

KEY NOTES Architect: (1) FRONT PORCH 2 SHELF & POLE $\langle 3 \rangle$ ROLL OUT SHELVES Bryant Palmer Soto Inc.
Neil Stanton Palmer ARCHITECTS / Jack K. Bryant ENGINEERS $\langle 4 \rangle$ DOT HATCH INDICATES 2 x 6 WALL 2601 Airport Drive, Suite 310, Torrance, CA 90505 Telephone: (310) 326-9111 (5) 3/4" THRESHOLD MAX Fax: (310) 325-0271 6 2% MIN SLOPE DOWN CEMENT, FIBER CEMENT OR GLASS MAT GYPSUM BACKERS SHALL BE USED AS A BASE FOR WALL TILES IN TUB AND SHOWER AREAS CBC 2509.2 8 FLOOR SPEC TO BE DETERMINED 9 7" RISER MAX 3'-0" x 8'-0" DOOR SO MOUNTED THAT THE CLEAR WIDTH OF EXIT WAY IS NOT LESS THAN 32". THIS DOOR SHALL ALSO HAVE A .5 INCH MAX THRESHOLD. CBC 1008.1.6 (11) 7.75" MAX. OFFSET CBC 1009.3 SEE TITLE-24 FOR CONTINUOUS FAN SPECIFICATION SEE IIILE-24 FOR COIN BASED ON 2008 CODE 2 HOMES & 2 ADU (13) STORAGE SHELVES UNDER STAIRS BY OTHERS SMALL LOT ORDINANCE 1 FOR SMOKE DETECTOR NOTES AND LOCATION LOCATION 1022 W. WILSON STREET DOOR TO BE SELF-CLOSING, SELF-LATCHING, TIGHT COSTA MESA, CA 92627 FITTING, SOLID WOOD 1-3/8" THICK DOOR OR 20 MINUTE RATED DOOR AT OPENING TO DWELLING CRC R302.5.1 16 S.H. = SINGLE HUNG VERTICAL SLIDING $\left(\frac{1C}{A-15}\right)$ THESE DOCUMENTS ARE CONFIDENTIAL AND PROPRIETARY TO BRYANT, PALMER, SOTO, INC. (17) LANDINGS OR FLOORS AT THE REQUIRED AND SHALL NOT BE USED, DISCLOSED, REVISED, OR REPRODUCED IN WHOLE OR IN PART EGRESS DOOR SHALL NOT BE MORE THAN WITHOUT THE PRIOR WRITTEN CONSENT OF SAID ARCHITECT. THIS IS AN UNPUBLISHED WORK PROTECTED BY THE FEDERAL COPYRIGHT LAWS AND NO UNAUTHORIZED COPYING, ADAPTATION, 1-1/2" INCHES LOWER THAN THE TOP OF THE DISTRIBUTION, OR DISPLAY IS PERMITTED. ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED AT THE PROJECT SITE BY THE CONTRACTOR. THESE DOCUMENTS SHALL NOT BE THRESHOLD USED AS THE BASIS FOR CONSTRUCTION UNLESS SPECIFICALLY MARKED "APPROVED FOR (18) 1 HOUR 5/8" TYPE 'X' GYP BOARD ON WALLS & CONSTRUCTION" CEILING AT ENTIRE GARAGE. CRC TABLE R302.6 COPYRIGHT 2013 ALL RIGHTS RESERVED HOSE BIBS MUST HAVE APPROVED ANTI-SIPHON DEVICE HOSE BIBS MUST CPC 603.3 TYP SUBMITTALS (B) TELEPHONE PANEL MARK DATE DESCRIPTION LOCATION OF TANKLESS HOT WATER HEATER W/ DIRECT VENT THRU WALL. BOTTOM OF W.H. @ 60" TO 72" A.F.F., V.I.F. D GAS METER (E) 6" DIA CONCRETE FILLED STEEL BOLLARD F LOCATION OF 200 AMP ELECTRICAL SERVICE AND PANEL. PROVIDE UFER OR OTHER APPROVED REVISIONS GROUND PER CEC 250. G A/C ELEC H FIRE RISER LOCATION J RANGE HOOD VENT DUCT K REFRIGERANT LINES, SEE MECH DWGS ADD CONDUIT & STUB OUT AS REQ'D TO FUTURE CONDENSER LOCATION

MARK	DATE	DESCRIPTION
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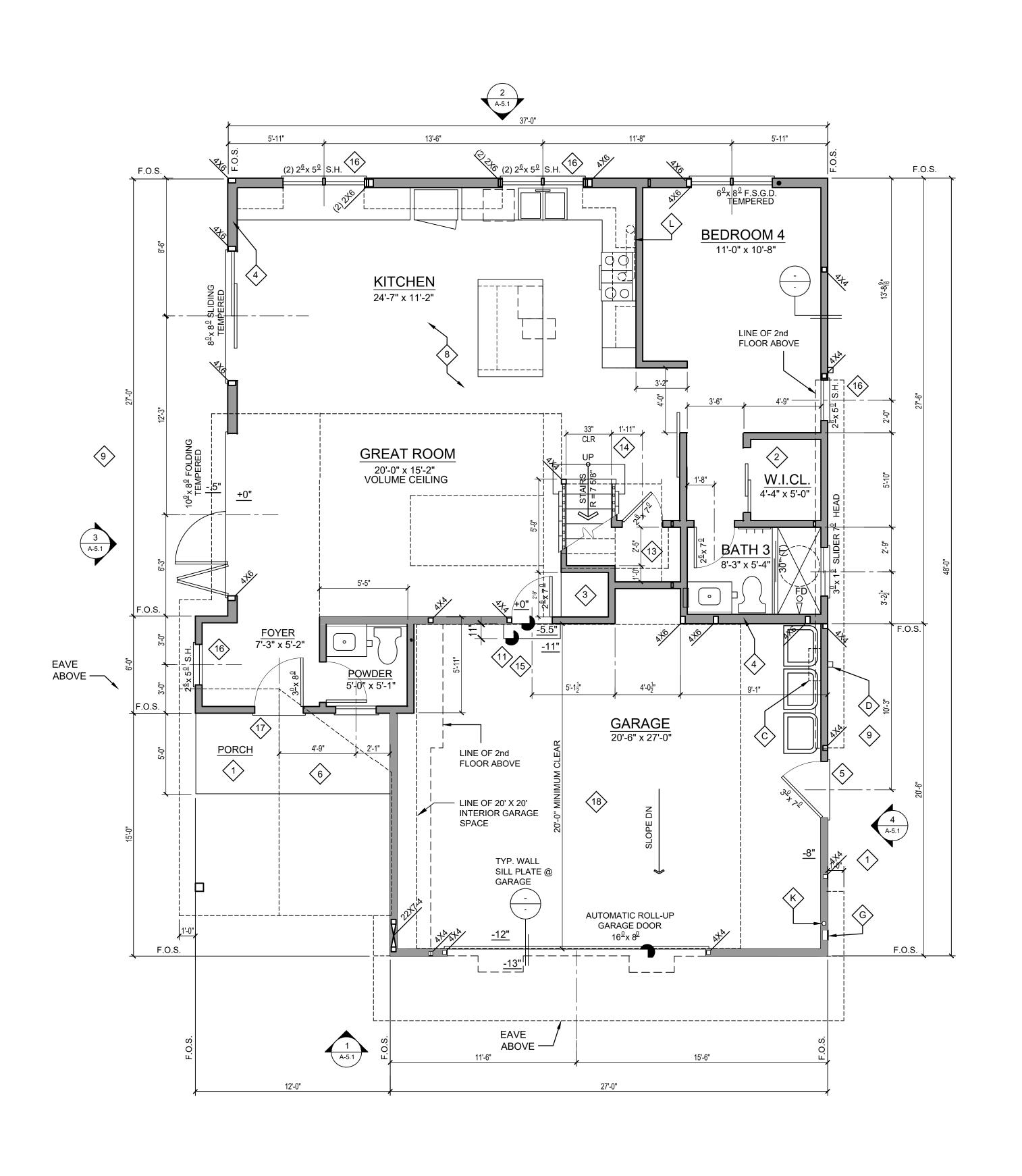
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M CABLE PANEL

02-1173:001 Job No.: CADD File: K:102-1173-001 1022 WILSON COSTA MESA/CAD/SHEETS/A-2.1 1ST FLR PLAN E.DWG 09-20-2023 Project Start Date: DC Drawn By: ΚP Checked By: AS NOTED

Drawing Title

FIRST FLOOR PLAN (EAST HOUSE)



KEY NOTES

1 FRONT PORCH

2 SHELF & POLE

(3) ROLL OUT SHELVES

4 DOT HATCH INDICATES 2 x 6 WALL

5 3/4" THRESHOLD MAX

(6) 2% MIN SLOPE DOWN

CEMENT, FIBER CEMENT OR GLASS MAT GYPSUM BACKERS SHALL BE USED AS A BASE FOR WALL TILES IN TUB AND SHOWER AREAS CBC 2509.2

8 FLOOR SPEC TO BE DETERMINED

9 7" RISER MAX

3'-0" x 8'-0" DOOR SO MOUNTED THAT THE CLEAR WIDTH OF EXIT WAY IS NOT LESS THAN 32". THIS DOOR SHALL ALSO HAVE A .5 INCH MAX THRESHOLD. CBC 1008.1.6

(11) 7.75" MAX. OFFSET CBC 1009.3

SEE TITLE-24 FOR CONTINUOUS FAN SPECIFICATION BASED ON 2008 CODE

\$\square\$13\$\rightarrow\$ STORAGE SHELVES UNDER STAIRS BY OTHERS

SEE $\left(\frac{1}{A-8}\right)$ FOR SMOKE DETECTOR NOTES AND LOCATION

DOOR TO BE SELF-CLOSING, SELF-LATCHING, TIGHT FITTING, SOLID WOOD 1-3/8" THICK DOOR OR 20 MINUTE RATED DOOR AT OPENING TO DWELLING CRC R302.5.1

16 S.H. = SINGLE HUNG VERTICAL SLIDING $\frac{1C}{A-15}$

(17) LANDINGS OR FLOORS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1-1/2" INCHES LOWER THAN THE TOP OF THE THRESHOLD

(18) 1 HOUR 5/8" TYPE 'X' GYP BOARD ON WALLS & CEILING AT ENTIRE GARAGE. CRC TABLE R302.6

HOSE BIBS MUST HAVE APPROVED ANTI-SIPHON DEVICE. CPC 603.3 TYP

(B) TELEPHONE PANEL

LOCATION OF TANKLESS HOT WATER HEATER W/ DIRECT VENT THRU WALL. BOTTOM OF W.H. @ 60" TO 72" A.F.F., V.I.F.

D GAS METER

(E) 6" DIA CONCRETE FILLED STEEL BOLLARD

LOCATION OF 200 AMP ELECTRICAL SERVICE AND PANEL. PROVIDE UFER OR OTHER APPROVED GROUND PER CEC 250.

G A/C ELEC

H FIRE RISER LOCATION

A RANGE HOOD VENT DUCT

REFRIGERANT LINES, SEE MECH DWGS

ADD CONDUIT & STUB OUT AS REQ'D TO FUTURE CONDENSER LOCATION

M CABLE PANEL

Bryant Palmer Soto Inc.
Neil Stanton Palmer ARCHITECTS / Jack K. Bryant ENGINEERS 2601 Airport Drive, Suite 310, Torrance, CA 90505

Telephone: (310) 326-9111 Fax: (310) 325-0271

Architect:

2 HOMES & 2 ADU SMALL LOT ORDINANCE

1022 W. WILSON STREET COSTA MESA, CA 92627

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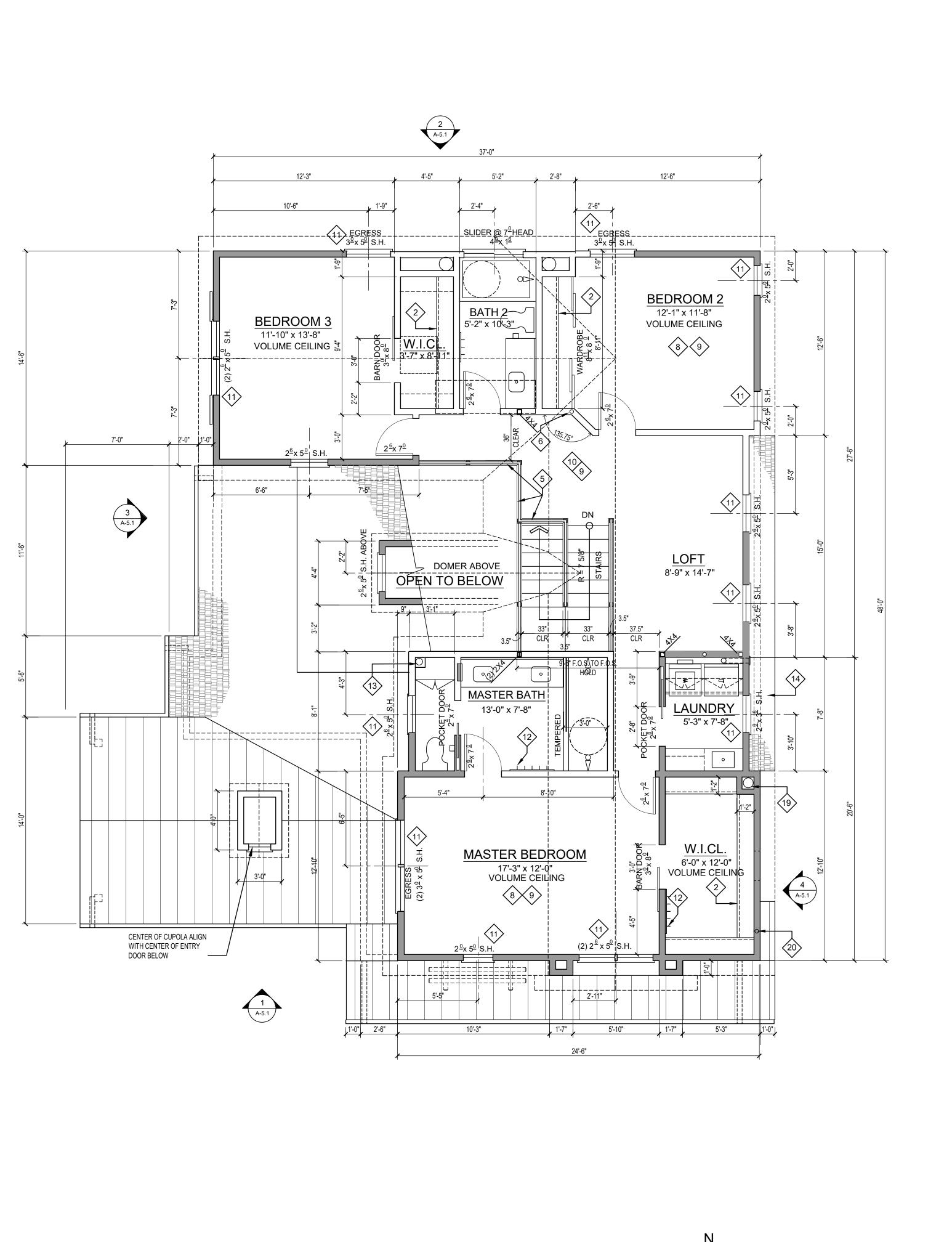
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02-1173:001 Job No.: CADD File: K:102-1173-001 1022 WILSON COSTA MESA/CAD/SHEETS/A-2.2 1ST FLR PLAN W.DWG 09-20-2023 Project Start Date: DC Drawn By: ΚP Checked By: AS NOTED

Drawing Title

FIRST FLOOR PLAN (WEST HOUSE)





KEY NOTES

30" x 30" ATTIC ACCESS WITH 30" MINIMUM HEADROOM. CBC 1209.2 WITH WEATHER STRIPS TO PREVENT BACK DRAFT. FOR LOCATION OF 30" HEADROOM SPACE SEE

2 SINGLE SHELF & POLE

8'-0" H. JAMBLESS CLOSET DOORS. FIELD MEASURE.
PROVIDE BLOCKING AS REQUIRED. PROVIDE 1 x 4
WOOD @ JAMB CONDITION AS REQUIRED.

4 ATTIC VENT, SEE

5 42" HIGH RAIL

6 CONDUIT CHASE

7 14" x 14" CONTROL WIRE ACCESS PANEL

WHERE THE OPENING OF THE SILL PORTION OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72" ABOVE FIN. GRADE THE LOWEST PART OF THE CLR. OPENING OF THE WINDOW SHALL BE 24" ABOVE THE FIN. FLOOR SURFACE OF THE ROOM.

9 SEE 2 FOR SMOKE DETECTOR NOTES AND LOCATION

(10) CARPET. SPEC TO FOLLOW

11 S.H. = SINGLE HUNG VERTICAL SLIDING $\frac{1C}{A-15}$

(12) WALL MOUNT COAT HOOKS

GYP BD OVER FURR. CHANNELS OVER 6" Ø RANGE HOOD VENT DUCT

14 12" MAX EAVE WITHIN 5'-0" OF PROPERTY LINE

15 18" DEEP x 24" WIDE SHELVES

16 18" DEEP WRAP AROUND SHELVES

17 DOUBLE POLE @ 3'-2" & 6'-4" AND SHELF @ 6'-8"

PROVIDE ESCAPE WINDOW WITH MINIMUM CLEAR 24 INCH HEIGHT & 20 INCH WIDTH, 5.7 S.F. MIN NET CLEAR OPENING AND A SILL HEIGHT NOT OVER 44 INCHES ABOVE FLOOR. THE NET CLEAR OPENING DIMENSIONS SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING. CBC 1026.2

19 MECHANICAL CHASE

20 REFRIGERANT LINES

Architect:

BPS

Bryant Palmer Soto Inc.
Neil Stanton Palmer ARCHITECTS / Jack K. Bryant ENGINEERS
2601 Airport Drive, Suite 310, Torrance, CA 90505

Telephone: (310) 326-9111

Fax: (310) 325-0271

Banaor .

piect :

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Job No.:
02-1173:001

CADD File: K:\02-1173-001 1022 WILSON COSTA MESAICAD\SHEETS\A-3.1 2ND FLR PLAN E.DWG

Project Start Date: 09-20-2023

Drawn By: DC

Checked By: KP

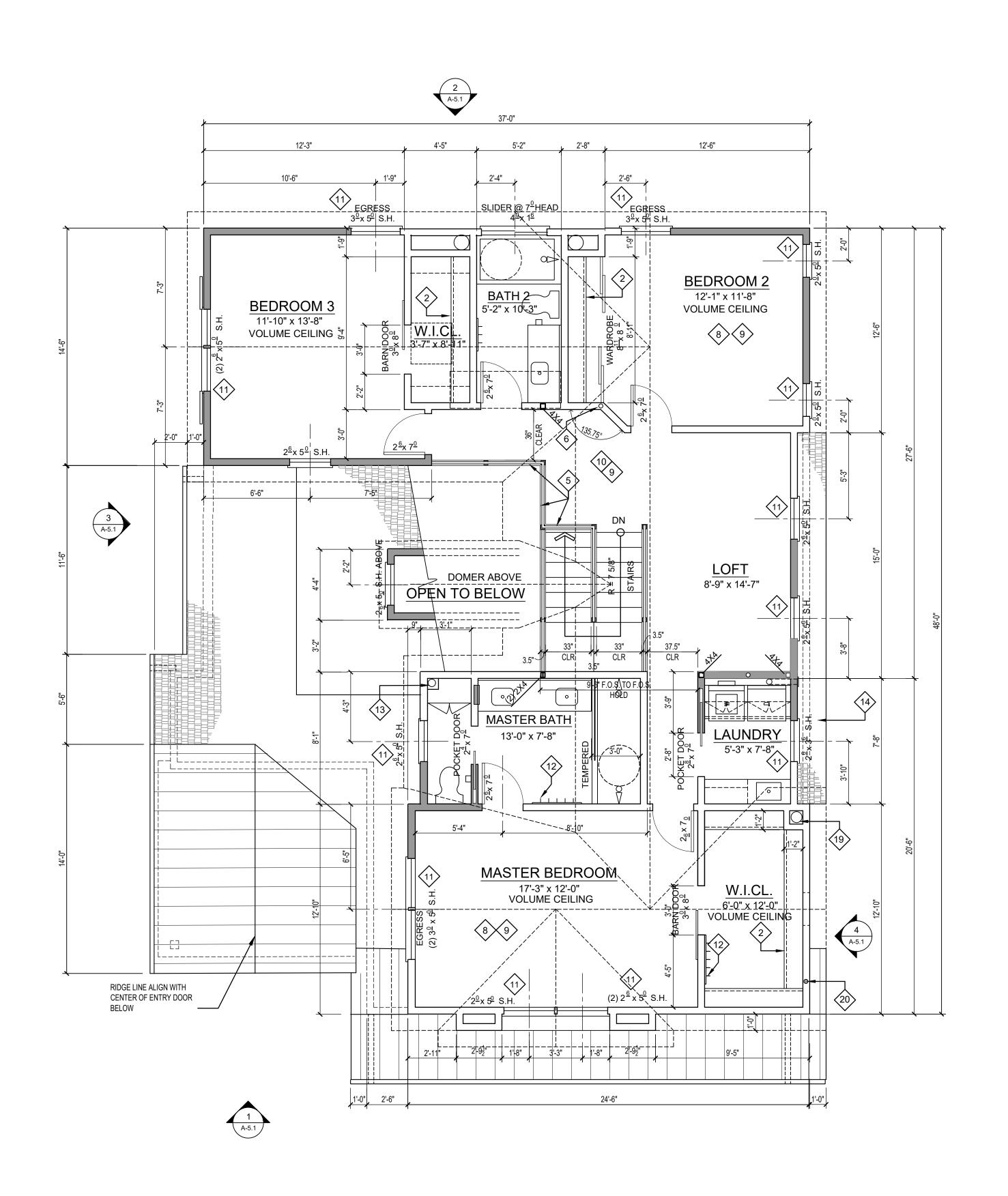
Scale: AS NOTED

Drawing Title

SECOND FLOOR
PLAN
(EAST HOUSE)

Sheet

A-3.1



KEY NOTES

30" x 30" ATTIC ACCESS WITH 30" MINIMUM HEADROOM. CBC 1209.2 WITH WEATHER STRIPS TO PREVENT BACK DRAFT. FOR LOCATION OF 30" HEADROOM SPACE SEE

SINGLE SHELF & POLE

8'-0" H. JAMBLESS CLOSET DOORS. FIELD MEASURE. PROVIDE BLOCKING AS REQUIRED. PROVIDE 1 x 4 WOOD @ JAMB CONDITION AS REQUIRED.

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SEE $\frac{2}{A-8}$ FOR SMOKE DETECTOR NOTES AND LOCATION

(7) 14" x 14" CONTROL WIRE ACCESS PANEL

(10) CARPET. SPEC TO FOLLOW

(12) WALL MOUNT COAT HOOKS

11 S.H. = SINGLE HUNG VERTICAL SLIDING $\begin{pmatrix} 1C \\ A-15 \end{pmatrix}$

GYP BD OVER FURR. CHANNELS OVER 6" Ø RANGE HOOD VENT DUCT

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(18) PROVIDE ESCAPE WINDOW WITH MINIMUM CLEAR 24 INCH HEIGHT & 20 INCH WIDTH, 5.7 S.F. MIN NET CLEAR

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<19> MECHANICAL CHASE

20 REFRIGERANT LINES

Architect:

Bryant Palmer Soto Inc.
Neil Stanton Palmer ARCHITECTS / Jack K. Bryant ENGINEERS 2601 Airport Drive, Suite 310, Torrance, CA 90505

Telephone: (310) 326-9111 Fax: (310) 325-0271

2 HOMES & 2 ADU SMALL LOT ORDINANCE

1022 W. WILSON STREET COSTA MESA, CA 92627

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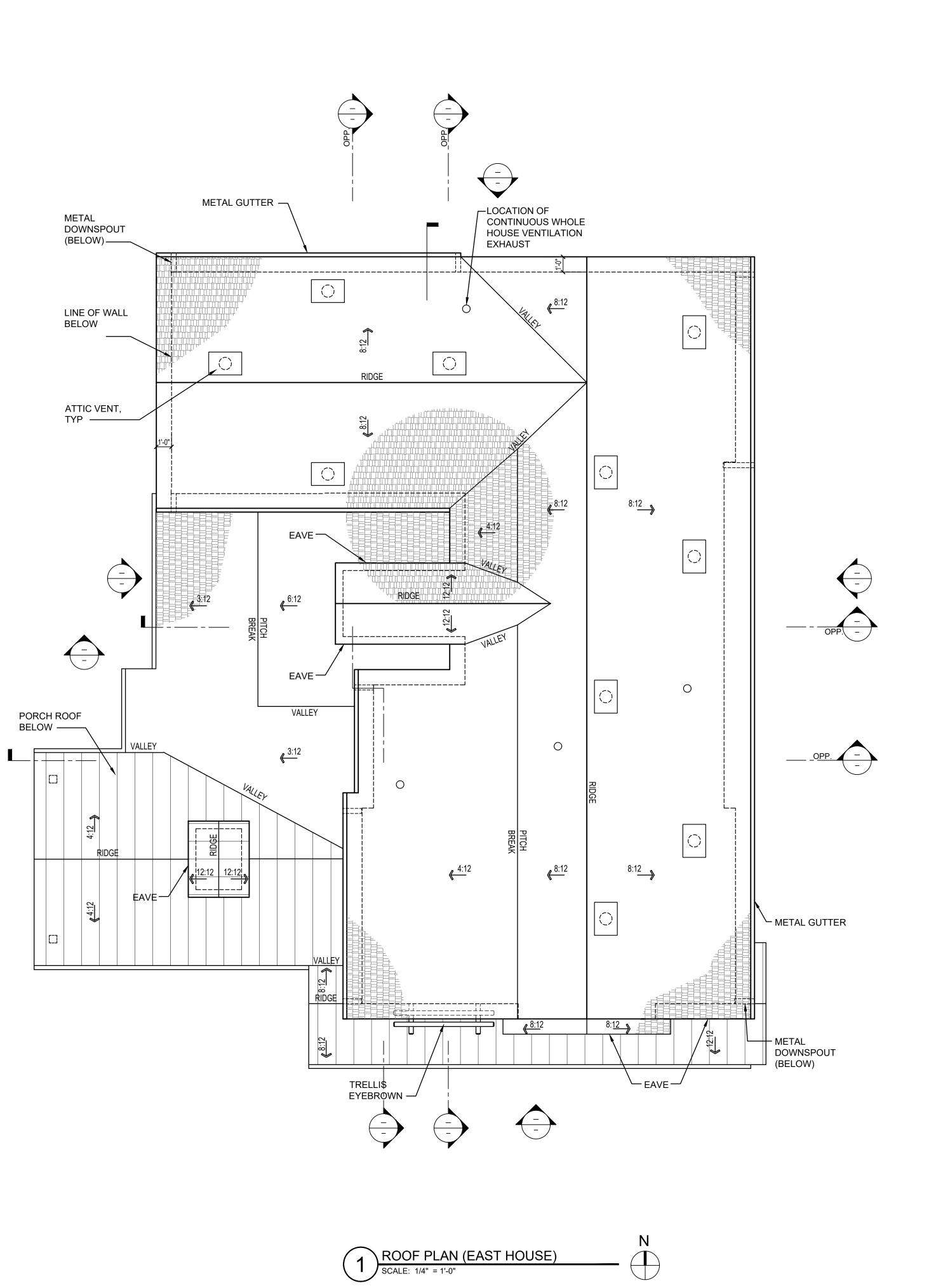
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Drawing Title

SECOND FLOOR PLAN (WEST HOUSE)

SECOND FLOOR PLAN (WEST HOUSE)



Architect:

Bryant Palmer Soto Inc.
Neil Stanton Palmer ARCHITECTS / Jack K. Bryant ENGINEERS
2601 Airport Drive, Suite 310, Torrance, CA 90505
Telephone: (310) 326-9111
Fax: (310) 325-0271

Builder

Proiect

2 HOMES & 2 ADU SMALL LOT ORDINANCE

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Job No.:

O2-1173:001

CADD File: K:102-1173-001 1022 WILSON COSTA MESA/CAD\SHEETS\A-4.1 ROOF PLAN E.DWG

Project Start Date:
O9-20-2023

Drawn By:
DC

Checked By:
KP

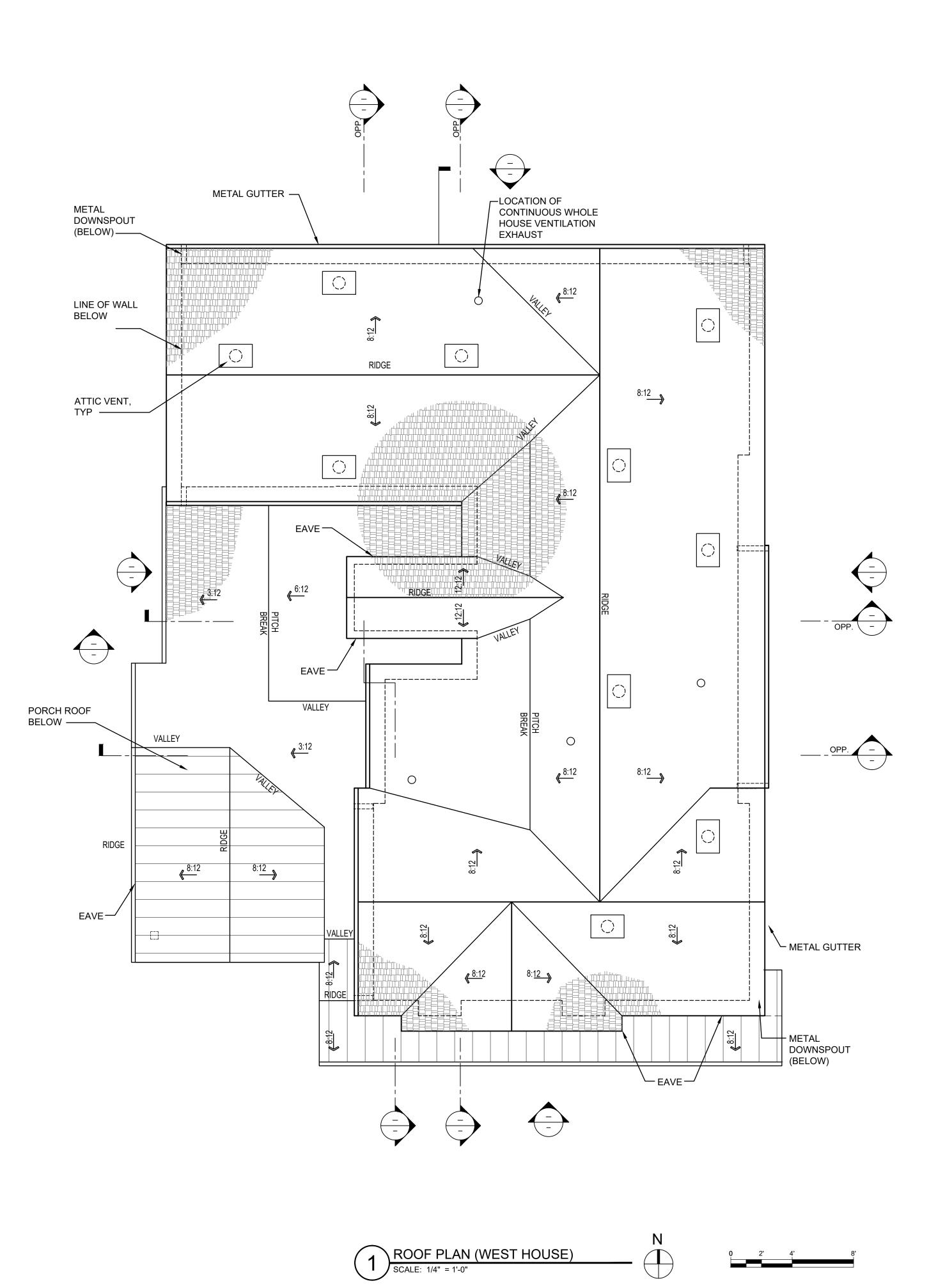
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Drawing Title

ROOF PLAN (EAST HOUSE)

Sheet

<u>A-4.1</u>



Architect:

Bryant Palmer Soto Inc.
Neil Stanton Palmer ARCHITECTS / Jack K. Bryant ENGINEERS

2601 Airport Drive, Suite 310, Torrance, CA 90505
Telephone: (310) 326-9111
Fax: (310) 325-0271

Builder

Proiect

2 HOMES & 2 ADU SMALL LOT ORDINANCE

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Job No.: 02-1173:001

CADD File: K:02-1173-001 1022 WILSON COSTA MESAICADISHEETSIA-4.2 ROOF PLAN W.DWG

Project Start Date: 09-20-2023

Drawn By: DC

Checked By: KP

Scale: AS NOTED

Drawing Title

ROOF PLAN (WEST HOUSE)

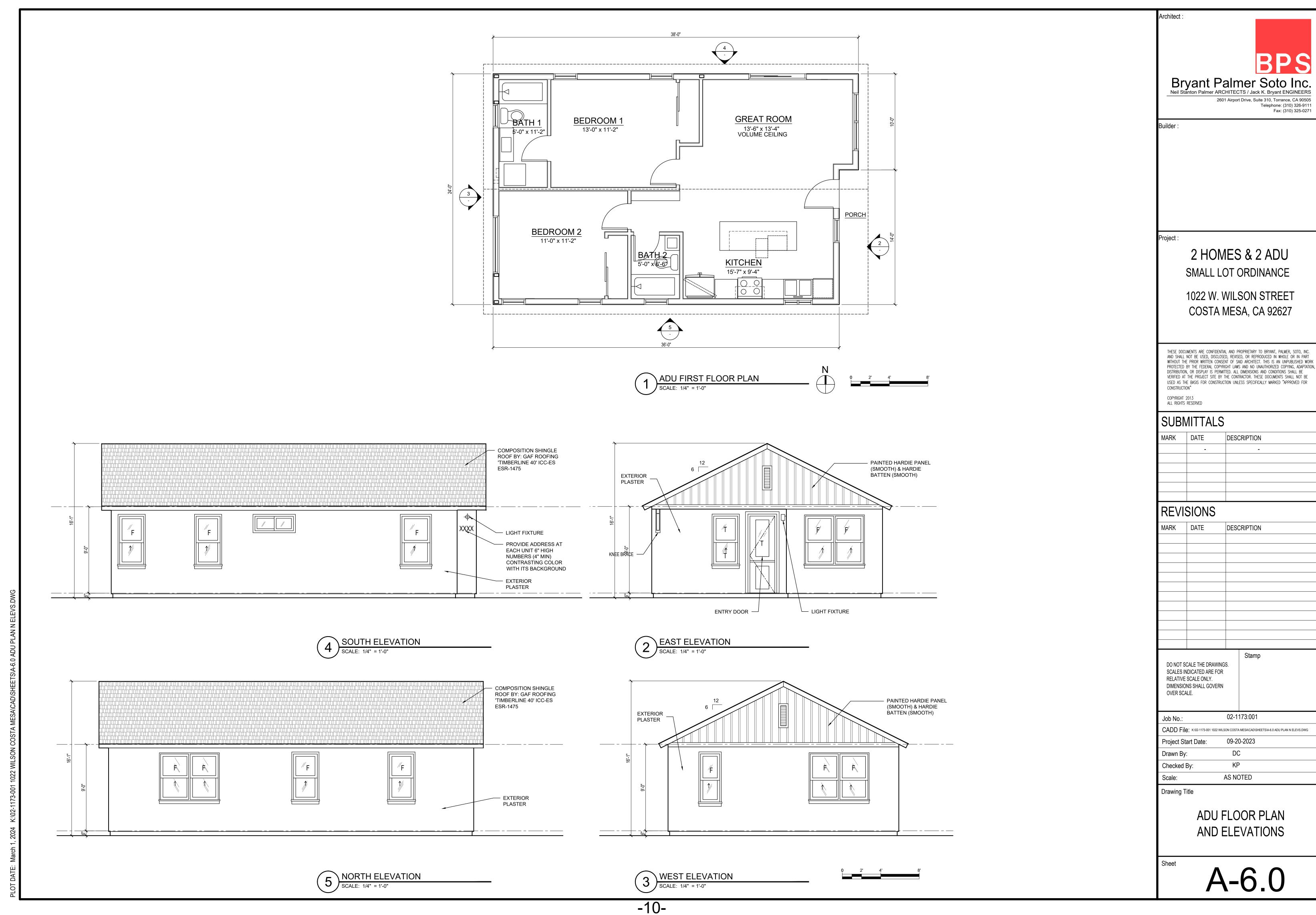
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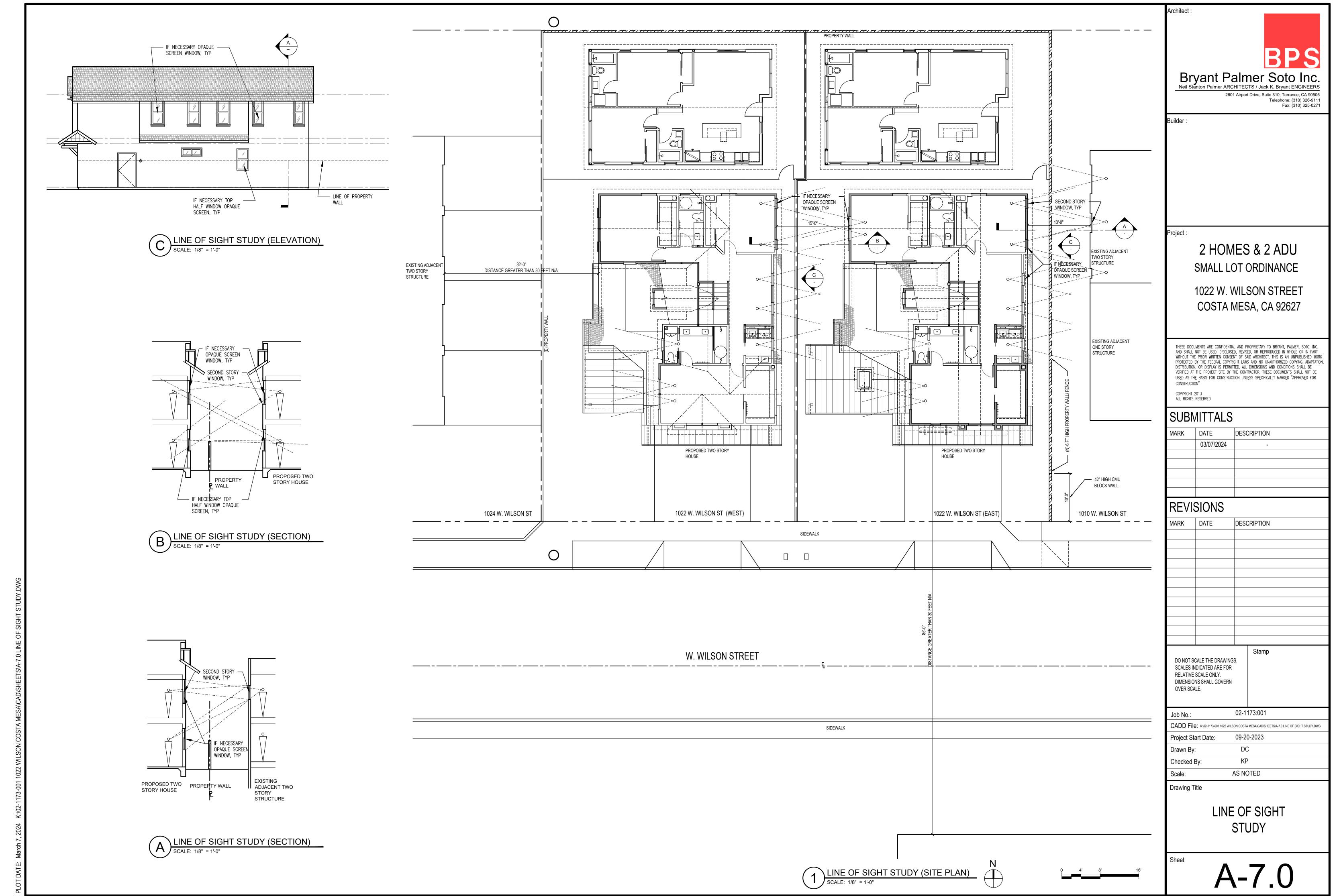
A-4.2



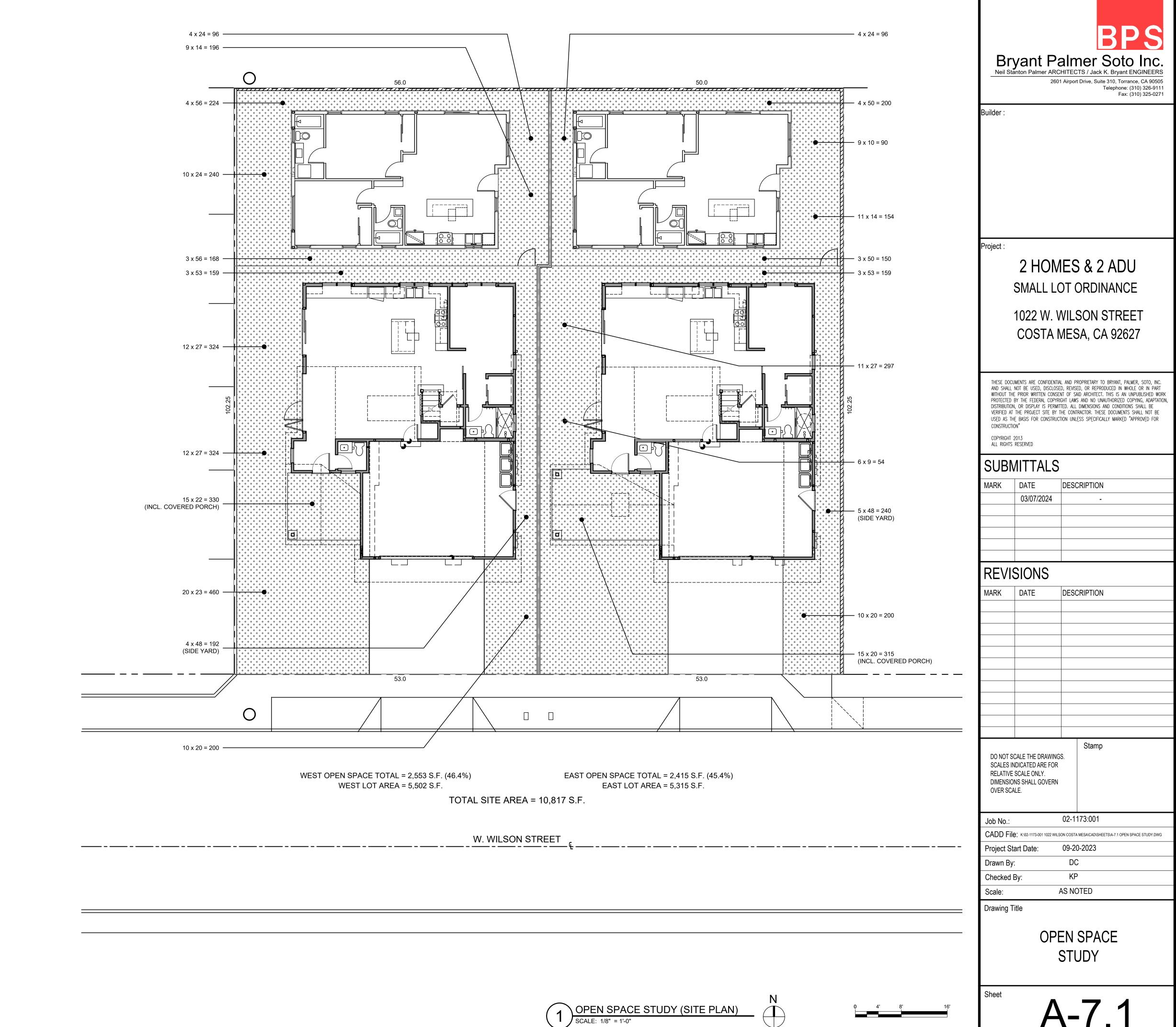


-9-





-11-



-12-

MATCHLINE - SEE SHEET L1.2 15 SON

LEGEND

DESCRIPTION

6'-0" HIGH ENHANCED MASONRY WALL

ORNAMENTAL TRELLIS NO. 1

BIRD'S EYE PEA GRAVEL

EXISTING PROPERTY LINE WALL TO REMAIN

PORTABLE BBQ (BY TENANT / OWNER)

18-INCH HIGH CORTEN STEEL RAISED PLANTER

RAISED VEGETABLE BEDS (MAY BE BY TENANT / OWNER)

PORCELAIN 24-INCH X 24-INCH TILE PAVING OR SCORED CONCRETE

FLAGSTONE PAVING ON SAND BED

STANDARD CONCRETE PAVING

6'-0" HIGH TUBULAR STEEL FENCE

VINE POCKET

PROPOSED VINYL GATE

PORTABLE FIRE PIT (BY TENANT / OWNER)

6'-0" PROPERTY LINE VINYL FENCE

STREET TREE PER CITY OF COSTA MESA

LOW MASONRY WALL AND PILASTER

EXISTING 2-FT HIGH END COLUMN AND WALL - PROTECT IN PLACE

SELF CONTAINED WATER FEATURE ELEMENT

EXISTING 2-FT HIGH WALL - TO BE REMOVED FOR NEW 6'-0" ENHANCED MASONRY WALL

HARDSCAPE LEGEND

DESCRIPTION

3/4-INCH ROCK MULCH

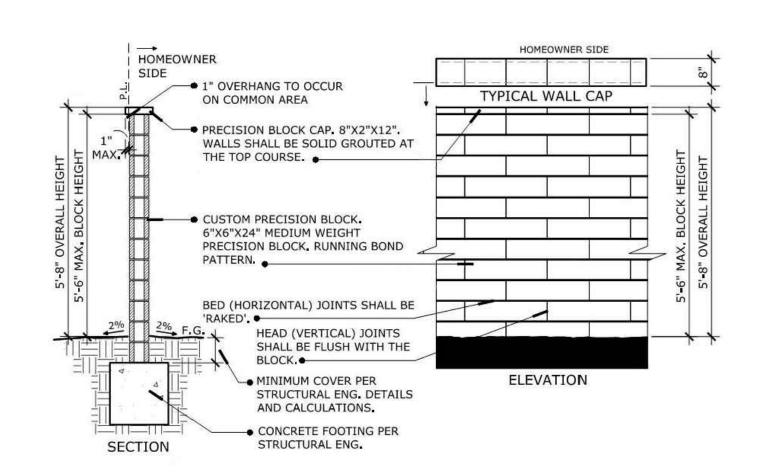
BIRD'S EYE PEA GRAVEL



ENHANCED CONCRETE OR PAVERS



CONCRETE



WEST LOT LANDSCAPE TABULATION:

- GROUND COVER / GROUND COVER SHRUB = 610 S.F. (71% OF LS AREA)

- SHRUBS REQUIRED OPEN SPACE: 862 S.F. / 25 S.F. = 35 SHRUBS REQ.
- SHRUBS PROVIDED: 191 SHRUBS & VINES PROVIDED
- SIXTY (60) PERCENT OF THE REQUIRED SHRUBS SHALL BE A MINIMUM OF FIVE (5) GALLONS: 14 FIVE-GALLON REQUIRED (60%)
- 5 / 15 GAL SHRUBS PROVIDED: 116 PROVIDED

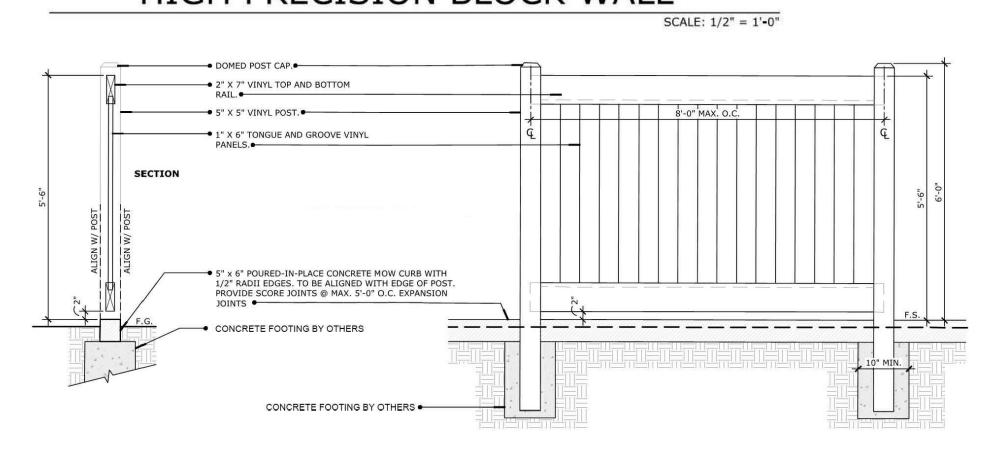
AND SHRUB PLANT COUNTS AND SIZING PER ORDINANCE (SEE TABULATION) BASED ON THE LANDSCAPED AREA. PROFESSIONAL JUDGEMENT IS USED TO MAXIMIZE AESTHETICS WHILE ALLOWING LANDSCAPE TO MATURE PROPERLY

SCALE: 3/4" = 1'-0"

AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED WITH SUBSURFACE LANDSCAPE DRIPLINE.

LANDSCAPE SHALL MEET CITY WATER CONSERVATION GUIDELINES.

HIGH PRECISION BLOCK WALL



VINYL FENCE ON MOW CURB

• TOTAL LANDSCAPE AREA = 862 S.F.

• TREES REQUIRED LANDSCAPE AREA: 862 S.F. / 200 S.F. = 5 TREES REQ.

• TREES PROVIDED: 7 TREES PROVIDED / 86% EVERGREEN

SUMMARY:

LANDSCAPE HAS BE DESIGNED TO MEET OR EXCEED MINIMUM TREE

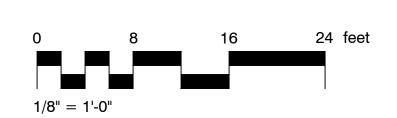
IRRIGATION NOTES:

QTY SIZE **BOTANICAL NAME COMMON NAME** WUCOLS VERY LOW / EVERGREEN DRACAENA DRACO DRAGON TREE 24" BOX STD ERIOBOTRYA DEFLEXA **BRONZE LOQUAT** 24" BOX STD MEDIUM / EVERGREEN FEIJOA SELLOWIANA PINEAPPLE GUAVA 24" BOX 'LOW BRANCH' LOW / EVERGREEN MELALEUCA QUINQUENERVIA PAPERBARK TREE 24" BOX STD LOW / EVERGREEN METROSIDEROS EXCELSA 36" BOX MULTI MEDIUM / EVERGREEN NEW ZEALAND CHRISTMAS TREE OLEA EUROPAEA B&B 15X15` **EUROPEAN OLIVE** LOW / EVERGREEN DESERT MUSEUM PALO VERDE PARKINSONIA X 'DESERT MUSEUM' VERY LOW / DECIDUOUS 1 36" BOX 'LOW BRANCH' **BOTANICAL NAME COMMON NAME** SIZE WUCOLS SPACING QTY SHRUBS **AEONIUM URBICUM** DINNER PLATE AEONIUM 1 GAL LOW 12" o.c. 5 GAL AGAVE ATTENUATA FOXTAIL AGAVE LOW 30" o.c. ALOE ARBORESCENS TORCH ALOE 15 GAL LOW 42" o.c. 5 GAL ALOE BARBADENSIS BARBADOS ALOE LOW 36" o.c. CUPRESSUS SEMPERVIRENS 'MONSHEL' TINY TOWER ITALIAN CYPRESS 15 GAL LOW 30" o.c. DIANELLA REVOLUTA 'LITTLE REV' LITTLE REV FLAX LILY 5 GAL LOW GREWIA CAFFRA LAVENDER STARFLOWER 15 GAL ESPALIER 18" o.c. LOW 5 GAL LEONOTIS LEONURUS LION'S TAIL LOW 36" o.c. LIGUSTRUM JAPONICUM 'TEXANUM' TEXAS JAPANESE PRIVET 5 GAL COLUMN MEDIUM 34" o.c. PENNISETUM X 'FAIRY TAILS' FAIRY TAILS FOUNTAIN GRASS 5 GAL MEDIUM PODOCARPUS ELONGATUS 'MONMAL' ICEE BLUE YELLOW WOOD 15 GAL MEDIUM 36" o.c. COMPACT CAROLINA CHERRY LAUREL 24" BOX PRUNUS CAROLINIANA 'COMPACTA' MEDIUM 42" o.c. RHAPHIOLEPIS UMBELLATA 'MINOR' DWARF YEDDA HAWTHORN LOW 24" o.c. RHAPHIOLEPIS X 'MONTIC' MAJESTIC BEAUTY INDIAN HAWTHORN 24" BOX MEDIUM 72" o.c. TRACHELOSPERMUM JASMINOIDES CHINESE STAR JASMINE 15 GAL ESPALIER LOW 18" o.c. 15 GAL ESPALIER 18" o.c. GROUND COVERS / GROUND COVER SHRUB BULBINE FRUTESCENS 'TINY TANGERINE' TINY TANGERINE BULBINE 1 GAL 12" o.c. LOW DYMONDIA MARGARETAE SILVER CARPET DYMONDIA 4" LOW 12" o.c. 80 SF SENECIO SERPENS 248 SF BLUE CHALKSTICKS LOW ALOE X 'BLUE ELF' BLUE ELF ALOE 5 GAL LOW 1 GAL FESTUCA OVINA GLAUCA BLUE SHEEP FESCUE LOW 12" o.c. MYRTUS COMMUNIS 'COMPACTA' DWARF COMMON MYRTLE 5 GAL LOW SENECIO FICOIDES 'MOUNT EVEREST' SKYSCRAPER SENECIO 5 GAL LOW 15" o.c. NOTE: GROUND COVER AND GROUND COVER SHRUBS ARE INTENDED

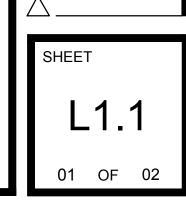
TO SPREAD FORMING 100 % SOIL COVERAGE TO MEET THE MINIMUM CITY 70% SOIL COVERAGE.

PLANT LEGEND WEST LOT

- TREES ARE EXCEEDING THE "15 GALLON" MINIMUM CITY TREE SIZE AS SHOWN IN THE LEGEND.







2

0

JOB NUMBER

■ SHEET TITLE

SUBMITTALS

REVISIONS

SCALE

WIL-2301.01

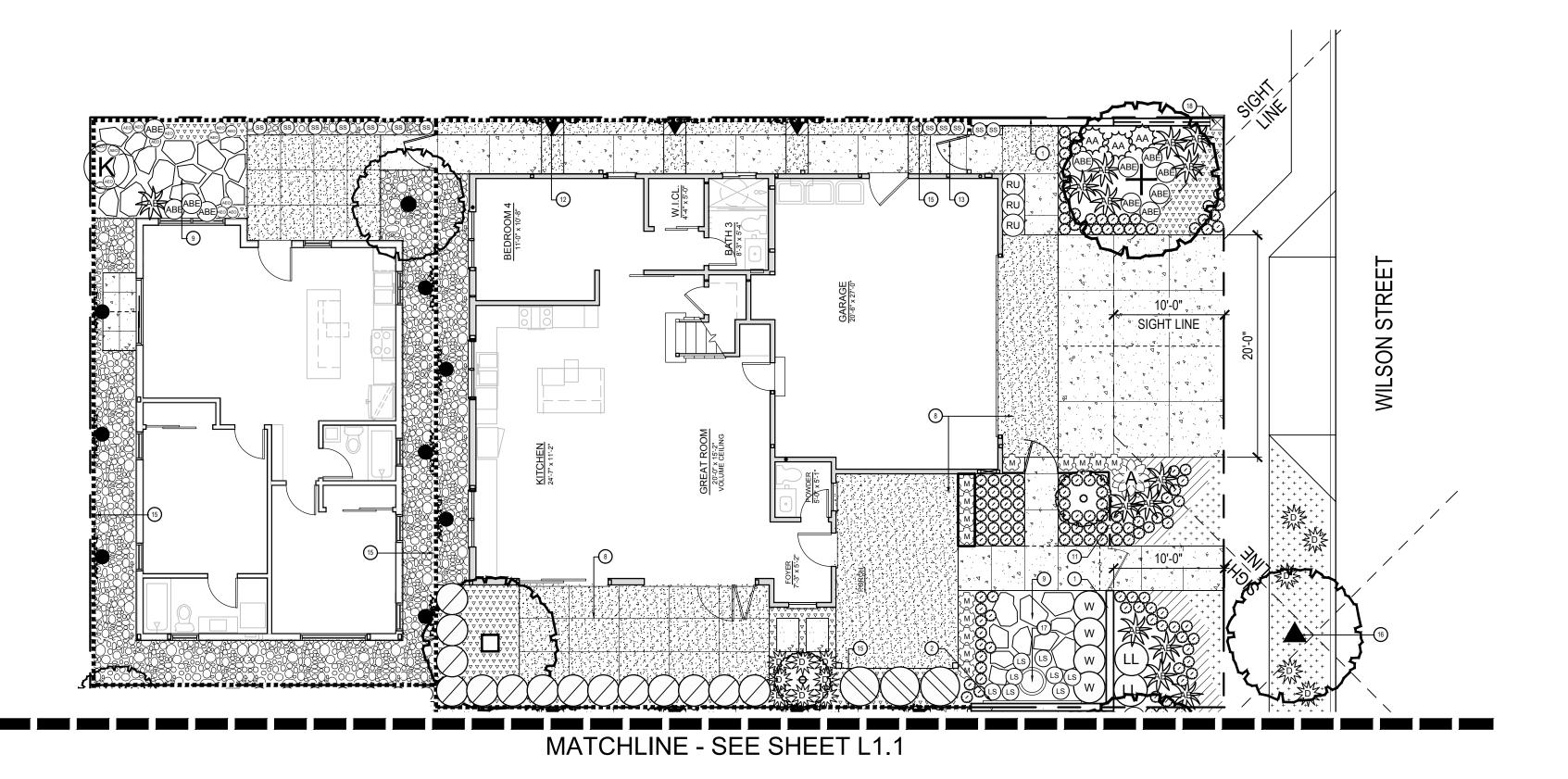
NN / AG

WEST LOT PRELIM

LANDSCAPE PLAN

AS NOTED

■ DRAWN / CHECKED



LEGEND

DESCRIPTION

6'-0" HIGH ENHANCED MASONRY WALL

ORNAMENTAL TRELLIS NO. 1

BIRD'S EYE PEA GRAVEL

EXISTING PROPERTY LINE WALL TO REMAIN

PORTABLE BBQ (BY TENANT / OWNER)

18-INCH HIGH CORTEN STEEL RAISED PLANTER

RAISED VEGETABLE BEDS (MAY BE BY TENANT / OWNER)

PORCELAIN 24-INCH X 24-INCH TILE PAVING OR SCORED CONCRETE

FLAGSTONE PAVING ON SAND BED

STANDARD CONCRETE PAVING

6'-0" HIGH TUBULAR STEEL FENCE

VINE POCKET

PROPOSED VINYL GATE

PORTABLE FIRE PIT (BY TENANT / OWNER)

6'-0" PROPERTY LINE VINYL FENCE

STREET TREE PER CITY OF COSTA MESA

SELF CONTAINED WATER FEATURE ELEMENT

LOW MASONRY WALL AND PILASTER

EXISTING 2-FT HIGH END COLUMN AND WALL - PROTECT IN PLACE

EXISTING 2-FT HIGH WALL - TO BE REMOVED FOR NEW 6'-0" ENHANCED MASONRY WALL

HARDSCAPE LEGEND

3/4-INCH ROCK MULCH

BIRD'S EYE PEA GRAVEL

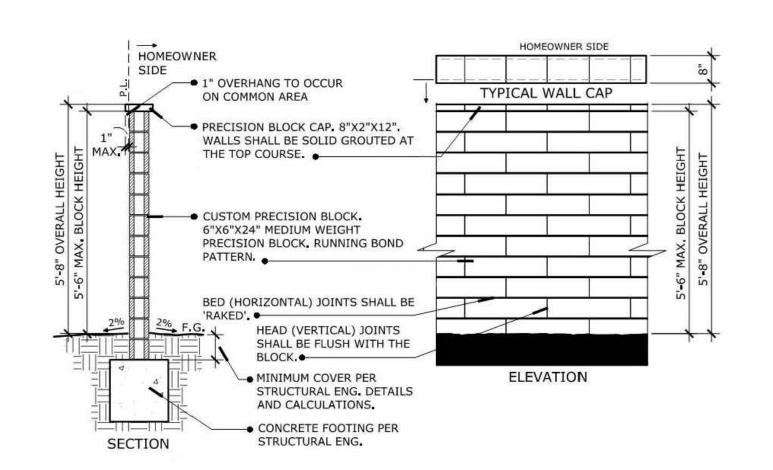
DESCRIPTION



ENHANCED CONCRETE OR PAVERS



CONCRETE



HIGH PRECISION BLOCK WALL

→ 2" X 7" VINYL TOP AND BOTTOM

■ 1" X 6" TONGUE AND GROOVE VINYL

CONCRETE FOOTING BY OTHERS

■ 5" x 6" POURED-IN-PLACE CONCRETE MOW CURB WITH

PROVIDE SCORE JOINTS @ MAX, 5'-0" O.C. EXPANSION

CONCRETE FOOTING BY OTHERS •-

● 5" X 5" VINYL POST. ●

EAST LOT LANDSCAPE TABULATION:

- TOTAL LANDSCAPE AREA = 777 S.F.
- GROUND COVER / GROUND COVER SHRUB = 550 S.F. (71% OF LS AREA)
- TREES REQUIRED LANDSCAPE AREA: 777 S.F. / 200 S.F. = 4 TREES REQ.
- TREES PROVIDED: 5 TREES PROVIDED / 80% EVERGREEN
- SHRUBS REQUIRED OPEN SPACE: 777 S.F. / 25 S.F. = 32 SHRUBS REQ.
- SHRUBS PROVIDED: 262 SHRUBS & VINES PROVIDED
- SIXTY (60) PERCENT OF THE REQUIRED SHRUBS SHALL BE A MINIMUM OF FIVE (5) GALLONS: 13 FIVE-GALLON REQUIRED (60%)
- 5 / 15 GAL SHRUBS PROVIDED: 102 PROVIDED

SUMMARY:

LANDSCAPE HAS BE DESIGNED TO MEET OR EXCEED MINIMUM TREE AND SHRUB PLANT COUNTS AND SIZING PER ORDINANCE (SEE TABULATION) BASED ON THE LANDSCAPED AREA. PROFESSIONAL JUDGEMENT IS USED TO MAXIMIZE AESTHETICS WHILE ALLOWING LANDSCAPE TO MATURE PROPERLY

IRRIGATION NOTES:

SCALE: 1/2" = 1'-0"

8'-0" MAX. O.C.

AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED WITH SUBSURFACE LANDSCAPE DRIPLINE.

LANDSCAPE SHALL MEET CITY WATER CONSERVATION GUIDELINES.

PLANT LEGEND EAST LOT

BOTANICAL NAME

EUPHORBIA INGENS

FEIJOA SELLOWIANA

GREWIA CAFFRA

MELALEUCA QUINQUENERVIA

PARKINSONIA X 'DESERT MUSEUM'

BOTANICAL NAME

AEONIUM URBICUM

AGAVE ATTENUATA

ALOE ARBORESCENS

ALOE BARBADENSIS

GREWIA CAFFRA

KALANCHOE BEHARENSIS

LEONOTIS LEONURUS

TRACHELOSPERMUM JASMINOIDES

GROUND COVERS / GROUND COVER SHRUB

SENECIO SERPENS

ALOE X 'BLUE ELF'

DYMONDIA MARGARETAE

FESTUCA OVINA GLAUCA

LAVANDULA STOECHAS

MYRTUS COMMUNIS 'COMPACTA'

SENECIO FICOIDES 'MOUNT EVEREST'

WESTRINGIA FRUTICOSA 'GREY BOX'

DIANELLA REVOLUTA 'LITTLE REV'

LIGUSTRUM JAPONICUM 'TEXANUM'

PRUNUS CAROLINIANA 'COMPACTA'

RHAPHIOLEPIS UMBELLATA 'MINOR'

SHRUBS

COMMON NAME

CANDELABRA TREE

PINEAPPLE GUAVA

PAPERBARK TREE

COMMON NAME

DINNER PLATE AEONIUM

FOXTAIL AGAVE

TORCH ALOE

FELT PLANT

LION'S TAIL

BARBADOS ALOE

LITTLE REV FLAX LILY

LAVENDER STARFLOWER

TEXAS JAPANESE PRIVET

DWARF YEDDA HAWTHORN

CHINESE STAR JASMINE

SILVER CARPET DYMONDIA

BLUE CHALKSTICKS

BLUE SHEEP FESCUE

SPANISH LAVENDER

DWARF COMMON MYRTLE

SKYSCRAPER SENECIO

GREY BOX COAST ROSEMARY

BLUE ELF ALOE

COMPACT CAROLINA CHERRY LAUREL 24" BOX

LAVENDER STARFLOWER

DESERT MUSEUM PALO VERDE

- GROUND COVER AND GROUND COVER SHRUBS ARE INTENDED TO SPREAD FORMING 100 % SOIL COVERAGE TO MEET THE MINIMUM CITY 70% SOIL COVERAGE.
- TREES ARE EXCEEDING THE "15 GALLON" MINIMUM CITY TREE SIZE AS SHOWN IN THE LEGEND.

BULBINE FRUTESCENS 'TINY TANGERINE' TINY TANGERINE BULBINE



WUCOLS

24" BOX `LOW BRANCH` LOW / EVERGREEN

LOW / EVERGREEN

LOW / EVERGREEN

LOW / EVERGREEN

VERY LOW / EVERGREEN

LOW

LOW

LOW

LOW

LOW

LOW

LOW

LOW

MEDIUM

MEDIUM

LOW

WUCOLS SPACING QTY

12" o.c.

30" o.c.

42" o.c.

36" o.c.

28" o.c.

18" o.c.

48" o.c.

36" o.c.

34" o.c.

42" o.c.

24" o.c.

18" o.c.

12" o.c.

12" o.c.

22" o.c.

12" o.c.

18" o.c.

15" o.c.

34" o.c.

36 SF

204 SF

SIZE

24" BOX

24" BOX STD

24" BOX STD

SIZE

1 GAL

5 GAL

15 GAL

5 GAL

5 GAL

5 GAL

5 GAL

5 GAL

5 GAL

1 GAL

1 GAL

5 GAL

5 GAL

5 GAL

15 GAL ESPALIER

5 GAL COLUMN

15 GAL ESPALIER

36" BOX 'LOW BRANCH'

QTY

HOME

(A) O

JOB NUMBER

WIL-2301.01 ■ DRAWN / CHECKED NN / AG

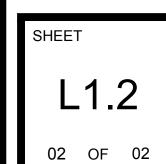
■ SHEET TITLE EAST LOT PRELIM LANDSCAPE PLAN

> ■ SCALE AS NOTED

SUBMITTALS

REVISIONS

NORTH





GENERAL NOTES - GRADING PLANS

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE GRADING CODE OF THE COUNTY OF ORANGE AND ANY AMENDMENTS BY THE CITY OF COSTA MESA OR SPECIAL REQUIREMENTS OF THE PERMIT. A COPY OF THE GRADING CODE AND MANUAL SHALL BE RETAINED ON THE JOB SITE WHILE WORK IS IN PROGRESS. GRADING SHALL NOT BE STARTED WITHOUT FIRST NOTIFYING THE CITY INSPECTOR. PRE-GRADING MEETING ON THE SITE IS REQUIRED BEFORE START OF GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOIL ENGINEER. ENGINEERING GEOLOGIST. CITY GRADING INSPECTOR. AND WHEN REQUIRED THE ARCHAEOLOGIST AND PALEONTOLOGIST. THE REQUIRED INSPECTIONS FOR GRADING WILL BE EXPLAINED AT THIS MEETING. . ISSUANCE OF A GRADING PERMIT DOES NOT ELIMINATE THE NEED FOR PERMITS FROM OTHER AGENCIES WITH REGULATORY RESPONSIBILITIES FOR CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE WORK AUTHORIZED ON THIS PLAN. 4. THE GRADING PERMIT AND AN APPROVED COPY OF THE GRADING PLAN SHALL BE ON THE PERMITTED SITE WHILE WORK IS IN PROGRESS.

PRELIMINARY SOIL AND GEOLOGY REPORTS AND ALL SUBSEQUENT REPORTS AS

APPROVED BY THE BUILDING DIVISION ARE CONSIDERED A PART OF THE APPROVED 6. THE SOIL ENGINEER AND ENGINEERING GEOLOGIST SHALL PERFORM SUFFICIENT INSPECTIONS AND BE AVAILABLE DURING GRADING AND CONSTRUCTION TO VERIFY COMPLIANCE WITH THE PLANS, SPECIFICATIONS AND THE CODE WITHIN THEIR PURVIEW. THE CIVIL ENGINEER SHALL BE AVAILABLE DURING GRADING TO VERIFY COMPLIANCE WITH THE PLANS, SPECIFICATIONS, CODE AND ANY SPECIAL CONDITIONS OF THE PERMIT EROSION CONTROL NOTES

CHECK BERMS AND BASINS.

DIRECTED TOWARD DESILTING FACILITIES.

WATER CREATES A HAZARDOUS CONDITION.

ENVIRONMENTAL NOTES:

43. IN CASE OF EMERGENCY, CALL GRANT BIXBY AT (949) 677-011

CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.

AND INSURE THAT WORK IS IN ACCORDANCE WITH APPROVED PLANS.

INTO THE STORM DRAIN SYSTEM OR THE WATERSHED IS PROHIBITED

44. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE

AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. NECESSARY MATERIALS SHALL BE

AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID

45. EROSION CONTROL DEVICES SHALL NOT BE MOVED OR MODIFIED WITHOUT THE

46. ALL REMOVABLE EROSION PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END

47. AFTER A RAINSTORM, ALL SILT AND DEBRIS SHALL BE REMOVED FROM STREETS,

FACE OF SLOPES AT THE CONCLUSION OF EACH WORKING DAY, DRAINAGE IS TO BE

49. THE PERMITTEE AND CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE

OF EACH WORKING DAY WHEN THE 5-DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.

48. GRADED AREAS ON THE PERMITTED AREA PERIMETER MUST DRAIN AWAY FROM THE

NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS INTO AREAS WHERE IMPOUNDED

50. THE PERMITTEE AND CONTRACTOR SHALL INSPECT THE EROSION CONTROL WORK

51. THE PERMITTEE SHALL NOTIFY ALL GENERAL CONTRACTOR, SUBCONTRACTORS,

ANTICIPATED STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE.

SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, GLUES, LIMES, PESTICIDES,

MATERIAL SUPPLIERS, LESSEES, AND PROPERTY OWNER THAT DUMPING OF CHEMICALS

52. PERMITTEE SHALL MAINTAIN CONSTRUCTION SITE IN SUCH A CONDITION THAT AN

POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL

ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING AND SUPERCHLORINATED

POTABLE WATER LINE FLUSHING, DURING CONSTRUCTION, PERMITTEE SHALL DISPOSE OF

PERMITTEE MAY DISCHARGE MATERIAL OTHER THAN STORMWATER ONLY WHEN

NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND

WHERE THEY DO NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY

54. DEWATERING OF CONTAMINATED GROUNDWATER OR DISCHARGING CONTAMINATED

SOILS VIA SURFACE EROSION IS PROHIBITED. DEWATERING OF NON-CONTAMINATED

GROUNDWATER REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM

PERMIT FROM THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT FROM

THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD. 58. SPECIAL NOTE:

"SURVEY MONUMENTS SHALL BE PRESERVED AND REFERENCED BEFORE CONSTRUCTION

"SURVEY MONUMENTS SHALL BE PRESERVED AND REFERENCED BEFORE CONSTRUCTION

AND REPLACED AFTER CONSTRUCTION PURSUANT TO SECTION 8771 OF THE BUSINESS

The following requirements are for deployment of selected construction BMPs and apply

C. Minimization of areas that are cleared and graded to only the portion of the site that

E. Minimization of grading during the wet season and correlation of grading with seasonal

F. Limitation of grading to a maximum disturbed area as determined by the County /

city before either temporary or permanent erosion controls are implemented to prevent

size of disturbed soil areas by a set amount beyond the maximum, if the individual site

stormwater pollution. The County / city has the option of temporarily increasing the

G. Temporary stabilization and reseeding of disturbed soil areas as rapidly as feasible.

K. Sediment control BMPs shall be implemented at all appropriate locations along the

M. Waste management and materials pollution control BMPs shall be implemented to

L. Tracking control BMPs to control off-site sediment tracking shall be implemented and

N. Non—stormwater BMPs shall be implemented to reduce or prevent the contamination

forecast predicts a greater than 50% probability of precipitation), the project must be

P. BMP failures must be repaired or replaced with an acceptable alternate as soon as it

is safe to do so. Repairs or replacements must result in an adequate BMP, or additional

sediment control BMPs necessary to protect all active exposed areas from erosion and

Q. Active exposed areas: Sufficient materials needed to install standby erosion and

to reduce or prevent sediment discharges shall be stored on site. The total active

exposed area shall not exceed that which can be adequately protected by deploying

standby erosion control and sediment control BMPs prior to a predicted rain event.

control). The ability to deploy standby BMP materials is not sufficient for these areas;

permanent erosion control BMPs (physical or vegetation) are not considered "exposed".

Deployment of permanent erosion control BMPs should commence as soon as practical

W. Retention, reduction, and proper management of all stormwater pollutant discharges

R. Inactive exposed areas: All exposed areas not being actively worked in shall be

protected from erosion with temporary or permanent BMPs (erosion and sediment

S. Completed areas: Areas that have already been protected from erosion using

inspected and BMPs must be maintained or deployed as needed to protect the project

site perimeter, at all operational storm drain inlets and at all non-active slopes.

prevent the contamination of stormwater by construction wastes and materials.

O. Weather tracking: projects shall monitor the National Weather Service

(www.weather.gov) probability of precipitation. When a rain event is predicted

H. Non-stormwater management measures to prevent illicit discharges and control

is in compliance with applicable stormwater regulations and the site has adequate

B. Development and implementation of a site specific run-off management plan.

AND REPLACED AFTER CONSTRUCTION PURSUANT TO SECTION 8771 OF THE BUSINESS

AND PROFESSIONS CODE. PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER

NUISANCE; OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER

HERBICIDES, WOOD, PRESERVATIVES AND SOLVENTS, ASBESTOS FIBERS, PAINT FLAKES

OR STUCCO FRAGMENTS, FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOT OR

BATTERY FLUIDS, FERTILIZERS, VEHICLE/EQUIPMENT WASH WATER AND CONCRETE

WASH WATER, CONCRETE DETERGENT OR FLOATABLE WASTES, WASTES FROM ANY

SUCH MATERIALS IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE,

DISPOSAL IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.

STANDARD; CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR

FEDERAL REGULATIONS 40 CFR PARTS 117 AND 302.

Minimum Site BMP Requirements

D. Minimization of exposure time of disturbed soil areas.

A. Pollution prevention where appropriate.

dry weather periods to the extent feasible.

I. Erosion Control BMPs shall be implemented.

of stormwater from construction activities.

from discharging pollutants. (CGP projects only)

BMPs should be installed to provide adequate protection.

erosion and sediment control BMPs must actually be deployed.

T. Preservation of natural hydrologic features where feasible.

V. Evaluation and maintenance of all BMPs, until removed.

on site to the Maximum Extent Practicable (MEP) standard.

J. Preservation of riparian buffers and corridors where feasible.

year-round (not just during the rainy season) to all projects.

control practices implemented to prevent stormwater pollution.

J. Wind erosion control BMPs (dust control) shall be implemented.

QUALITY CONTROL BOARD.

AND PROFESSIONS CODE".

is necessary for construction.

stormwater pollution sources.

on completed areas.

PHYSICALLY SEPARATED FROM POTENTIAL STORM WATER RUNOFF. WITH ULTIMATE

8. THE SOIL ENGINEER AN ENGINEERING GEOLOGIST SHALL. AFTER CLEARING AND PRIOR TO THE PLACEMENT OF FILL IN CANYONS, INSPECT EACH CANYON FOR AREAS OF ADVERSE STABILITY AND TO DETERMINE THE PRESENCE OR ABSENCE OF SUBSURFACE WATER OR SPRING FLOW. IF NEEDED, SUBDRAINS WILL BE DESIGNED AND CONSTRUCTED PRIOR TO THE PLACEMENT OF FILL IN EACH RESPECTIVE CANYON. 9. SUBDRAIN OUTLETS SHALL BE COMPLETED AT THE BEGINNING OF THE SUBDRAIN

10. THE EXACT LOCATION OF THE SUBDRAINS SHALL BE SURVEYED IN THE FIELD FOR LINE/GRADE AND SHOWN ON AS-GRADED PLANS. 11. AREAS TO RECEIVE FILL SHALL BE PROPERLY PREPARED AND APPROVED BY THE BUILDING OFFICIAL AND SOILS ENGINEER PRIOR TO PLACING FILL. 2. FILLS SHALL BE BENCHED INTO COMPETENT MATERIAL PER EMA STD. PLAN NO. 1322. 13. ALL EXISTING FILLS SHALL BE APPROVED BY THE BUILDING OFFICIAL OR REMOVED PRIOR TO PLACING ADDITIONAL FILLS.

14. FILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 90% RELATIVE COMPACTION. AGGREGATE BASE FOR ASPHALTIC AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% RELATIVE COMPACTION. MAXIMUM DENSITY SHALL BE DETERMINED BY UNIFORM BUILDING CODE STANDARD NO. 70-1 OR APPROVED EQUIVALENT AND FIELD DENSITY BY UNIFORM BUILDING CODE STANDARD NO. 70-2 OR APPROVED EQUIVALENT. 15. CUT AND FILL SLOPES SHALL BE NO STEEPER THAN 2 FOOT HORIZONTAL TO 1 FOOT VERTICAL (2:1) EXCEPT WHERE SPECIFICALLY APPROVED OTHERWISE. 16. ALL CUT SLOPES SHALL BE INVESTIGATED BOTH DURING AND AFTER GRADING BY THE ENGINEERING GEOLOGIST TO DETERMINE IF ANY SLOPE STABILITY PROBLEM EXISTS. SHOULD EXCAVATION DISCLOSE ANY GEOLOGICAL HAZARDS POTENTIAL GEOLOGICAL HAZARDS, THE ENGINEERING GEOLOGIST SHALL RECOMMENDED TREATMENT TO THE BUILDING OFFICIAL FOR APPROVAL. 17. WHERE SUPPORT OR BUTTRESSING OF CUT AND NATURAL SLOPES IS DETERMINED TO BE NECESSARY BY THE ENGINEERING GEOLOGIST AND SOIL ENGINEER, THE SOIL ENGINEER SHALL SUBMIT DESIGN, LOCATIONS AND CALCULATIONS TO THE BUILDING OFFICIAL PRIOR TO CONSTRUCTION. THE ENGINEERING GEOLOGIST ADN SOIL ENGINEER SHALL INSPECT AND CONTROL THE CONSTRUCTION OF THE BUTTRESSING AND CERTIFY TO THE STABILITY OF THE SLOPE AND ADJACENT STRUCTURES UPON COMPLETION. 18. WHEN CUT PADS ARE BROUGHT TO NEAR GRADE, THE ENGINEERING GEOLOGIST SHALL DETERMINE IF THE BEDROCK IS EXTENSIVELY FRACTURED OR FAULTED WILL READILY TRANSMIT WATER. IF CONSIDERED NECESSARY BY THE ENGINEERING GEOLOGIST AND SOIL ENGINEER, A COMPACTED FILL BLANKET WILL BE PLACED. 19. ALL TRENCH BACKFILLS SHALL BE TESTED AND APPROVED BY THE SOIL ENGINEER 20. ANY EXISTING IRRIGATION LINES AND CISTERNS SHALL BE REMOVED OR CRUSHED

IN PLACE AND APPROVED BY THE BUILDING OFFICIAL AND SOIL ENGINEER. I. ANY EXISTING WATER WELLS SHALL BE ABANDONED IN COMPLIANCE WITH THE SPECIFICATIONS APPROVED BY ORANGE COUNTY, HUMAN SERVICES AGENCY, DIVISION OF ENVIRONMENTAL HEALTH. 22. ANY EXISTING CESSPOOLS AND SEPTIC TANKS SHALL BE ABANDONED IN COMPLIANCE WITH THE UNIFORM PLUMBING CODE TO THE APPROVAL OF EMA/REGULATION,

SPECIAL SERVICES SECTION. 23. STOCKPILING OF EXCESS MATERIAL SHALL BE APPROVED BY THE BUILDING OFFICIAL PRIOR TO EXCAVATION. 24. EXPORT SOIL MUST GO TO A LEGAL DUMP OR TO A PERMITTED SITE APPROVED BY THE BUILDING DIVISION. 25. THE PERMITTEE IS RESPONSIBLE FOR DUST CONTROL MEASURES.

26. THE PERMITTEE SHALL GIVE REASONABLE NOTICE TO THE OWNER OF ADJOINING

LANDS AND BUILDINGS PRIOR TO BEGINNING EXCAVATION WHICH MAY AFFECT THE LATERAL AND SUBJACENT SUPPORT OF THE ADJOINING PROPERTY. THE NOTICE SHALL STATE THE INTENDED DEPTH OF EXCAVATION AND WHEN THE EXCAVATION WILL COMMENCE. ON THE PERMITTED PROPERTY TO PROTECT HIS STRUCTURE, IF HE SO DESIRES, UNLESS OTHERWISE PROTECTED BY LAW. 27. ALL CONCRETE STRUCTURES THAT COME IN CONTACT WITH THE ON-SITE SOILS SHALL BE CONSTRUCTED WITH TYPE V CEMENT UNLESS DEEMED UNNECESSARY BY SOLUABLE SULPHATE-CONTENT TESTS CONDUCTED BY THE SOIL ENGINEER.

28. SLOPES EXCEEDING 5 FEET IN HEIGHT SHALL BE PLANTED WITH AN APPROVED PLAN MATERIAL. IN ADDITION, SLOPES EXCEEDING 15 FEET IN HEIGHT SHALL BE PROVIDED WITH AN APPROVED IRRIGATION SYSTEM, UNLESS OTHERWISE APPROVED BY THE BUILDING 29. ALL EXISTING DRAINAGE COURSES THROUGH THIS SITE SHALL REMAIN OPEN

UNTIL FACILITIES TO HANDLE STORM WATER ARE APPROVED AND INSTALLED: HOWEVER, IN ANY CASE THE CONTRACTOR AND DEVELOPER SHALL BE HELD LIABLE FOR ANY DAMAGE DUE TO OBSTRUCTING NATURAL DRAINAGE PATTERNS. 30. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE. THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE 32. APPROVED PROTECTIVE MEASURES ADN TEMPORARY DRAINAGE PROVISIONS SHALL

BE USED TO PROTECT ADJOINING PROPERTIES DURING GRADING. 33. GRADING OPERATIONS INCLUDING MAINTENANCE OF FOUIPMENT WITHIN ONF—HALF MILE OF HUMAN OCCUPANCY SHALL NOT BE CONDUCTED BETWEEN HOURS OF 7:00 A.M. AND 7:00 P.M. MONDAY THRU FRIDAY, SATURDAYS 9:00 A.M. THRU 6:00 P.M. PROHIBITED ALL HOURS SUNDAYS AND THE FOLLOWING FEDERAL HOLIDAYS: CHRISTMAS DAY, NEW YEARS DAY, MEMORIAL DAY, INDEPENDENCE DAY, LABOR DAY AND THANKSGIVING DAY. (A) ALL CONSTRUCTION VEHICLES OR EQUIPMENT, FIXED OR MOBILE, OPERATED WITHIN 1,000' OF A DWELLING SHALL BE EQUIPPED WITH PROPERLY OPERATING ADN MAINTAINED

(B) STOCKPILING AND/OR VEHICLE STAGING AREAS SHALL BE LOCATED AS FAR AS PRACTICABLE FROM DWELLINGS AND WITHIN THE LIMITS OF GRADING PERMIT. 34. GRADING AND EXCAVATION SHALL BE HALTED DURING PERIODS OF HIGH WINDS. ACCORDING TO AQMD MEASURE F-4, HIGH WINDS ARE DEFINED AS 30 MPH OR GREATER. THIS LEVEL OCCURS ONLY UNDER UNUSUALLY EXTREME CONDITIONS, SUCH AS SANTA ANA WIND CONDITIONS.

35. ASPHALT SECTIONS MUST PER CODE: PARKING STALLS=3"A/C OVER 6" A/B, DRIVES 3" A/C OVER 10" (COMM.) 12" (INDUSTRIAL). OR: PRIOR TO ROUGH GRADE RELEASE FOR BUILDING PERMITS BY THE CITY INSPECTOR. THE SOIL ENGINEER SHALL SUBMIT FOR APPROVAL, PAVEMENT SECTION RECOMMENDATIONS BASSED ON "R" VALUE ANALYSIS OF THE SUBGRADE SOILS, AND EXPECTED TRAFFIC INDICES.

36. ROOF GUTTERS SHALL BE INSTALLED TO PREVENT ROOF DRAINAGE FROM FALLING ON MANUFACTURED SLOPES. 37. THE CIVIL ENGINEER, AS A CONDITION OF ROUGH GRADE APPROVAL, SHALL PROVIDE A BLUE TOP WITH ACCOMPANYING WITNESS STAKE, SET AT THE CENTER OF EACH PAD REFLECTING THE PAD ELEVATION FOR PRECISE PERMITS AND A BLUE TOP WITH WITNESS STAKE SET AT THE DRAINAGE SWALE HIGH POINT REFLECTING THE HIGH POINT ELEVATION FOR PRELIMINARY PERMITS.

38. PRIOR TO FINAL APPROVAL, THE DESIGN CIVIL ENGINEER SHALL CERTIFY TO THE BUILDING OFFICIAL THE AMOUNT OF EARTH MOVED DURING THE GRADING 39. THE ENGINEERING GEOLOGIST SHALL PERFORM PERIODIC INSPECTIONS AND

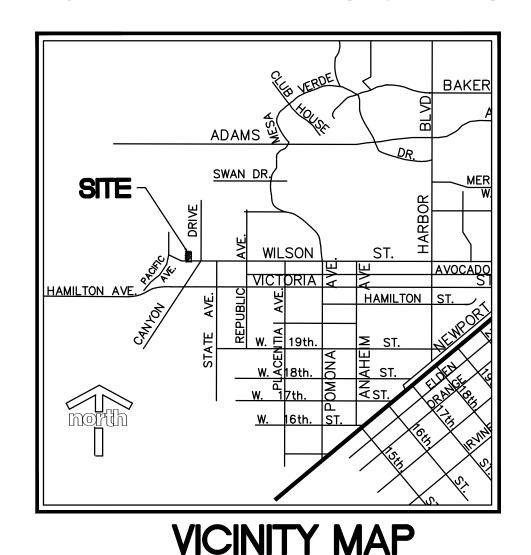
SUBMIT A COMPLETE REPORT AND MAP UPON COMPLETION OF THE ROUGH 40. THE GRADING CONTRACTOR SHALL SUBMIT A STATEMENT OF COMPLIANCE TO THE APPROVED GRADING PLAN PRIOR TO FINAL APPROVAL 41. THE COMPACTION REPORT AND APPROVAL FROM THE SOIL ENGINEER SHALL INDICATE THE TYPE OF FIELD TESTING PERFORMED. THE METHOD OF OBTAINING THE IN-PLACE DENSITY SHALL BE IDENTIFIED WHETHER SAND CONE, DRIVE RING OR

NUCLEAR, AND SHALL BE NOTED FOR EACH TEST. SUFFICIENT MAXIMUM DENSITY

DETERMINATIONS SHALL BE PERFORMED TO VERIFY THE ACCURACY OF THE MAXIMUM DENSITY CURVES USED BY THE FIELD TECHNICIAN. 42. IN THE EVENT THAT SOIL CONTAMINATION IS DISCOVERED DURING EXCAVATION AND REMOVAL OF AN EXISTING TANK, WORK SHALL BE STOPPED UNTIL A SITE ASSESSMENT AND MITIGATION PLAN HAS BEEN PREPARED, SUBMITTED AND APPROVED BY HCA/ENVIRONMENTAL HEALTH AND PDSD GRADING.

PRECISE GRADING PLAN

1022 W. WILSON STREET



<u>NPDES NOTES</u> NOTES MUST BE SHOWN AS WORDED, ON THE TITLE SHEET OF THE PLAN.

1. IN THE CASE OF EMERGENCY, CALL ____ GRANT BIXBY ___

AT WORK PHONE # ____949-677-0111 OR HOME PHONE 3 2. SEDIMENT FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING STRUCTURAL CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE. 3. STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF,

4. APPROPRIATE BMP'S FOR CONSTRUCTION-RELATED MATERIALS. WASTES. SPILLS SHALL BE IMPLEMENTED TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTIES BY WIND OR RUNOFF. 5. RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT CONSTRUCTION SITES UNLESS TREATED TO REDUCE OR REMOVE SEDIMENT AND OTHER POLLUTANTS. 6. ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OR THE REQUIRED BEST MANAGEMENT PRACTICES AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS. 7. AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH OR RECYCLE

8. CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT AN ANTICIPATED STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. DISCHARGES OF MATERIAL OTHER THAN STORMWATER ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND WHERE THEY DO NOT: CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD: CAUSE OR THREATEN TO CAUSE POLLUTION. CONTAMINATION. OR NUISANCE: OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE LINDER FEDERAL REGULATIONS 40 CER PARTS 117 AND 302 9. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS, WASTES FROM PAINTS, STAINS, SEALANTS, GLUES, LIMES, PESTICIDES, HERBICIDES, WOOD PRESERVATIVES AND SOLVENTS: ASBESTOS FIBERS. PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; FERTILIZERS. VEHICLE /EQUIPMENT WASH WATER AND CONCRETE WASH WATER: CONCRETE. DETERGENT OR FLOATABLE WASTES; WASTES FROM ANY ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING AND SUPERCHLORINATED POTABLE WATER LINE FLUSHING. MARCH 2004 DURING CONSTRUCTION, PERMITTEE SHALL DISPOSE OF SUCH MATERIALS IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE, PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL,

STATE AND FEDERAL REQUIREMENTS. 10. DEWATERING OF CONTAMINATED GROUNDWATER, OR DISCHARGING CONTAMINATED SOILS VIA SURFACE EROSION IS PROHIBITED. DEWATERING OF NON—CONTAMINATED GROUNDWATER REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD. 11. GRADED AREAS ON THE PERMITTED AREA PERIMETER MUST DRAIN AWAY FROM THE FACE OF SLOPES AT THE CONCLUSION OF EACH WORKING DAY. DRAINAGE IS TO BE DIRECTED

TOWARD DESILTING FACILITIES. 12. THE PERMITTEE AND CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATES A HAZARDOUS CONDITION. 13. THE PERMITTEE AND CONTRACTOR SHALL INSPECT THE EROSION CONTROL WORK AND INSURE THAT THE WORK IS IN ACCORDANCE WITH THE APPROVED PLANS. 14. THE PERMITTEE SHALL NOTIFY ALL GENERAL CONTRACTORS, SUBCONTRACTORS, MATERIAL

LESSEES, AND PROPERTY OWNERS: THAT DUMPING OF CHEMICALS INTO THE STORM DRAIN SYSTEM OR THE WATERSHED IS PROHIBITED. 15. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT. 16. ALL REMOVABLE EROSION PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE 5-DAY RAIN PROBABILITY FORECAST EXCEEDS 40%. 17. SEDIMENTS FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENT CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE, AND STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT

PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND. 18. APPROPRIATE BMPS FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS OR RESIDUES SHALL BE IMPLEMENTED AND RETAINED ON SITE TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTY BY WIND OR RUNOFF.

SEPARATE PLAN CHECK AND PERMITS SHALL BE REQUIRED TO THE FOLLOWING ITEMS WHEN APPLICABLE: A. PARKING LIGHT POLES. PARKING LIGHT POLES EXCEEDING 6ft. IN HEIGHT SHALL REQUIRE ENGINEERED CALCULATIONS TO BE SUBMITTED AND APPROVED PRIOR TO THE ISSUANCE OF PERMIT B. TRASH ENCLOSURES C. SEWER CONNECTIONS

GENERAL NOTES FOR OFF-SITE STREET IMPROVEMENT PLAN

1. All work and materials within the public right—of—way shall conform to the City of Costa Mesa Standards. The Conditions of Approval as approved on , and shall meet the approval of the City Engineer. 2. All work shall be performed and all materials shall be in accordance with City of Costa Mesa Standard Drawings and the Specifications for Public Works Construction, (Green Book) current edition. Contractor shall furnish and install all signs, lights, barricades, flashing arrow board and any other traffic control or warning devices, including flagmen, as may be required by the City Engineer. All items mentioned shall be in conformance with the current requirements as specified in the latest edition of the "Construction Safety Orders", and W.A.T.C.H. Failure to do so will be cited under applicable section of the C.V.C. and corrective costs to the City will be 4. LANE CLOSURES: ARTERIALS— No lane closures allowed during holiday period starting the week of Thanksgiving through the week of New Years unless by special permission from the Public Services Director. LOCALS- No lane closures allowed during week of Thanksgiving, Christmas, or New Years unless by special permission from the Public 5. Contractor shall obtain a Public Services Department Construction Access and encroachment permits prior to the start of any on-site construction or within public right-of-way and request inspection 24 hours in advance of performing any work. Telephone (714) 754-5025. The Contractor shall maintain a copy of permits and signed 6. Permits will be required from the Mesa Water District, Irvine Ranch Water District, Orange Water District, Orange County Sanitation District, or Costa Mesa Sanitary District for construction or modification of water and sewer improvements to their facilities. The contractor shall notify each 48 hours prior to beginning construction. Construction on Newport Boulevard and Cal Trans right-of-way, will require permits and plan approval from Cal Trans as well as the City of Costa Mesa. Locate and protect all existing utilities in place. Plans approved by Southern California Edison, Pacific Bell, or Southern California Gas Company are required prior to issuance of encroachment permits related to their facilities. 8. The Contractor shall pay for all soil and materials tests deemed necessary as determined by the City Engineer. 9. Pavement and base thickness as shown are based on a preliminary "R" value. During construction a soils test may be requested by the City to determine the actual "R" value and the thickness will be adjusted accordingly.

Tests shall be made by a licensed Soils Engineer and approved by the City Engineer. 10. All existing drainage courses on the project must continue to function, especially during storm conditions, and approved protective measures and temporary drainage provisions must be used to protect adjoining properties during the grading project. In all cases, the Contractor and/or developer shall be held liable for any damages due to obstruction of natural drainage patterns. If the foregoing cannot be complied with, a fully executed, notarized, and recorded agreement between the affected parties will be required. All haul routed must be approved by the Manager 11. The project site shall be maintained in a "wet-down" condition to prevent excessive dust. Spillage and dust shall

be removed from the public right—of—way by sweepinf or sprinklin; however, watering, that results in mud on public streets is not permitted as a substitute for other cleaning methods. 12. All utility trench backfill, material, and compaction shall conform to City of Costa Mesa Standard No. 813. Bore under existing improvements— tunneling is not allowed. No open excavations will be allowed overnight— backfill or

13. All PCC and AC to be joined shall be sawcut in a clean, straight line as approved by the City Engineer. 14. All obstructions, within the public sidewalk such as power holes, street I lights, fire hydrants utility pedestals, mailbox, and street signs shall have minimum of 4' orf clear sidewalk placed behind them.

15. If requested, "AS-BUILT" drawings shall be submitted to the City Engineering Division upon completion of improvements as shown on the approved plans.' 16. No removal of trees from the public right—of—way will be permitted without specific approval from the Parks and Recreation Commission and compliancewith mitigation measures as determined by the Commission to relocate the trees and/or to compensate the city for the loss of trees from the public right-of-way. Conditions of the Parks and Recreation Commission must be incorporated onto these plans prior to plan approval. 17. Planting of parkway trees and installation of irrigation liness installed, including risers, heads, valves, and meters as directed and in accordance with the requirements of the Public Services Department. 18. All construction staking shall be done by a licensed engineer and certified

per approved plans and submitted to the City Engineer. 19. No work shall be done on adjacent properties or adjacent owners improvements without obtaining written permission from the owners of the adjacent properties, and submitting a copy thereof to City Engineering Division. 20. Work, once began, shall be proceed to completion without delay so as to provide minimum inconvinience to adjacent property owners and the traveling public. Í. ALL STREET STATIONING REFERS TO THE CENTER LINE OF THE STREET AND CURB DATA REFERS TO THE FACE OF

The amount of asphalt binder to be mixed with the mineral aggregate shall be 5.6 percent by dry weight. All underground work shall be complete prior to any surface work in the public right-of-way. Where driveway depressions are constructed, the driveway approaches shall be constructed to property line per City of Costa Mesa Standard Plans. Location, type and width are to be approved by the City Transportation

25. Crush miscellaneous base may be used under walks and curbs and gutters in lieu of crushed aggregate base. 26. Any lot corner or OCEMA BM., monument, or tie destroyed or displaced shall be restored to its original position by a licensed engineer or surveyor. Any change in location or elevation shall be reported to the City Engineer and OCEMA by a licensed engineer or land surveyor on 8 1/2" x 11" paper (one side only) showing location and ties or level run. 27. Geological and/or Soils Reports prepared by ASSOCIATED SOILS ENGINEERING, INC and dated DECEMBER 6, 2023, have been reviewed and approved by the Building Official including all supplements, addenda, and amendments

contained therein must be followed. 28. All storm drain work and materials shall conform to the City of Costa Mesa, Public Service Department, Engineering Division's Storm Drain Design Guidelines (latest revision), and the City Costa Mesa Standard Plans and meet the approval of the City Engineer 29. All catch basins shall have horizontal protection bars per LACFCD Standard Drawing 2d17, with Local Depression

thereto are included by reference. Building Copies of these reports are on file at the division. All recommendations

No. 4 per Standard Drawing 415. 30. All storm drain manholes shall be left below subgrade. The Contractor shall raise the manhole frames and covers to finishaed grade and make necessary repairs to the pavement. 31. A permit will be required from Orange County Environmental Management Agency for connection into the

existing flood channel and for all other work within their jurisdiction. 32. All installation and work affecting Flood Control District properties or facilities shall conform with Standard Specifications and with the provisions of the construction permit granted by the District, Contractor sall maintain a copy of said permit and stamped plans on the job site. Use of District property and conformance with the above shall be subject to inspection and approval by the District's duly assigned inspector. District inspecttor. District inspector shall be notified 24 hours prior to commencement of any work in accordance with permit provisions.

—SURVEYOR OR ENGINEER SHALL MONUMENT PROPERTY CORNER BEFORE STARTING GRADING, EITHER WITH PERMANENT MONUMENTS OR TEMPORARY 1FT. LONG 1/2" DIAMETER METAL RODS

-ALL GRADING SHALL COMPLY PER SOILS REPORT'S RECOMMENDATIONS

DRIVEN INTO THE GROUND TO NEAR FLUSH AND MARKED WITH PAINT

THE BEARINGS SHOWN HEREON ARE BASED UPON THE CENTERLINE OF 16th PLACE BEING NORTH 49°21'41" WEST, PER PARCEL MAP 2014-144, BOOK 384 PAGES 24-25 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY, CALIFORNIA.

LEGAL DESCRIPTION:

LOT 20 OF TRACT NO. 402, IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 19, PAGE 23, OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

YEFIM TSALYUK

NO. C052871

AGGREGATE BASE PORTLAND CEMENT CONCRETE BACKFLOW PREVENTER RATE OF GRADE OR RADIUS RIGHT OF WAY SLOPE OF PIPE CONTROL BOX SPLASH BOX CURB FACE SEWER CLEANOUT CHAIN LINK FENCE CLEAN OUT STORM DRAIN MANHOLE SEWER MANHOLE DOWNSPOU1 SR SPRINKLER STREET LIGHT FDGE OF GUTTER SW SIDE WALK EP, EOP EDGE OF PAVEMENT TOP OF CURB ELEVATION ELECTRIC METER ELECTRICAL MANHOLI TRASH ENCLOSURE EDGE OF PAVEMENT TEL.MH TELEPHONE MANHOLE ELECTRICAL VAULT TOP OF FOOTING ELEVATION TOP OF GRATE ELEVATION TOE OF SLOPE FIRE HYDRANT TOP OF SLOPE FLOW LINE ELEVATION TRAFFIC SIGNAL FINISHED SURFACE ELEVATION TOP OF RETAINING WALL TOP OF WALL ELEVATION GAS METER GUARD POST **WOODEN FENCE** HIGH POINT ELEVATION WATER METER INVERT OF PIPE ELEVATION WATER VALVE LINEAR FEET (00.00) EXISTING ELEVATION 100.00 EXISTING ELEVATION LOW POINT 00.00 PROPOSED ELEVATION PARKING LOT LIGHT ----- E --- ELECTRICAL NATURAL GRADE —— G —— GAS PORTLAND CEMENT CONCRETE PROPERTY LINE — W — WATER PARKING METER POST — S — SEWER POWER POLE — T — TELEPHONE

SHEET INDEX

NO.	DESCRIPTION
1	TITLE SHEET, GRADING NOTES, ETC.
2	DRAINAGE PLAN, SECTIONS, DETAILS, ETC
3	EROSION CONTROL PLAN
4	DEMOLITION PLAN
5	SOILS REPORT RECOMMENDATIONS

EARTHWORK ESTIMATE

RAW CUT 700 c.y. 700 C.Y. OVEREXCAVATION TBD C.Y.

THIS ESTIMATE IS FOR BOND ESTIMATE ONLY. CONTRACTOR TO PREPARE HIS OWN ESTIMATE PRIOR TO CONSTRUCTION

ACREAGE 0.25 ac.

PRECISE DRAINAGE PLAN 1022 W. WILSON STREET

SHEET

CITY OF COSTA MESA

NO. DATE DESCRIPTION **REVISIONS**

BENCHMARK:

DESCRIBED BY OCS 2001 FOUND 3 3\4" OCS ALUMINUM BENCHMARK DISK STAMPED "HB-243- 77". SET IN THE NORTHEAST CORNER OF A 4 FT. BY 11 FT. CONCRETE CATCH BASIN.MONUMENT IS LOCATED IN THE SOUTHWEST CORNER OF THE INTERSECTION OF AMERICAN AVENUE AND VICTORIA STREET, 260 FT.WESTERLY OF THE CENTERLINE OF AMERICAN AVFNUE. AND 39 FT. SOUTHERLY OF THE CENTERLINE OF VICTORIA STREET. MONUMENT IS SET FLUSH WITH THE

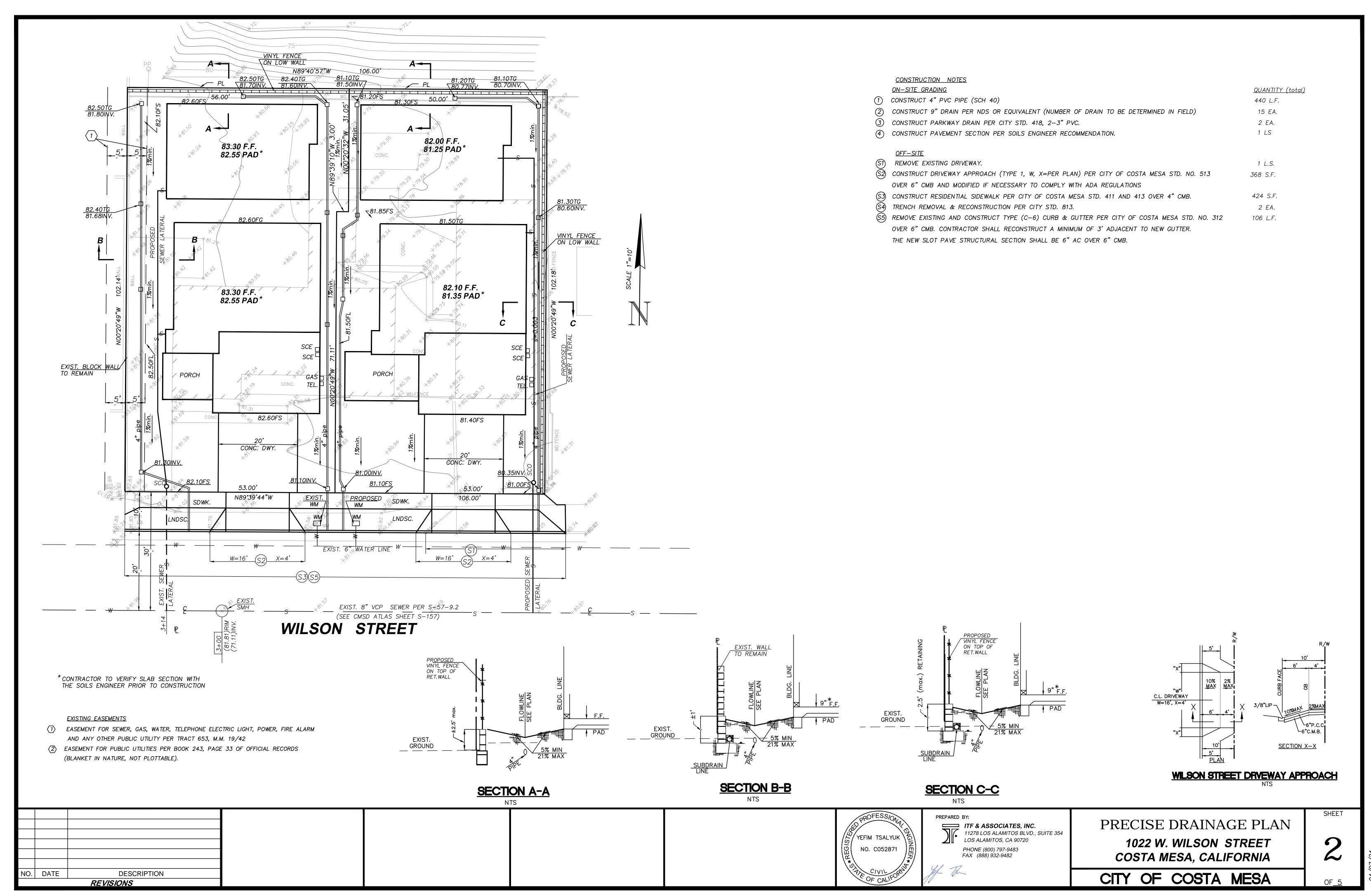
ELEV. 78.365 (NAVD88) 2005

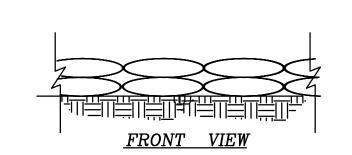
SUPPLIERS.

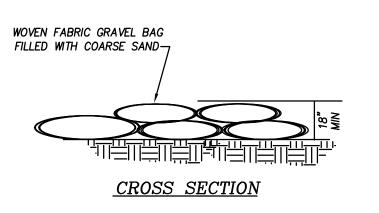
-15-

ITF & ASSOCIATES, INC. 11278 LOS ALAMITOS BLVD., SUITE 354 LOS ALAMITOS, CA 90720 PHONE (800) 797-9483 FAX (888) 932-9482

COSTA MESA, CALIFORNIA







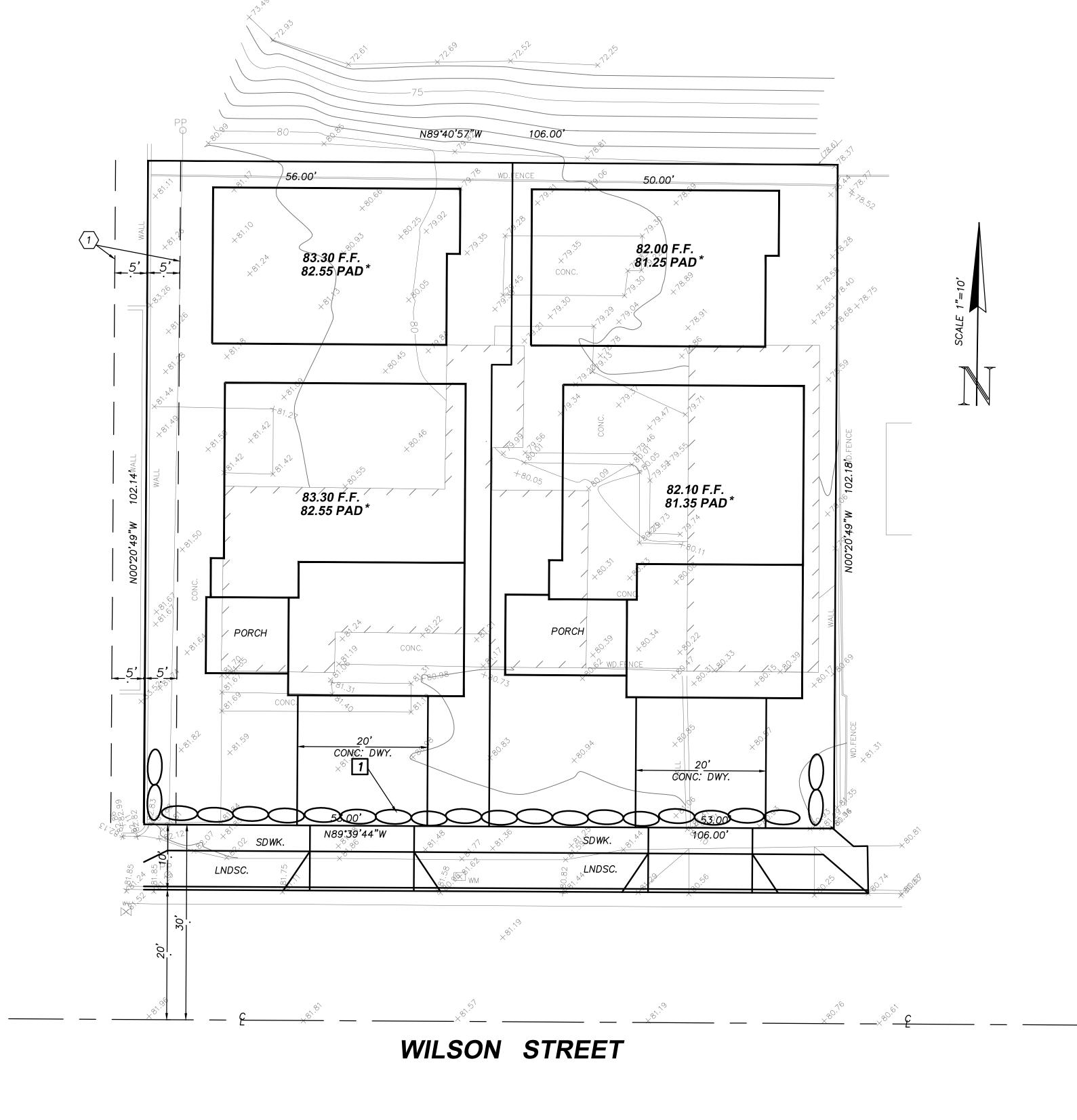
1 GRAVEL BAGS BERM SE-6 BMP

EROSION CONTROL NOTES:

1 CONSTRUCT GRAVEL BAGS PER DETAILS HEREON.

EROSION CONTROL NOTES

43. IN CASE OF EMERGENCY, CALL GRANT BIXBY AT 949-677-0111
44. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE
AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. NECESSARY MATERIALS SHALL BE
AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID
CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
45. EROSION CONTROL DEVICES SHALL NOT BE MOVED OR MODIFIED WITHOUT THE
APPROVAL OF THE BUILDING OFFICIAL.
46. ALL REMOVABLE EROSION PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END
OF EACH WORKING DAY WHEN THE 5-DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
47. AFTER A RAINSTORM, ALL SILT AND DEBRIS SHALL BE REMOVED FROM STREETS,
CHECK BERMS AND BASINS.
48. GRADED AREAS ON THE PERMITTED AREA PERIMETER MUST DRAIN AWAY FROM THE
FACE OF SLOPES AT THE CONCLUSION OF EACH WORKING DAY. DRAINAGE IS TO BE
DIRECTED TOWARD DESILTING FACILITIES.
49. THE PERMITTEE AND CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE
NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS INTO AREAS WHERE IMPOUNDED
WATER CREATES A HAZARDOUS CONDITION.
50. THE PERMITTEE AND CONTRACTOR SHALL INSPECT THE EROSION CONTROL WORK
AND INSURE THAT WORK IS IN ACCORDANCE WITH APPROVED PLANS.



NO. DATE

DESCRIPTION

REVISIONS

YEFIM TSALYUK
NO. C052871

OF CALIFORNIA

OF CALIFORNIA

PREPARED BY:

ITF & ASSOCIATES, INC.

11278 LOS ALAMITOS BLVD., SUITE 354

LOS ALAMITOS, CA 90720

PHONE (800) 797-9483

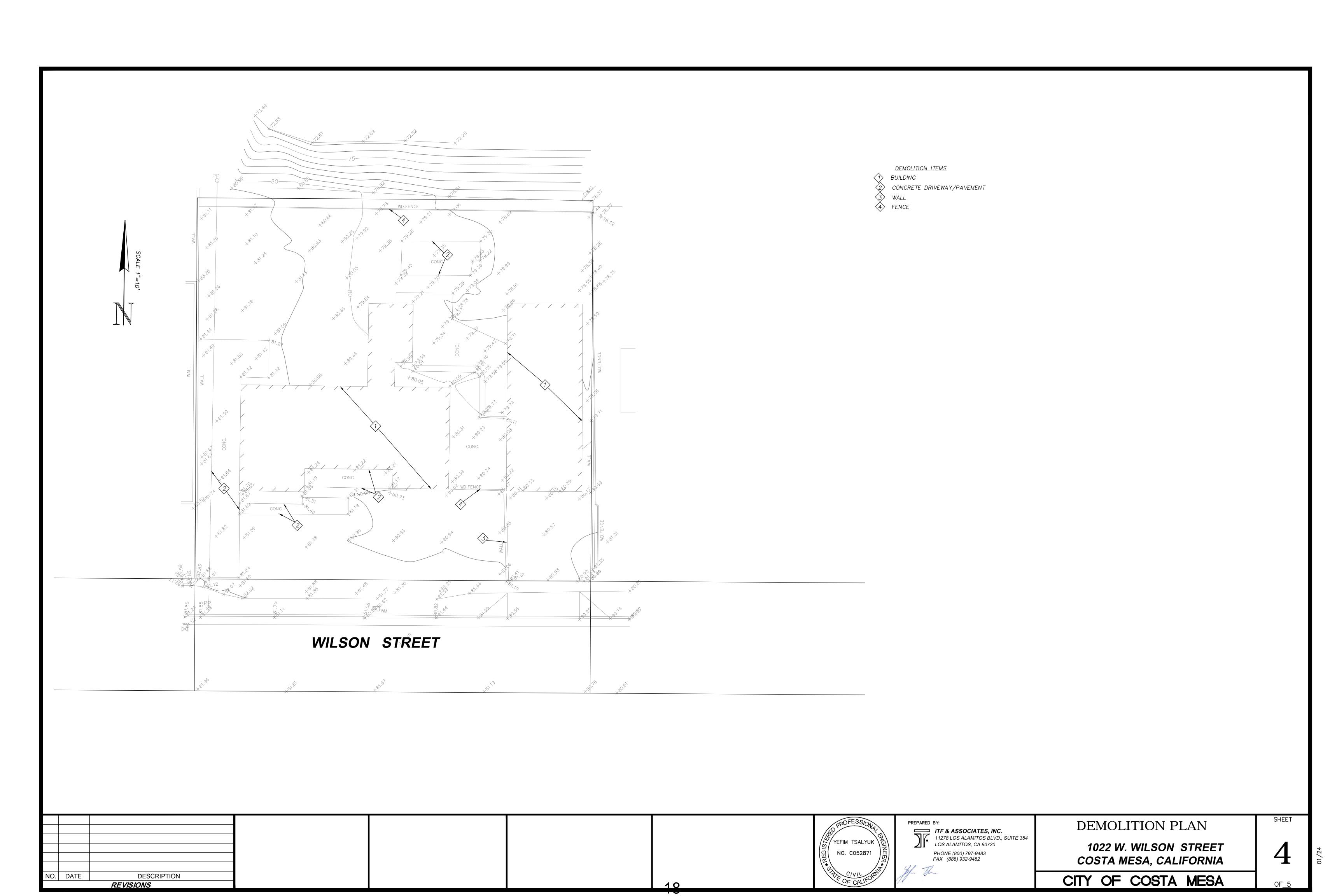
FAX (888) 932-9482

EROSION CONTROL PLAN

1022 W. WILSON STREET

COSTA MESA, CALIFORNIA

CITY OF COSTA MESA



- 1. Soil disturbances as a result of site demolition and clearing operations.
- 2. Presence of low-density surficial soils within the zone of foundation and slab bearing stratum.
- 3. Existence of "Low" (bordering "Medium") expansive soils at shallow depth that could settle/heave noticeably and unevenly upon prolonged moisture inundation.

In consideration of the above factors, it is ASE's opinion that overexcavation and backfilling with properly compacted fill in the building pad areas of the Buildings, as recommended herein, will be essential to reduce unfavorable foundation displacement as a consequence of settlement of underlying soils, and to provide satisfactory bearing stratum for the Building foundations. The grading recommendations provided herein should be reviewed when final project concept and grading plans become available. It is assumed that the proposed finish grades will be close to the existing site grades (± one foot).

Conventional foundations comprising continuous spread footings and isolated pad footings bearing on properly compacted fill, together with slab-on-grade may be considered for structural support. In view of the presence of "Low" (bordering "Medium") expansive site soils, alternative PT slab recommendations have also been provided for consideration.

5.1 <u>Site Preparation</u>

5.1.1 Existing Improvements:

Prior to ground preparation, it will be necessary to remove designated existing construction, including any remaining buried obstructions, which may be in the building pad areas of the Buildings. Structure removal should include, but not be limited to, abandoned foundations, concrete flatwork and pavements. Concrete fragments from site demolition operations should be disposed of off-site.

5.1.2 Surface Vegetation:

Surface vegetation should be stripped from areas of proposed construction. Stripping should penetrate six inches into surface soils. Any soil contaminated with organic matter (such as root systems or strippings mixed into the soil) should be disposed of off-site or set aside for future use in non-structural landscaped areas. Removal of trees and shrubs should include rootballs and attendant root systems.

5.1.3 Underground Utilities:

Any underground utilities to be abandoned within the zone of proposed construction should be cut off a minimum of 5 feet from the area of the new structures. The ends of cut-off lines should be plugged a minimum of 5 feet with concrete exhibiting minimum shrinkage characteristics to

ASSOCIATED SOILS ENGINEERING, INC. 2860 Walnut Avenue, Signal Hill CA 90755 Tel: (562) 426-7990 * Fax: (562) 426-1842

Project No.: 7146.23 December 6, 2023

The Geotechnical Consultant should be on-site during temporary back cut and retaining wall construction to inspect and evaluate the stability of cuts and, if necessary, to provide additional remedial or mitigative recommendations. It should be noted that the use of heavy compaction equipment in close proximity to retaining structures can result in wall pressures exceeding design values and corresponding wall movement greater than that normally associated with the development of active or at-rest conditions. In this regard, the contractor should take appropriate precautions during the backfill placement.

5.3.3 Footing/Foundation Observation:

All footing/foundation excavations should be observed by the Geotechnical Consultant's representative to verify minimum embedment depths and competency of bearing soils. Such observations should be made prior to placement of any reinforcing steel or concrete.

5.4 <u>Slabs-on-Grade</u>

Concrete floor slabs in the Buildings and exterior concrete flatwork should be supported on properly compacted soils as recommended in the Site Grading section (i.e. Section 5.2) of this report. The slab subgrade soils should also be proof-rolled just prior to construction to provide a firm, unyielding surface, especially if the subgrade has been disturbed or loosened by the passage of construction traffic. Final compaction and testing of slab subgrade should be performed just prior to placement of concrete.

For structural design of concrete slabs, a modulus of subgrade reaction ("k-value") on the order of 100 pounds per square inch per inch ("psi/in") and an allowable bearing capacity of 700 psf may be used for slab constructed on recompacted site soils. Interior and exterior slabs should be properly designed and reinforced for the construction and service loading conditions. To minimize slab distress due to soil expansion, geotechnically, it would be prudent to provide a minimum actual slab thickness of four and onehalf (4.5) inches with minimum reinforcement consisting of number 4 reinforcing bars spaced maximum 12 inches on centers each way for slabs constructed on site soils. The final structural details, such as slab thickness, concrete strength, amount and type of reinforcements, joint spacing, etc., should be established by the Structural Consultant in accordance 2022 CBC requirements.

The entire slabs within the Buildings should be underlain by an impermeable vapor barrier (minimum 10mil-thick visqueen). A minimum 12-inch overlap between visqueen sheets should be ensured during placement. All visqueen sheets should be puncture free prior to slab construction and should be sandwiched top and bottom by 2-inch-thick sand layers consisting of clean sand exhibiting a tested Sand

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REVISIONS

DESCRIPTION

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Project No.: 7146.23 December 6, 2023 prevent water migration to or from hollow lines. Capping of lines may also be required should the plug be subject to any line pressure.

Alternatively, deep hollow lines may be left in place provided they are filled with concrete or 2-sack control density fill (slurry fill). No filled line should be permitted closer than two (2) feet from the bottom of future footings, unless it has been evaluated and approved by the Geotechnical Consultant. However, local ordinances relative to abandonment of underground utilities, if more restrictive, will supersede the above minimum requirements.

5.2 <u>Site Grading</u>

In view of minimizing the adverse effects associated with potentially excessive total or differential settlement underneath the Buildings construction, as well as to ensure uniform bearing competency for the foundations, preparation of on-site soils is recommended in the following sections.

5.2.1 Undocumented Fill/Disturbed Native Soils:

While not observed in any of ASE's exploratory borings, any undocumented fill soil encountered during site grading in the areas of the Buildings, as well as any native soils disturbed during demolition and clearing operations, should be excavated full depth under the observation and confirmation by the Geotechnical Consultant. Lateral extent of overexcavation beyond Building perimeters, where possible, should be to a minimum distance equal to the depth of undocumented fill/disturbed soil encountered or <u>two (2)</u> feet, whichever is greater.

For other secondary improvements such as free-standing walls or hardscape, the lateral extent of removal should be to a minimum distance equal to the depth of undocumented fill/disturbed soils encountered or eighteen (18) inches, whichever is greater.

The exposed excavation bottoms should be scarified/reworked to a minimum one (1) foot depth and recompacted to at least 90 percent relative compaction with a minimum moisture content of two (2) percentage points above optimum moisture content (OMC) prior to backfilling with approved soils as specified in Section 5.2.7.

5.2.2 Expansive Soils:

Laboratory testing result on a near surface site soil sample indicates "Low" (bordering "Medium") soil expansion potential (i.e. Expansion Index, EI = 49 per ASTM D4829-19 Test Method) as defined in Table 1 of ASTM D4829-21 Test Method and Section 1803.5.3 of 2022 CBC. Lightly loaded structural elements such as shallow foundations and slabs could undergo noticeable movements, at time unevenly, in areas underlain by soils with "Low" expansion potential. It should be noted that

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Equivalent (S.E., per ASTM D2429-14 Test Method) value not less than 30. Alternatively, as per ACI 302.1R-15, the concrete slabs could be poured directly on a 15-mil Stego Wrap vapor barrier or equivalent that is in turn be underlain by four (4) inches of 1/2" or 3/8" crushed rock in compliance with the criteria stipulated in Sections 200-1.2 of the current Greenbook. The concrete slab shall consist of a concrete mix design which will address bleeding, shrinking and curling.

Exterior slabs should be properly jointed to limit the number of concrete shrinkage cracks. For long/thin sections, such as sidewalks, expansion or control joints should be provided at spacing intervals equal to the width of the section. Slabs between 5 and 10 feet in minimum dimension should have a control joint at centerline. Slabs greater than 10 feet in minimum dimension should have joints such that unjointed sections do not exceed 10 feet in maximum dimension. Where flatwork adjoins structures, it is recommended that a foam joint or similar expansion material be utilized. Joint depth and spacing should conform to the ACI recommendations. It is, however, cautioned that uneven heaving of exterior slabs may develop in the future when prolonged irrigation or seepage permeates the subgrade soil, especially in areas that expansive soil pockets exist due to inadequate control or inspection of earthwork construction.

5.5 <u>Site Drainage</u>

Per Section 1804.4 of 2022 CBC, a minimum 5% descending gradient away from the Buildings for a minimum distance of 10 feet should be incorporated for earth grade placed adjacent to the foundation. This descending gradient may be reduced to 2% for any impervious areas, such as concrete paved walkways, within the 10-foot zone. For areas where the 10-foot drainage distance is not attainable, alternative measure such as concrete-lined swales having a minimum 2% gradient may be adopted to divert the water away from the Buildings, provided that the minimum 5% gradient is maintained in the distance between the building footprint and the diversion measure such as swales. For more specific site drainage guidelines, the Project Civil Consultant should refer to the pertinent sections in 2022 CBC. Any planter areas to be placed adjacent to perimeter footings should be provided with solid bottoms and a drainage pipe, or should be planted with drought-tolerant plants, to divert water away from foundation and slab subgrade soils. Excessive moisture variations in site soils could result in significant volume changes and movement.

design provisions such as increased reinforcements, deeper foundations or other measures discussed in this Soils Report may help to alleviate the undesirable effects of "Low" soils expansion on the slabs and structures but may not completely eliminate the problem. It is recommended that the soil expansion potential be re-evaluated through additional testing during or after rough grading operations to verify the design adequacy of footing foundation and lab-on-grade against the re-tested soil expansion potential as heterogeneity within soil mass is not uncommon.

5.2.3 Remedial Grading:

To provide more uniform and competent foundation and slab support for the Buildings, it is recommended that the on-site soils within the footprint of the Buildings be overexcavated and removed uniformly to a minimum depth of four (4) feet below existing grade, or two (2) feet below the bottom of the lowest footing, whichever is lower, and replaced with properly compacted fill such that the foundations and slabs are supported on a re-engineered, compacted fill layer. The excavation bottoms should be near uniform. The overexcavation should extend laterally to a minimum distance of four (4) feet beyond Building perimeters, where possible. The backfill and compaction of fill materials should be as per recommended in Section 5.2.7 below, unless otherwise noted.

Soils exposed at excavation bottoms to a depth of twelve (12) inches should be scarified, reworked and recompacted to exhibit a minimum 90 percent relative compaction with a minimum moisture content of two (2) percentage points above the OMC prior to receiving fill placement.

The exposed excavation bottoms should be observed, tested, and approved by the Geotechnical Consultant prior to placing compacted fill. In case of the presence of localized loose soils, the overexcavation needs to be deepened accordingly to delete the loose soil condition. However, this deepened overexcavation may be terminated when the exposed native, undisturbed soils exhibit a natural relative compaction greater than 85 percent, subject to the testing and inspection by the representative from the Geotechnical Consultant.

The Geotechnical Consultant should be provided with appropriate foundation details and staking during grading to verify that depths and/or locations of the recommended overexcavation are adequate. For areas on site that grading recommendations stipulated in both Sections 5.2.1 and 5.2.3 apply, the more stringent grading criteria between the two sections should govern. The depth of overexcavation should be reviewed by the Geotechnical Consultant during the actual construction. Any subsurface obstruction, buried structural elements, and unsuitable material encountered during grading, should be immediately brought to the attention of the Geotechnical Consultant for proper exposure, removal and processing, as recommended.

5.2.4 Exterior Slab-on-Grade/Concrete Flatwork/Hardscape/Payement Support:

For the purpose of reducing future unsightly and uneven movements and cracks of any exterior slab-on-grade, flatwork, hardscape, or pavement it is recommended that the upper eighteen (18) inches of subgrade soils below the bottom of and eighteen (18) inches laterally beyond the footprint of exterior slab-on-grade/flatwork/hardscape should be overexcavated and recompacted to a minimum 90 percent relative compaction placed with a minimum moisture content of two (2) percentage points above the OMC. Prior to placement of the above recommended fill layer, the upper twelve (12) inches of exposed native subgrade should be reworked to at least 90 percent relative compaction with a minimum moisture of two (2) percentage points above the OMC.

Geotechnically, new landscape areas with only softscape are excluded from subgrade preparation and remedial grading requirements mentioned in Sections 5.2.1, 5.2.3 and 5.2.4.

5.2.5 Temporary Excavation:

Excavations of site soils 4 feet or deeper should be temporarily shored or sloped in accordance with Cal OSHA requirements.

a) Temporary Sloping:

In areas where excavations deeper than 4 feet are not adjacent to existing structures or public right-of-ways, sloping procedures may be utilized for temporary excavations. It is recommended that temporary slopes in both fill and native soils be graded no steeper than 1:1 (H:V) for excavations up to 10 feet in depth. The above temporary slope criteria is based on level soil conditions behind temporary slopes with no surcharge loading (structures, traffic) within a lateral distance behind the top of slope equivalent to the slope height.

It is recommended that excavated soils be placed a minimum lateral distance from top of slope equal to the height of slope. A minimum setback distance equivalent to the slope height should be maintained between the top of slope and heavy excavation/grading equipment

Should running sand conditions be experienced during excavation operations, flattening of cut slope faces, or other special procedures may be required to achieve stable, temporary slopes. Soil conditions should be reviewed by the Geotechnical Consultant as excavation progresses to verify acceptability of temporary slopes. Final temporary cut slope design will be dependent upon the soil conditions encountered, construction procedures and schedule.

b) Temporary Shoring:

Temporary shoring will be required for excavations where temporary sloping as specified in Section 5.2.5.a) above is not feasible.

ASSOCIATED SOILS ENGINEERING, INC. 2860 Walnut Avenue, Signal Hill CA 90755 Tel: (562) 426-7990 * Fax: (562) 426-1842

December 6, 2023

Project No.: 7146.23

YEFIM TSALYUK NO. C052871

PREPARED BY: ITF & ASSOCIATES, INC. 11278 LOS ALAMITOS BLVD., SUITE 354 LOS ALAMITOS, CA 90720 PHONE (800) 797-9483 FAX (888) 932-9482

SOILS REPORT RECOMMENDATIONS 1022 W. WILSON STREET COSTA MESA, CALIFORNIA

SHEET

CITY OF COSTA MESA

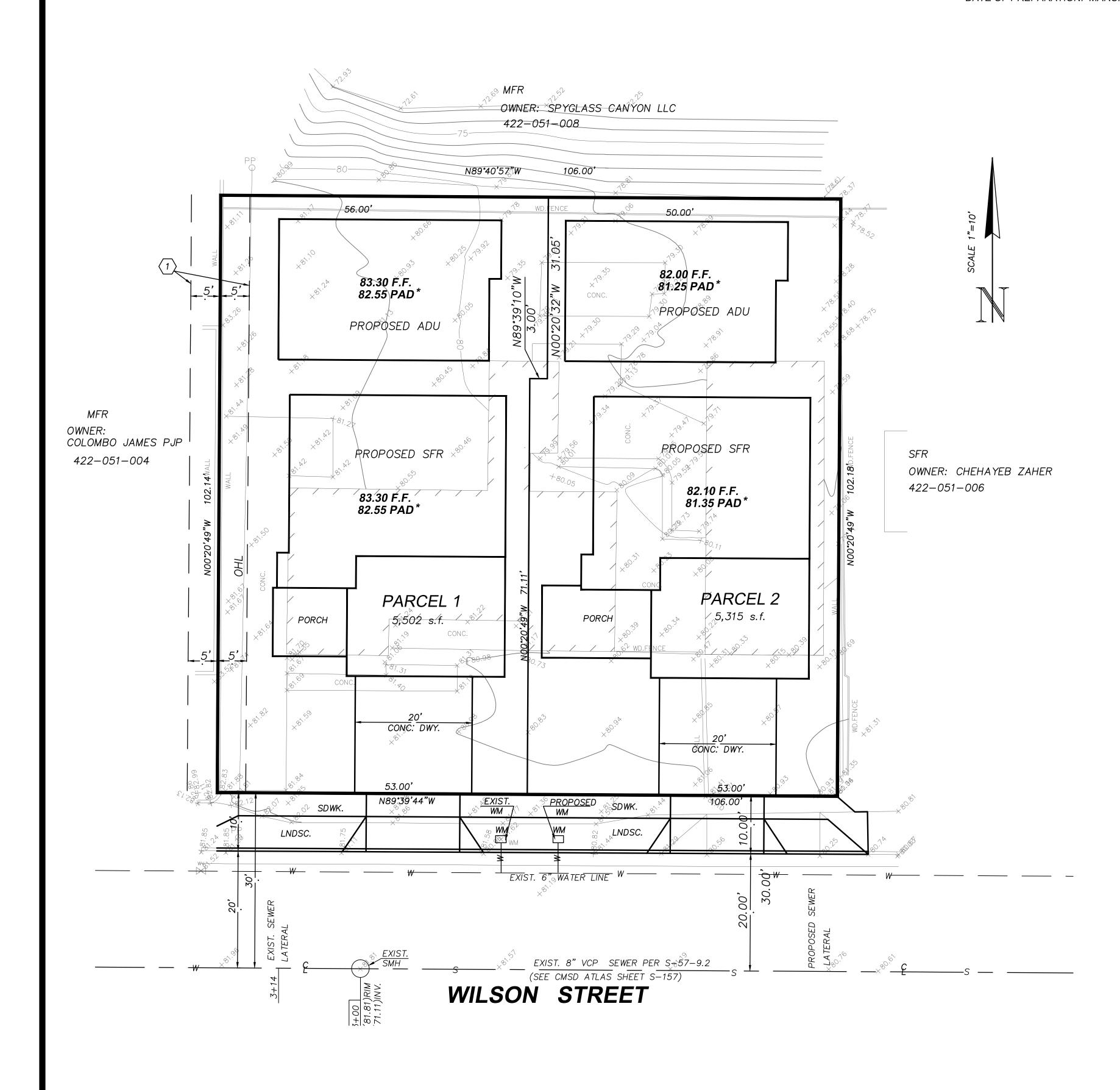
01/16/2024

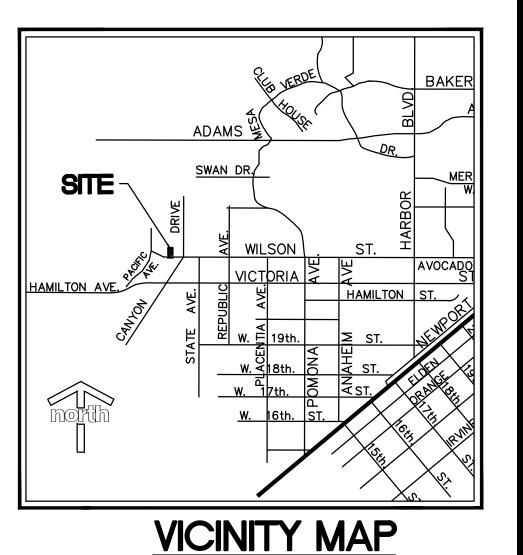
TENTATIVE PARCEL MAP 2023-187

PURPOSE: CREATE 2 PARCELS

YEFIM TSALYUK, LS 7421

DATE OF PREPARATION: MARCH 2024





SITE ADDRESS: 1022 W. WILSON ST. COSTA MESA, CA 92627

A.P.N. 422-051-05

AREA SUMMARY

TOTAL AREA = 10,817 S.F.(0.25 ac.) GROSS 10,306 S.F.(0.24 ac.) NET

PURPOSE STATEMENT

THE PURPOSE IS TO CREATE 2 PARCELS FOR SINGLE FAMILY RESIDENCES

OWNER / SUBDIVIDER:

GRANT BIXBY 1022 W. WILSON, LLC 1536 VIVIAN LANE NEWPORT BEACH, CA 92660 p. (949) 677—0111

ENGINEER/SURVEYOR:

ITF & ASSOCIATES, INC. 11278 LOS ALAMITOS BLVD., #354 LOS ALAMITOS, CA 90720 (800) 797-9483



BASIS OF BEARING

THE BEARINGS SHOWN HEREON ARE BASED ON THE BEARING BETWEEN O.C.S. HORIZONTAL CONTROL STATION GPS NO. 6201R1 AND CONTROL STATION GPS NO. 6198 BEING NORTH 32°04'05" EAST PER RECORDS ON FILE IN THE OFFICE OF THE ORANGE COUNTY SURVEYOR

BENCHMARK

DESCRIBED BY OCS 2001 FOUND 3 3\4" OCS ALUMINUM BENCHMARK DISK STAMPED "HB-243- 77", SET IN THE NORTHEAST CORNER OF A 4 FT. BY 11 FT. CONCRETE CATCH BASIN.MONUMENT IS LOCATED IN THE SOUTHWEST CORNER OF THE INTERSECTION OF AMERICAN AVENUE AND VICTORIA STREET, 260 FT.WESTERLY OF THE CENTERLINE OF AMERICAN AVENUE, AND 39 FT. SOUTHERLY OF THE CENTERLINE OF VICTORIA STREET. MONUMENT IS SET FLUSH WITH THE SIDEWALK.

ELEV. 78.365 (NAVD88) 2005

LEGAL DESCRIPTION:

THE WEST 106 FEET OF LOT 74 OF TRACT NO. 653, IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 19 PAGE(S) 42, OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

FLOOD ZONE

ZONE X, OUTSIDE THE 500 YEAR FLOOD BOUNDARIES

EASEMENTS

- (1) EASEMENT FOR SEWER, GAS, WATER, TELEPHONE ELECTRIC LIGHT, POWER, FIRE ALARM AND ANY OTHER PUBLIC UTILITY PER TRACT 653, M.M. 19/42
- (2) EASEMENT FOR PUBLIC UTILITIES PER BOOK 243, PAGE 33 OF OFFICIAL RECORDS (BLANKET IN NATURE, NOT PLOTTABLE).
- <u>NOTES:</u>
 -NO EXISTING WATERCOURSES ON SITE
- -SITE IS NOT SUBJECTED TO OVERFLOW OR INUNDATION
- -NO LANDS AND PARKS TO BE DEDICATED FOR PUBLIC USE

