACTIVITY AREAS:

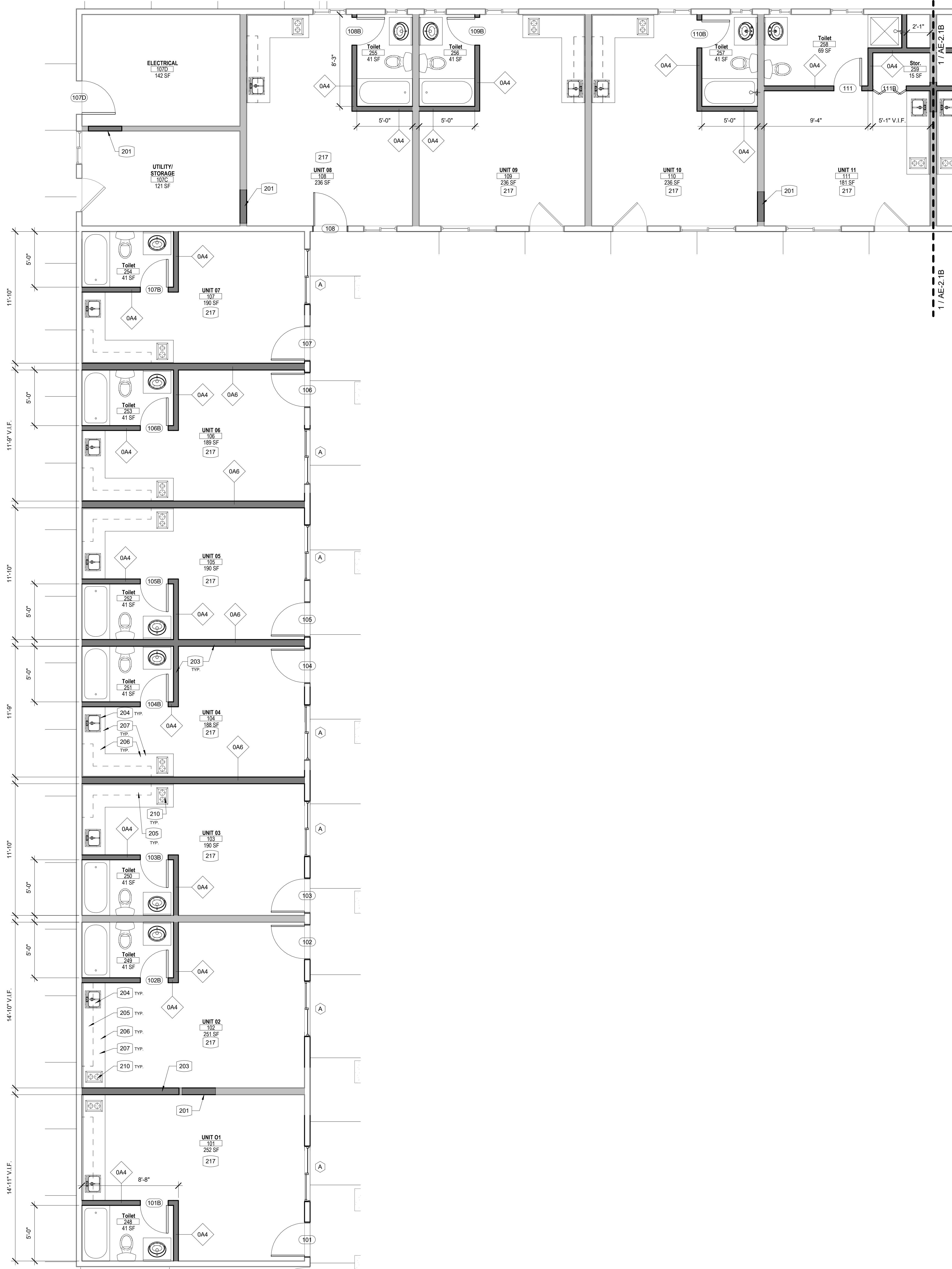
INDOORS ACTIVITY AREA	505 SF
OUTDOORS ACTIVITY AREA	589 SF
TOTAL ACTIVITY AREAS	1,094 SF



PLAN ISSUE DATES	
Rev. Date	Description
2 03.04.2025	Plan Backcheck #2

PLAN CHECK NO.	
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Project No.:	24026

Enlarged 1st Floor Plan (Renovation) - Area A
1/4" = 1'-0"



PARTITION LEGEND:

- (E) 1-HOUR RATED FIRE PARTITION
- (E) ACOUSTICAL / NON-RATED PARTITION
- (E) PARTITION TO BE DEMOLISHED
- NEW ACOUSTICAL / NON-RATED PARTITION (4" STUD U.N.O.)
- NEW 1-HOUR RATED FIRE PARTITION (4" STUD U.N.O.)

NOTE:

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KEY NOTES

- 201 INFILL PARTITION w/ LIKE CONSTRUCTION.
- 203 NEW PARTITION PER SCHEDULE.
- 204 NEW COUNTER MOUNTED SINK.
- 205 NEW OVERHEAD CASEWORK.
- 206 NEW BASE CASEWORK.
- 207 NEW SOLID SURFACE COUNTER TOP.
- 210 NEW COOK TOP.
- 217 GENERAL NOTE: EACH UNIT SHALL BE PROVIDED w/ A MIN. CLOSET/STORAGE AREA OF 40 CUBIC FEET AND A LOCKER OF A MIN. OF 10 CUBIC FEET.

KEYPLAN

MSA

Professional Stamp

Michael K. Schafer
C-13366
Ren.: 04.30.2025
03/17/2025
CONSULTANT

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for:
Aura Investments LLC
2205 Harbor Boulevard, Costa Mesa, CA 92627

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Rev. Date	Description
2	03.04.2025 Plan Backcheck #2

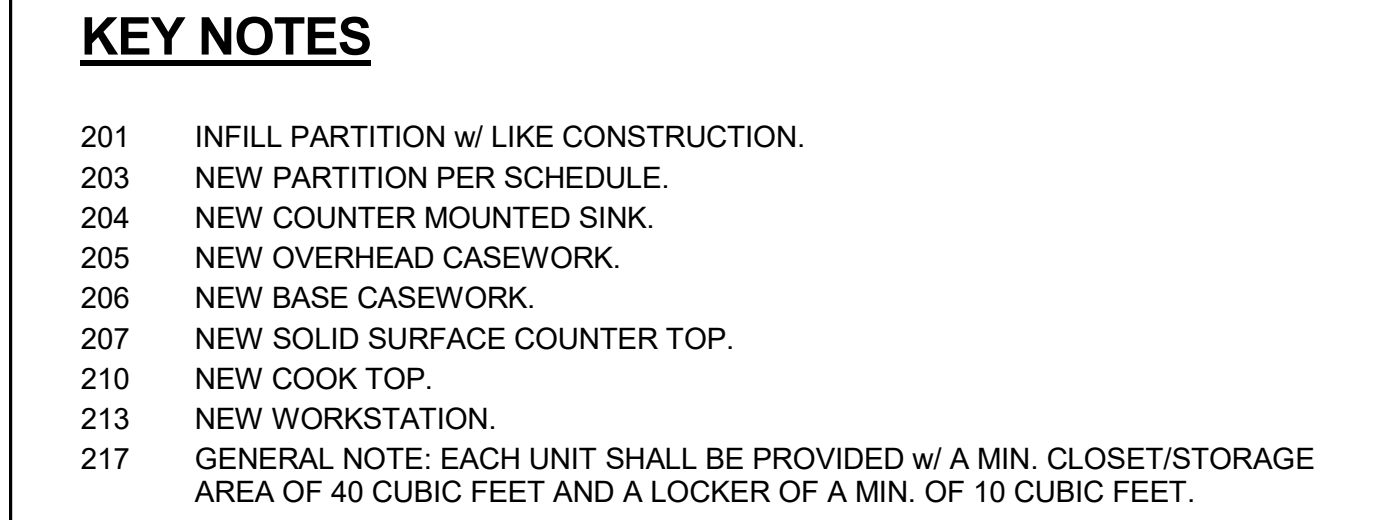
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1st FLOOR PLAN - AREA A

AE-2.1A



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Rev.	Date Description
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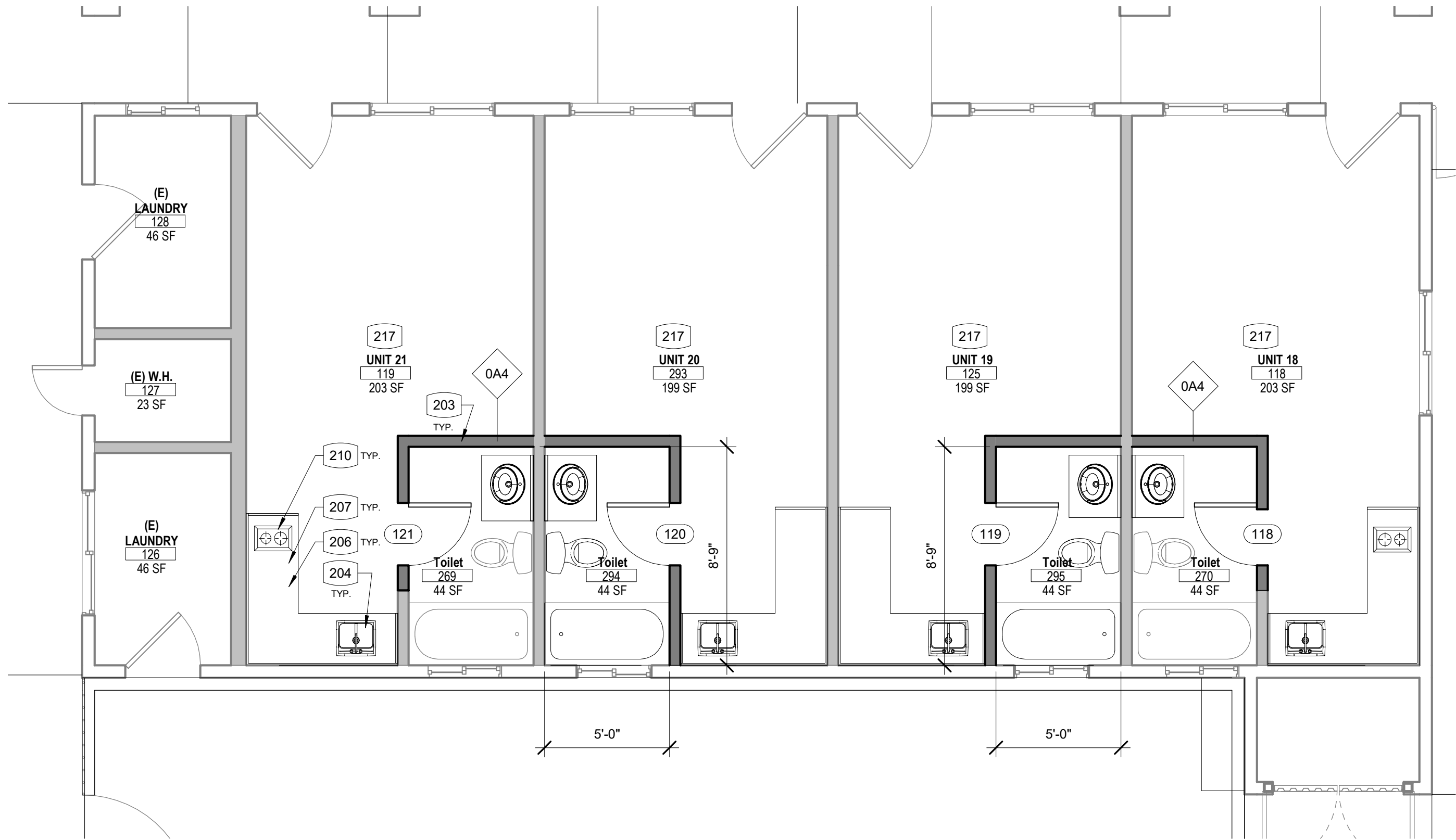
Drawn By:	Author
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Project No.:	24026
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**1st FLOOR
PLAN - AREA B**

AE-2.1

-14-



Enlarged 1st Floor Plan (Renovation) -
Annex
1/4" = 1'-0"

PARTITION LEGEND:

- (E) 1-HOUR RATED FIRE PARTITION
- (E) ACOUSTICAL / NON-RATED PARTITION
- (E) PARTITION TO BE DEMOLISHED
- NEW ACOUSTICAL / NON-RATED PARTITION (4" STUD U.N.O.)
- NEW 1-HOUR RATED FIRE PARTITION (4" STUD U.N.O.)

NOTE:

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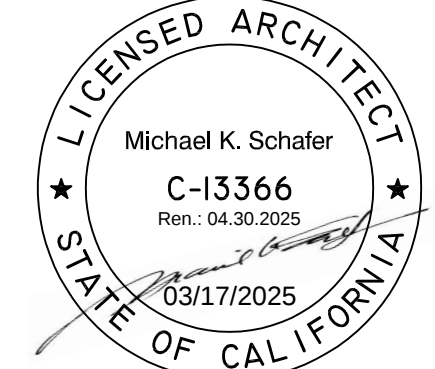
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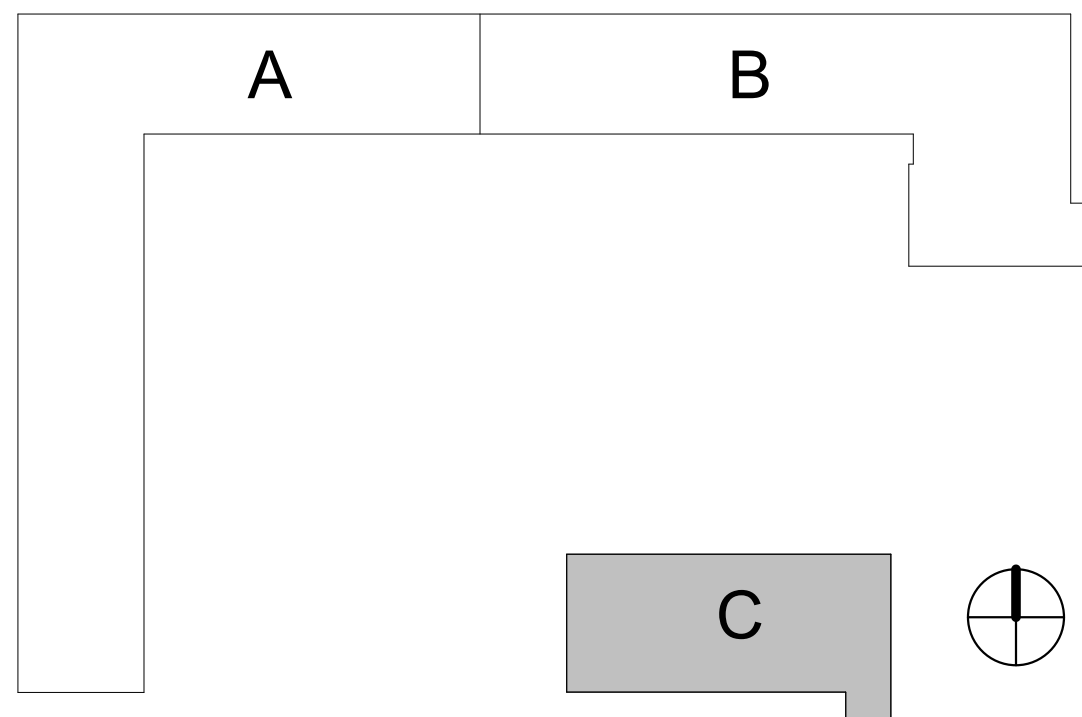


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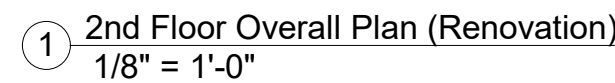
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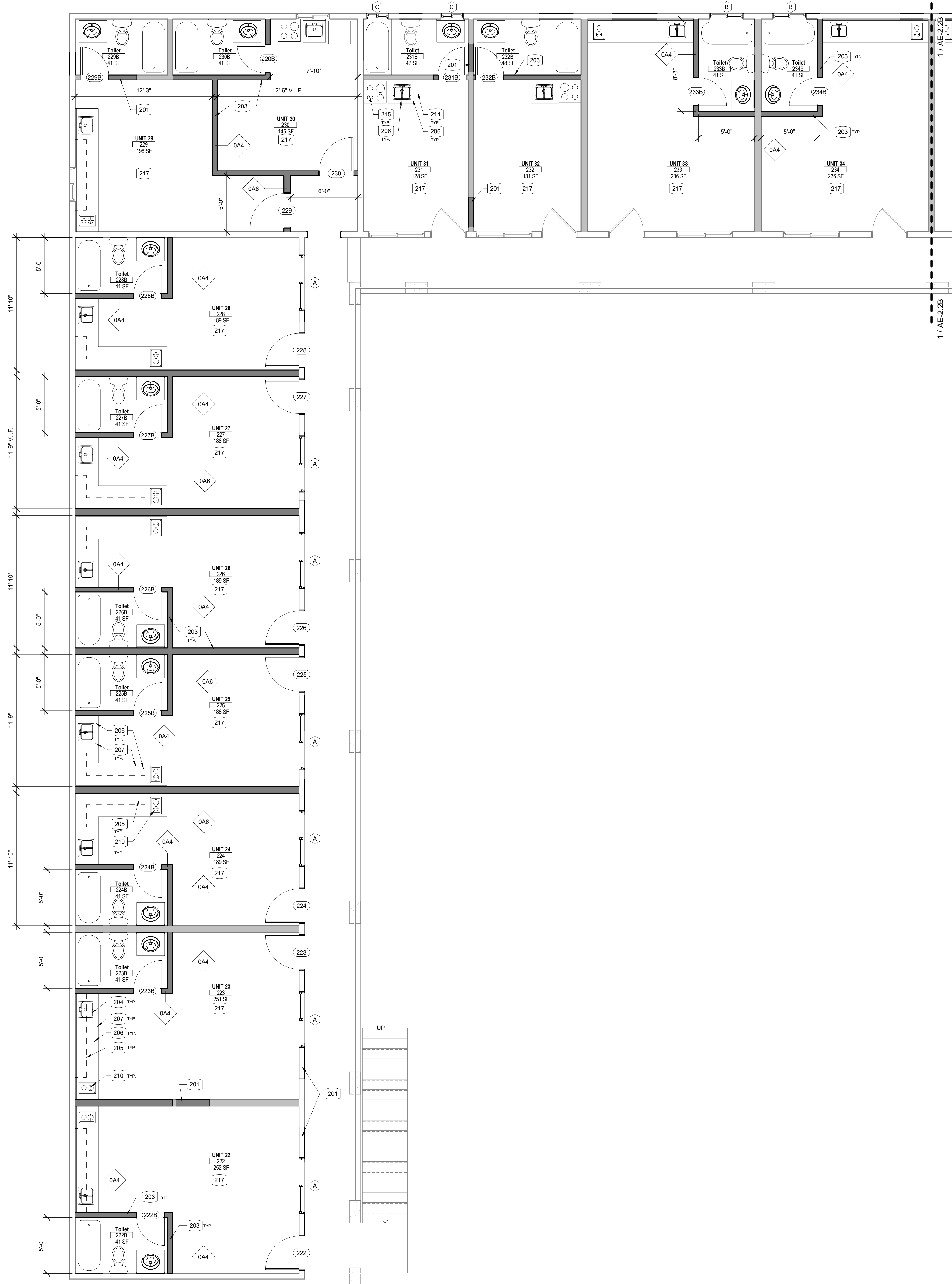
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Project No.:	24026

**1st FLOOR
PLAN - ANNEX**

AE-2.1C





PARTITION LEGEND:	
	(E) 1-HOUR RATED FIRE PARTITION
	(E) ACOUSTICAL / NON-RATED PARTITION
	(E) PARTITION TO BE DEMOLISHED
	NEW ACOUSTICAL / NON-RATED PARTITION (4" STUD U.N.O.)
	NEW 1-HOUR RATED FIRE PARTITION (4" STUD U.N.O.)

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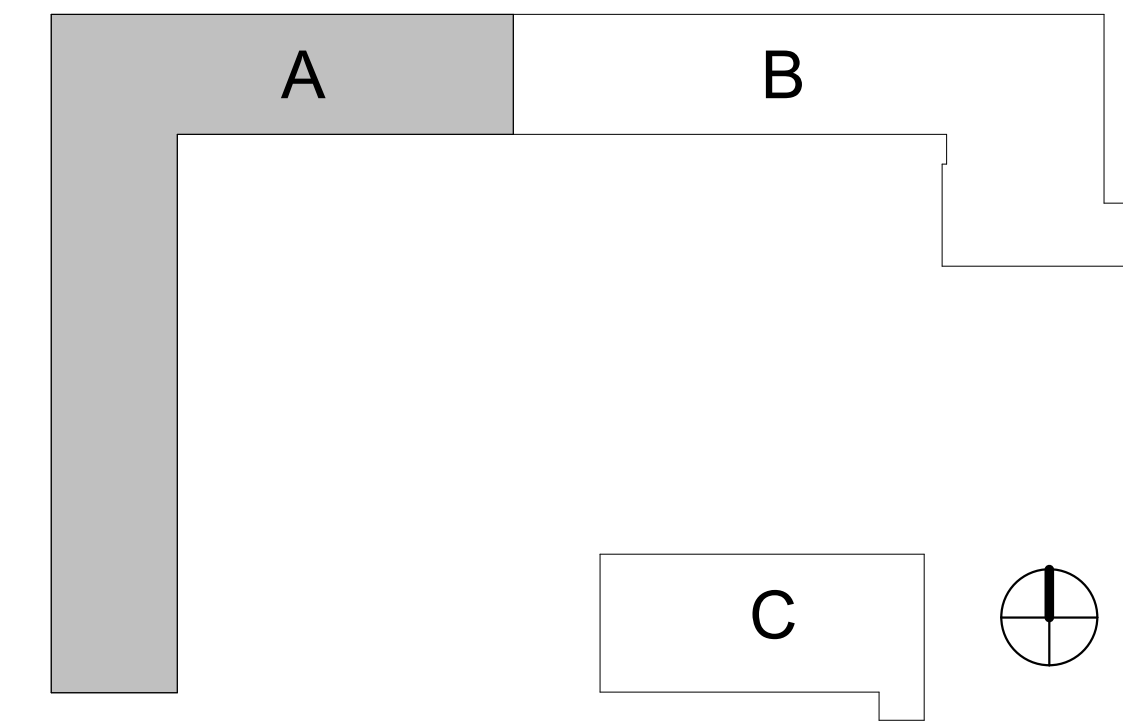
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 - 210 NEW COOK TOP.
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 - 215 NEW COOKING RANGE.
 - 217 GENERAL NOTE: EACH UNIT SHALL BE PROVIDED w/ A MIN. CLOSET/STORAGE AREA OF 40 CUBIC FEET AND A LOCKER OF A MIN. OF 10 CUBIC FEET.

KEYPLAN



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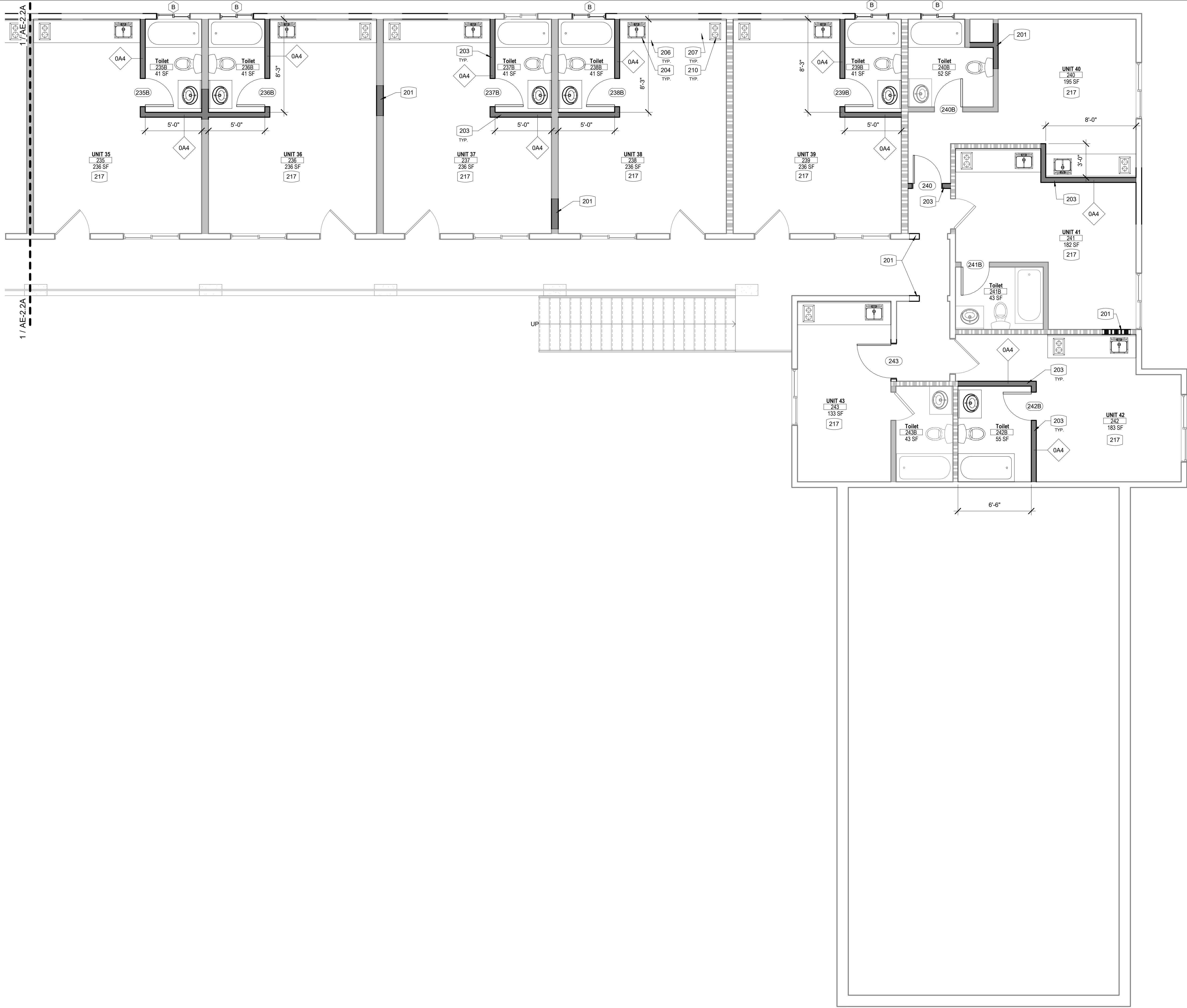
**2nd FLOOR
PLAN - AREA A**

AE-2.2A

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C-13366
Ren: 04.30.2025
03/17/2025
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PARTITION LEGEND:	
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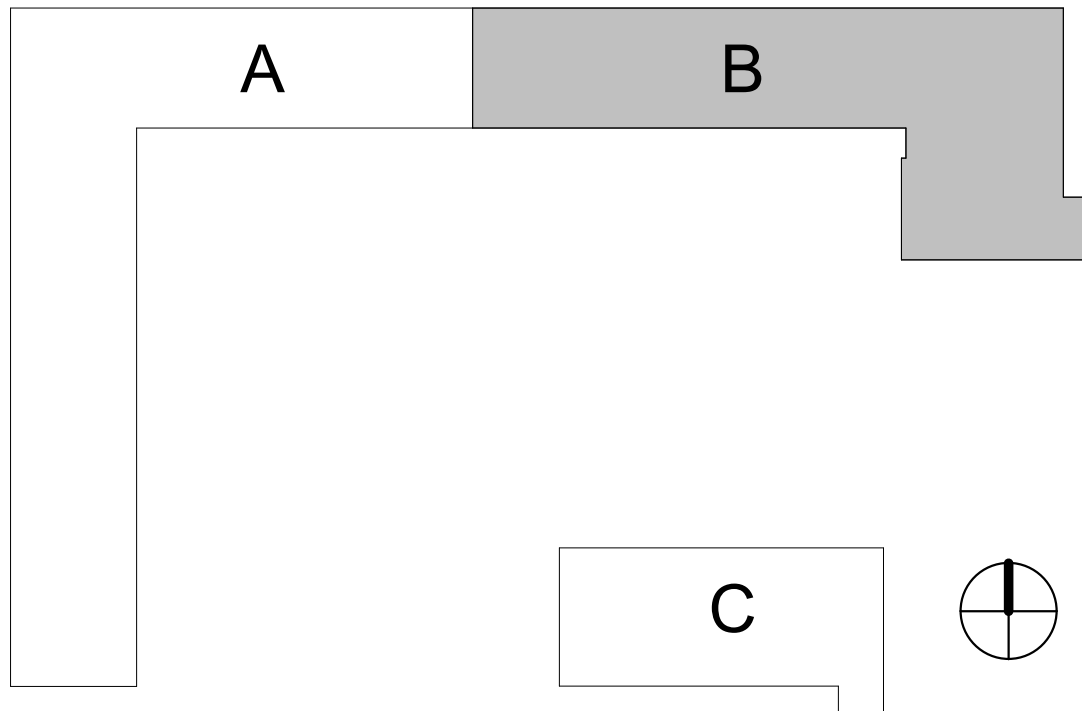
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KEYPLAN



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C-13366
03/17/2025
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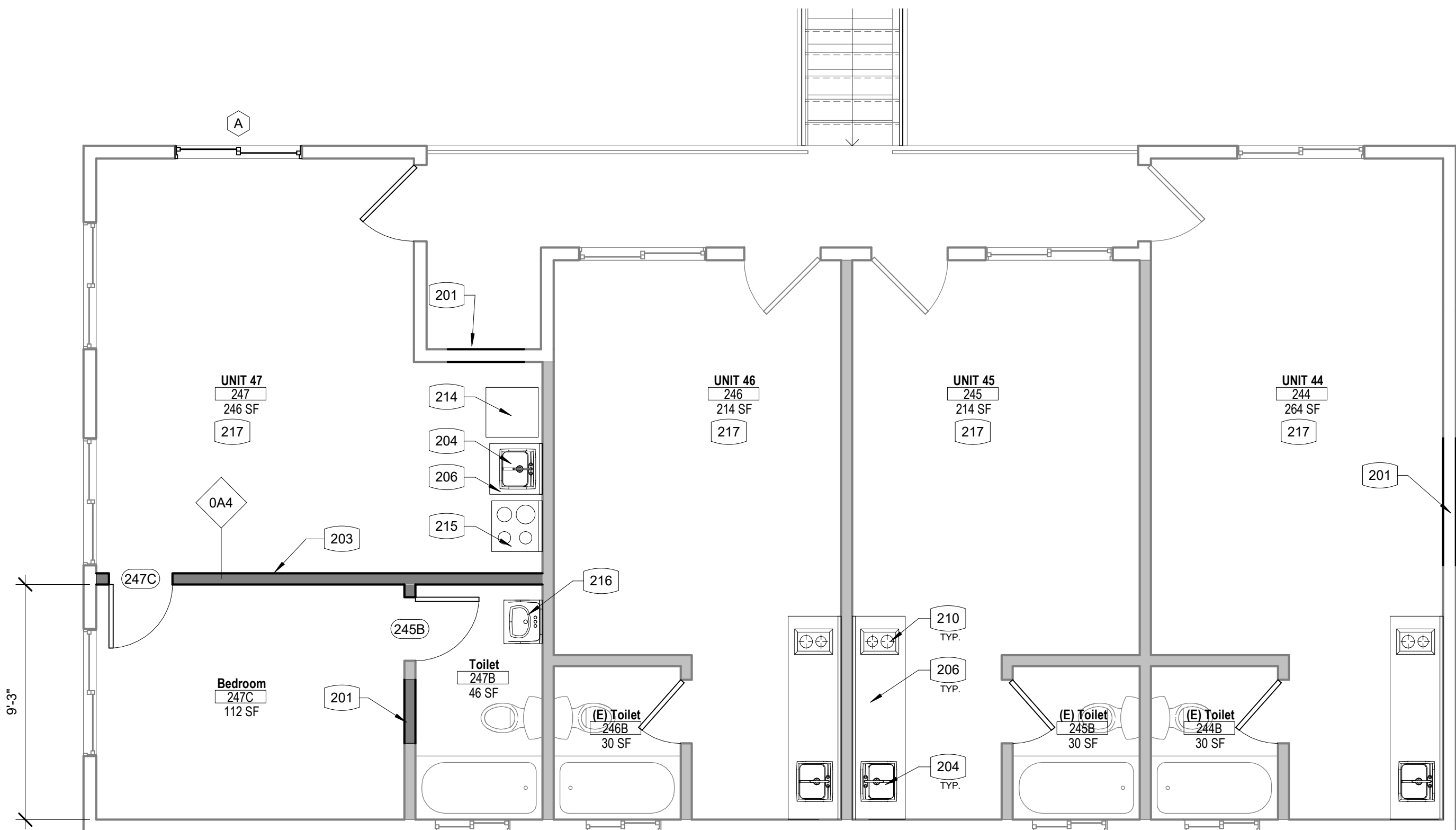
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2nd FLOOR
PLAN - AREA B

AE-2.2B



Enlarged 2nd Floor Plan (Renovation) - Annex
1/4" = 1'-0"

PARTITION LEGEND:

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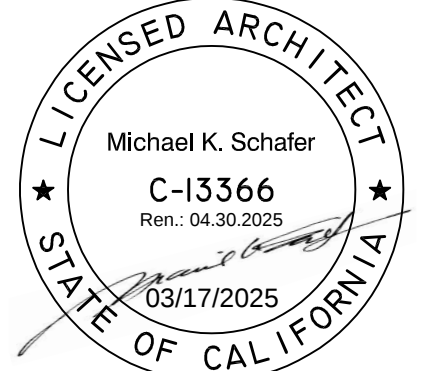
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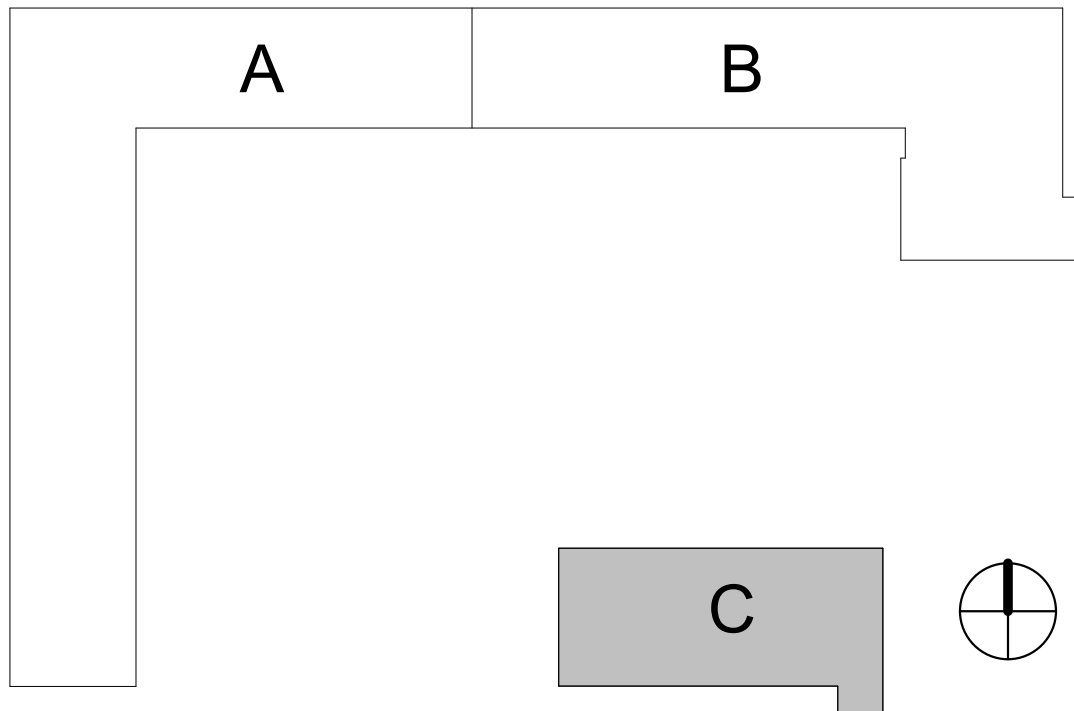
CONSULTANT

SRO Conversion

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PLAN ISSUE DATES	
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KEYPLAN



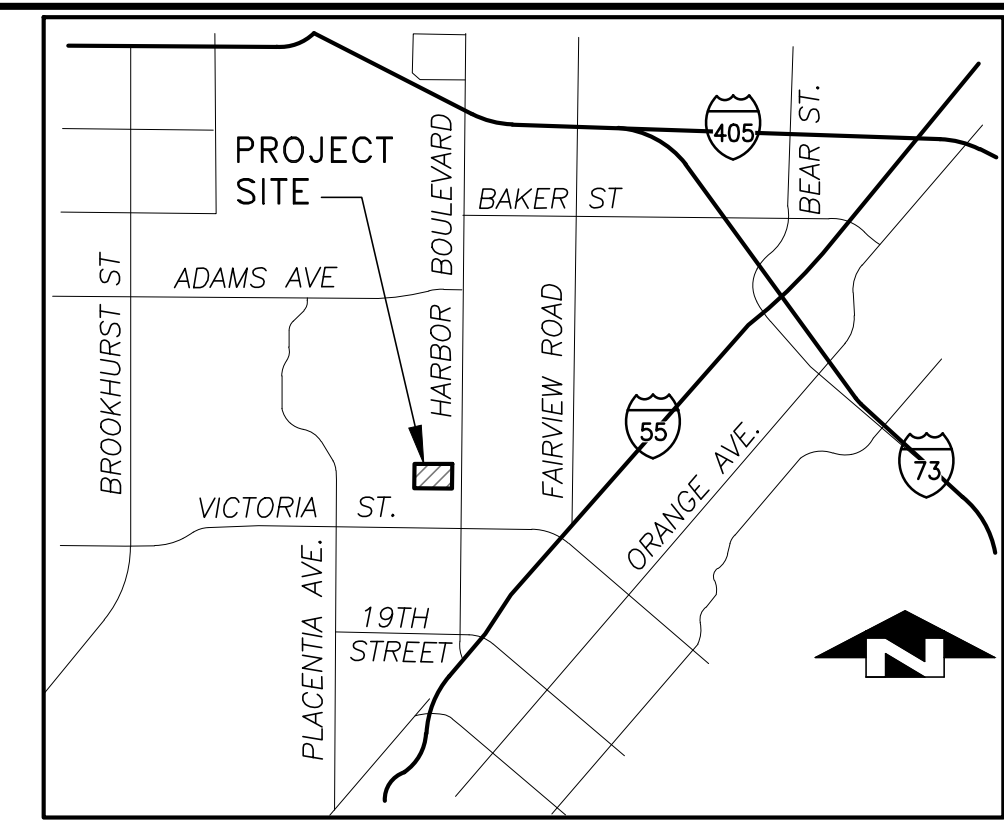
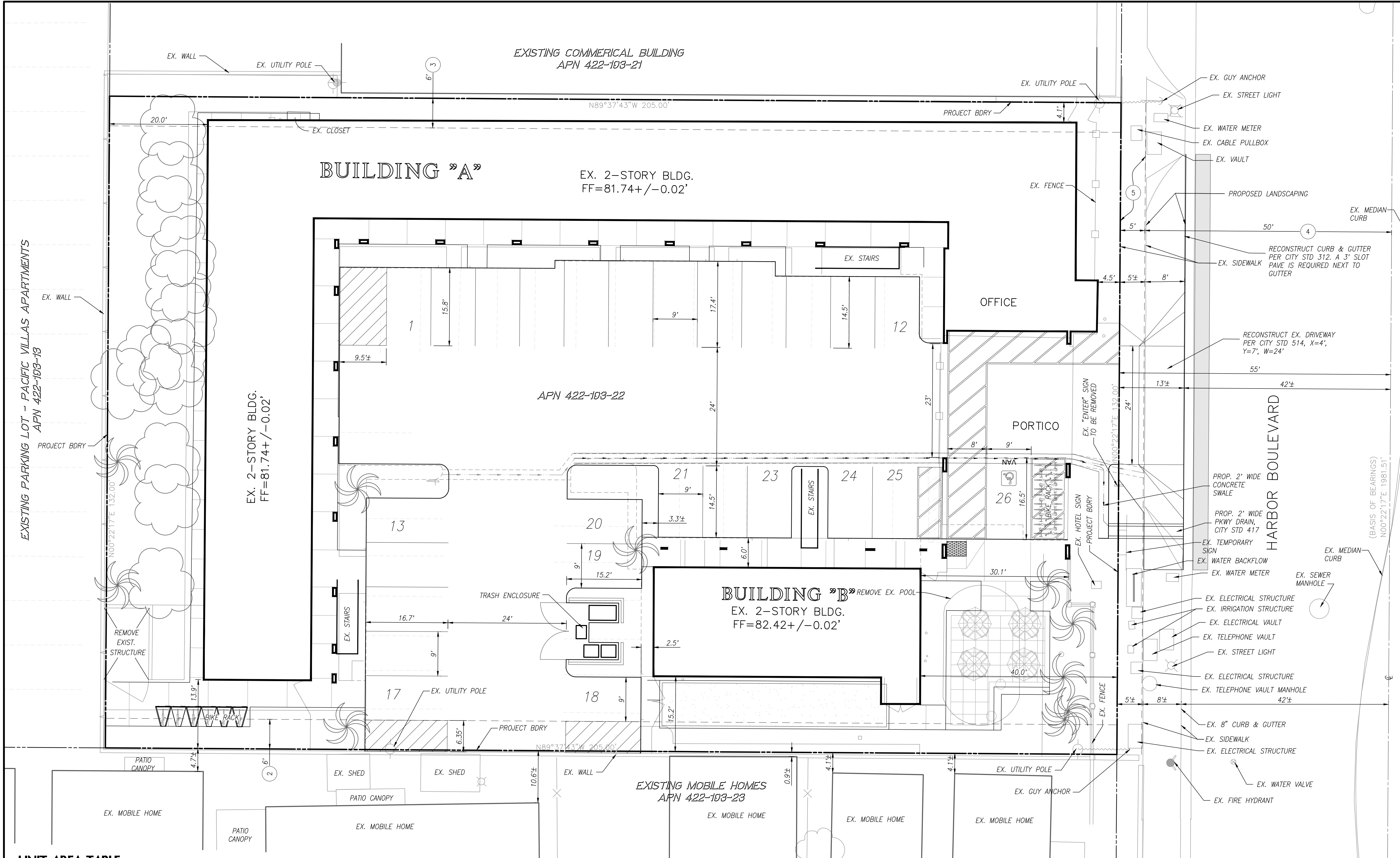
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PLAN CHECK NO.

PA / PM	MKS
Drawn By:	Author
Project No.:	24026

**2nd FLOOR
PLAN - ANNEX**

AE-2.2C



VICINITY MAP
N.T.S.

OWNER

AHURA INVESTMENT, LLC
29911 NIGUEL ROAD, SUITE 6429
LAGUNA NIGUEL, CA 92627
ATTENTION: NIKAN KHATIBI
(949) 842-9628

ENGINEER

HUNSAKER & ASSOCIATES IRVINE, INC.
157 TECHNOLOGY
IRVINE, CA 92618
PHONE: (949) 583-1010
CONTACT: BEN ETEMADI

SCOPE OF WORK

TRANSFORM THE EXISTING MESA MOTEL INTO A 47 UNIT AFFORDABLE HOUSING DEVELOPMENT FOR INDIVIDUALS SUCH AS SENIORS, VETERANS, THE DISABLED AND EMPLOYEES OF LOCAL BUSINESSES. AHURA INVESTMENT LLC WILL BE MAINTAINING THE PROPERTY TO THE HIGHEST STANDARD IN COORDINATION WITH THE CITY OF COSTA MESA.

LEGAL DESCRIPTION

THE SOUTH 240' COMPUTED TO THE CENTER LINE OF HARBOR BOULEVARD OF LOT 29 OF FAIRVIEW FARMS TRACT AS SHOWN ON A MAP RECORDED IN BOOK 8, PAGE 71 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA

GENERAL NOTES

1. APN: 422-193-24
2. SITE ADDRESS: MESA MOTEL
2205 HARBOR BOULEVARD
COSTA MESA, CA 92627
3. GENERAL PLAN: GENERAL COMMERCIAL
4. ZONING: GENERAL BUSINESS
5. EXISTING USE: COMMERCIAL
6. PROJECT AREA - 0.58 ± ACRES
BUILDING "A" AREA - 11,968 ± SF
BUILDING "B" AREA - 2,605 ± SF
NUMBER OF UNITS - 47
UNIT SIZE VARIES - 174 TO 444± SF (SEE UNIT AREA TABLE)
7. PARKING:
25 STANDARD STALLS, 1 ADA & 16 BICYCLE RACKS
FIVE UNITS WOULD ACCOMMODATE DOUBLE OCCUPANCY
8. ALL LOWER FLOOR UNITS WOULD BE ADA ACCESSIBLE
10. UNITS 11 THRU 14 WOULD BE ADA COMPLIANT

UNIT AREA TABLE

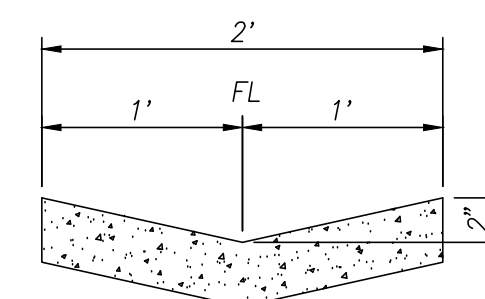
UNIT	UNIT AREA (SF)	UNIT	UNIT AREA (SF)	UNIT	UNIT AREA (SF)	UNIT	UNIT AREA (SF)	UNIT	UNIT AREA (SF)
1	293	12	265	23	292	34	277	45	244
2	292	13	265	24	230	35	277	46	244
3	231	14	265	25	229	36	277	47	404
4	229	15	277	26	230	37	277		
5	231	16	277	27	229	38	277		
6	230	17	444	28	230	39	277		
7	231	18	247	29	239	40	247		
8	277	19	243	30	186	41	225		
9	277	20	243	31	174	42	238		
10	277	21	247	32	179	43	176		
11	265	22	293	33	277	44	294		

REVISION

MARK	DATE	INITIAL	DESCRIPTION	APPR.	DATE

EXISTING EASEMENTS

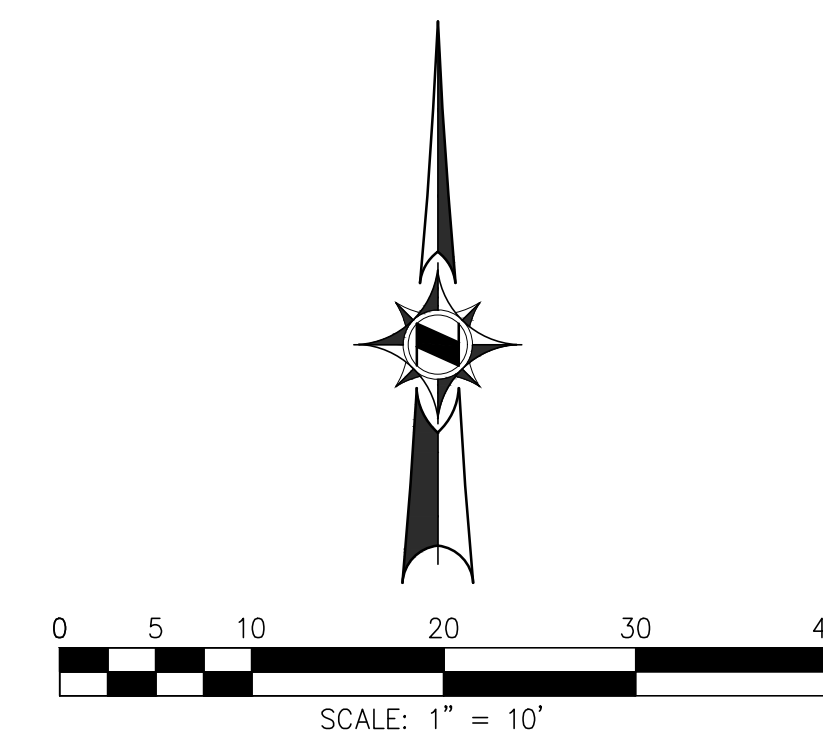
1. INDICATES AN EASEMENT IN FAVOR OF L. T. BRADFORD FOR PIPELINES, DITCHES, AQUEDUCTS, TELEPHONE AND TELEGRAPH LINES, LIGHT AND POWER LINES, RAILROAD AND INCIDENTAL PURPOSES PER DOCUMENT RECORDED JANUARY 23, 1917 IN BOOK 299, PAGE 176 OF DEEDS. (EASEMENT IS BLANKET IN NATURE)
 2. INDICATES AN EASEMENT IN FAVOR OF SOUTHERN CALIFORNIA EDISON COMPANY FOR POLE LINE CONDUIT AND INCIDENTAL PURPOSES PER DOCUMENT RECORDED FEBRUARY 15, 1951 IN BOOK 2144, PAGE 479 OF OFFICIAL RECORDS.
 3. INDICATES AN EASEMENT IN FAVOR OF SOUTHERN CALIFORNIA EDISON COMPANY FOR POLE LINE CONDUIT AND INCIDENTAL PURPOSES PER DOCUMENT RECORDED JULY 16, 1958 IN BOOK 4351, PAGE 324 OF OFFICIAL RECORDS.
 4. INDICATES AN EASEMENT IN FAVOR OF THE CITY OF COSTA MESA FOR STREET AND INCIDENTAL PURPOSES PER DOCUMENT RECORDED DECEMBER 8, 1961 IN BOOK 5938, PAGE 718 OF OFFICIAL RECORDS.
 5. INDICATES AN EASEMENT IN FAVOR OF THE CITY OF COSTA MESA FOR RIGHT OF WAY FOR STREET AND HIGHWAY AND INCIDENTAL PURPOSES PER DOCUMENT RECORDED OCTOBER 5, 1966 IN BOOK 8067, PAGE 823 OF OFFICIAL RECORDS.
- INDICATES EASEMENT PLOTTED HEREON



2' WIDE CONCRETE SWALE
NOT TO SCALE

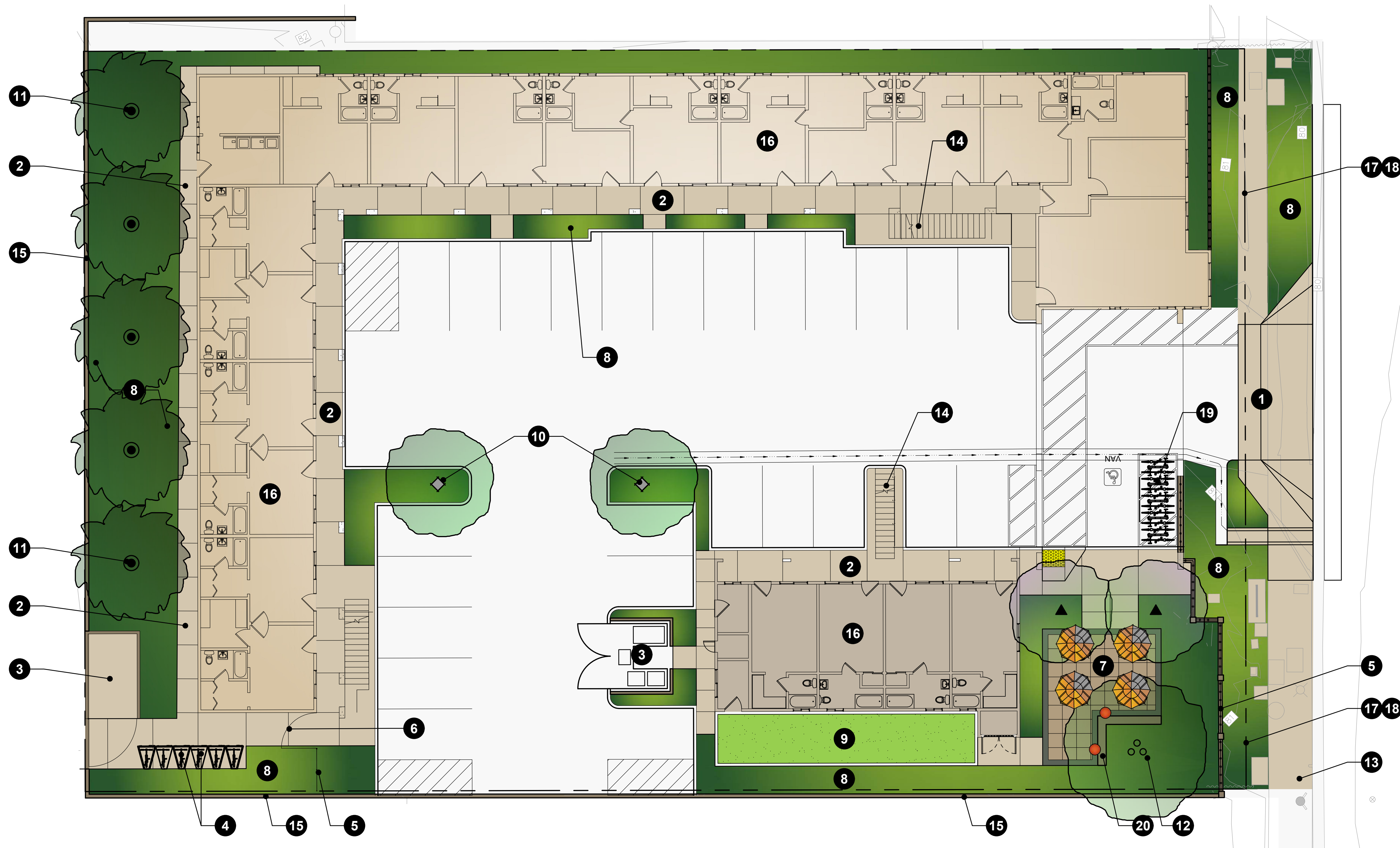
LEGEND

- PROJECT BOUNDARY LINE
- RIGHT-OF-WAY
- EX. TREES



CONCEPTUAL SITE PLAN
MESA MOTEL
2205 HARBOR BOULEVARD
SHEET 1 OF 1

DATE PREPARED: 4/15/25



PROPOSED PLANT PALETTE

TREES						
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE / FORM	HT. X SPRD. X CAL. (MIN)	WATER USE	DESCRIPTION
	AGONIS FLEXUOSA	PEPPERMINT TREE	24" BOX STD.	8'H X 5'W X 4"C	L	FLOWERING TREE
	LAGERSTROEMIA INDICA X FAURIEI 'MUSKOGEE'	MUSKOGEE CRAPE MYRTLE	24" BOX MULTI.	8'H X 5'W	M	FLOWERING TREE
	OLEA EUROPAEA 'SWAN HILL'	OLIVE TREE	24" BOX STD.	8'H X 4'W	L	SPECIMEN TREE
	PINUS ELДАРICA	MONDELL PINE	24" BOX STD.	5'H X 4'W	L	SCREENING TREE
SHRUBS, GRASSES, & GROUNDCOVERS						
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WATER USE	DESCRIPTION
	SESLERIA 'GREENLEE'	GREENLEE MOOR GRASS	1 GAL.	24" O.C.	M	ORNAMENTAL GRASS
	PODOCARPUS GRACILIOR	FERN PINE	15 GAL.	60" O.C.	L	SCREENING SHRUB
	ROSMARINUS O. 'PROSTRATUS'	CREEPING ROSEMARY	FLATS	36" O.C.	VL	FLOWERING GROUNDCOVER
	MUHLENBERGIA E. 'EL TORO'	BULL GRASS	5 GAL.	36" O.C.	M	ORNAMENTAL GRASS
	LANTANA 'NEW GOLD'	NEW GOLD LANTANA	1 GAL.	36" O.C.	L	FLOWERING GROUNDCOVER
	HESPERALOE PARVIFLORA	RED YUCCA	1 GAL.	36" O.C.	L	FLOWERING SUCCULENT

WATER USE KEY: VL = VERY LOW WATER USE, L = LOW WATER USE, M = MODERATE WATER USE, H = HIGH WATER USE. WATER USE STATED IS PER 'WATER USE CLAS LANDSCAPE SPECIES' (ALSO REFERRED TO AS WUCOLS IV) FOR THE CITY OF COSTA MESA.

LEGEND

- 1

ENTRANCE / EXIT
- 2

NATURAL CONCRETE
- 3

TRASH ENCLOSURE
- 4

BIKE LOCKER
- 5

FENCE
- 6

PEDESTRIAN GATE
- 7

ENAHCED CONCRETE PATIO
- 8

DROUGHT TOLLERANT LANDSCAPE
- 9

TURF PLAY AREA
- 10

PARKING LOT TREE

11

SCREENING TREE

12

SPECIMEN TREE

13

EXISTING PUBLIC SIDEWALK

14

EXISTING STAIR CASE TO REMAIN

15

EXISTING WALL

16

EXISTING BUILDING

17

RIGHT OF WAY

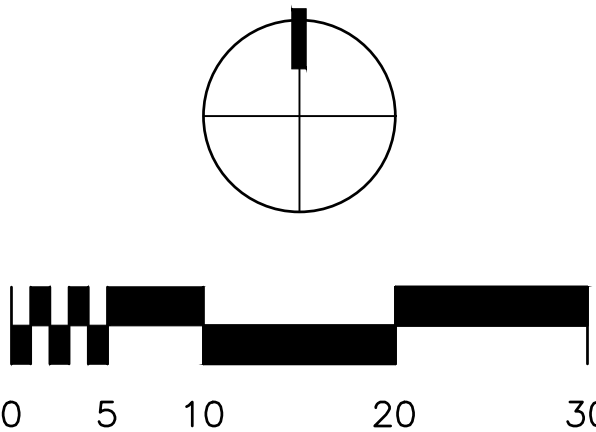
18

PROPERTY LINE

19

SHORT TERM BIKE RACK

20

LOW WALL

PLAN ISSUE DATES		
Rev.	Date	Description
12/20/24	SD	SET
03/14/25	SD	SET
04/15/25	SD	SET

AGENCY APPROVAL

PLAN CHECK NO.

PA / PM	AN
Drawn By:	LS
Project No.:	24089

PRELIMINARY
LANDSCAPE PLAN

L1.1

TREES



OLEA EUROPAEA 'SWAN HILL' / OLIVE TREE



AGONIS FLEXUOSA / PEPPERMINT TREE



PINUS ELGARICA / MONDELL PINE



LAGERSTROEMIA INDICA X FAURIEI 'MUSKOGEE' / MUSKOGEE GRAPE MYRTLE

SHRUBS



LANTANA 'NEW GOLD' / NEW GOLD LANTANA



ROSMARINUS O. 'PROSTRATUS' / CREEPING ROSEMARY



SESLERIA 'GREENLEE' / GREENLEE MOOR GRASS



HESPERALOE PARVIFLORA / RED YUCCA



MUHLENBERGIA E. 'EL TORO' / BULL GRASS



PODOCARPUS GRACILIOR / FERN PINE