

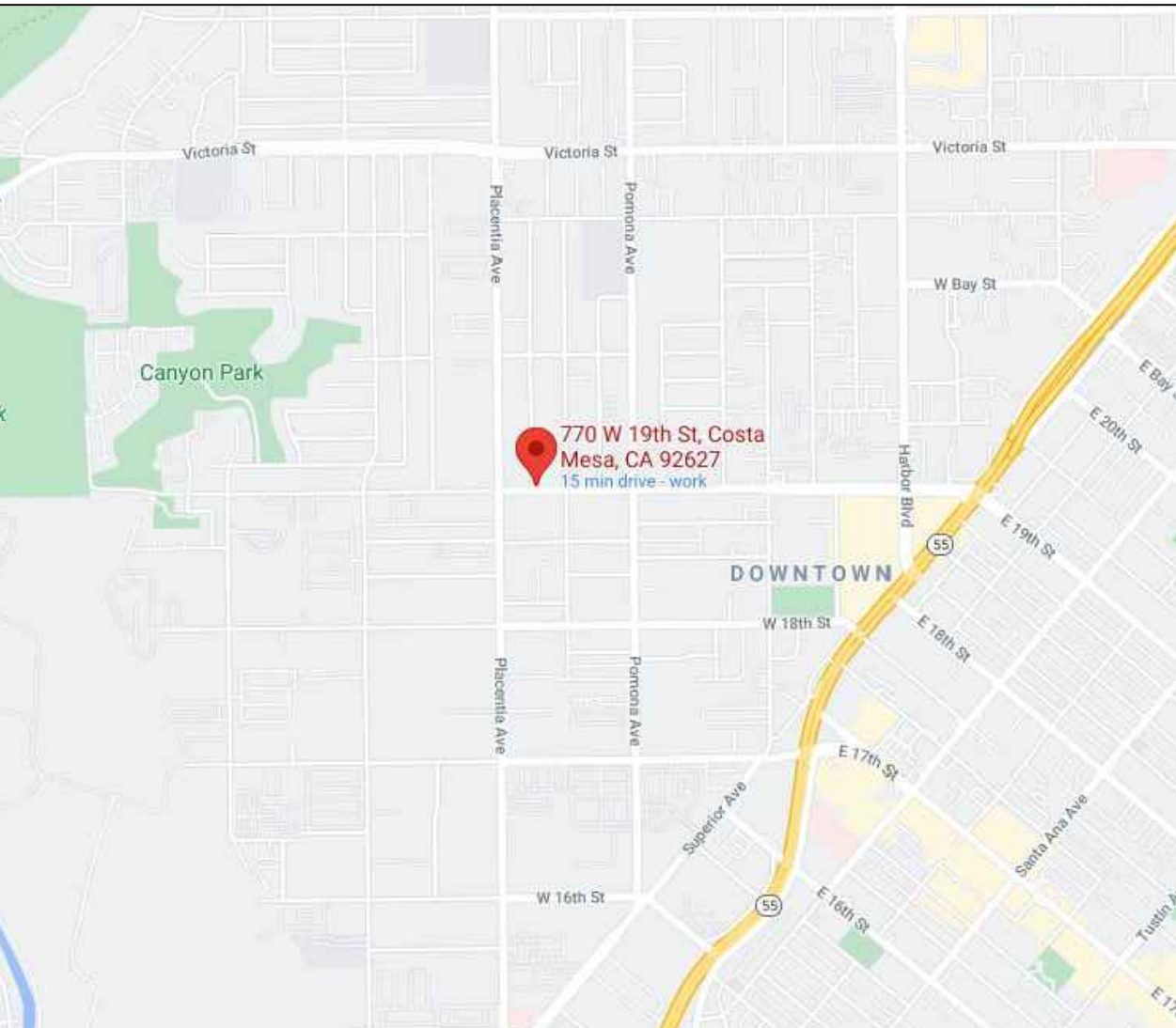


NEBRINA COSTA MESA

770 W 19TH STREET  
COSTA MESA, CA 92627

ASSESSOR'S PARCEL NUMBER  
422-271-24

VICINITY MAP



PROJECT SCOPE

COMMERCIAL INTERIOR TENANT IMPROVEMENTS. SCOPE OF WORK TO INCLUDE:

- REMOVAL CONSTRUCTION OF NON-BEARING WALLS
- HVAC
- ELECTRICAL
- PLUMBING

DEFERRED SUBMITTALS

- SIGNAGE
- FIRE ALARM

GENERAL NOTES

- THESE DRAWINGS ARE THE PROPERTY OF HESTIA ATELIER, LLP AND ARE NOT TO BE USED FOR ANY OTHER THAN THE LOCATION SHOWN HEREON. OWNER IS LICENSED TO UTILIZE CONSTRUCTION DOCUMENTS FOR THIS LOCATION ONLY.
- NO CHANGES ARE TO BE MADE ON THESE PLANS WITHOUT THE KNOWLEDGE OR CONSENT OF THE ARCHITECT/ENGINEER WHOSE SIGNATURE APPEARS HEREON.
- DIMENSIONS AS INDICATED ARE THE DIMENSIONS TO BE USED FOR CONSTRUCTION. DO NOT SCALE DRAWINGS.
- NO FRAMING OF ANY TYPE IS TO BE CONCEALED PRIOR TO INSPECTION
- REFERENCES TO ANY DETAIL OR DRAWING IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT THE APPLICATION OF SUCH DETAIL OR DRAWINGS. BY GOVERNING AGENCIES.
- DIMENSIONS AND CONDITIONS AT THE JOB SITE SHALL BE VERIFIED BY ALL CONTRACTORS. DISCREPANCIES IN THE DRAWINGS OR BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE ARCHITECT AND TO THE OWNER. CORRECTED DRAWINGS OR INSTRUCTION SHALL BE ISSUED BY THE ARCHITECT PRIOR TO THE INSTALLATION OF ANY WORK. ALL DIMENSIONS ARE TO BE TOUGH UNLESS OTHERWISE NOTED. ARCHITECT'S DRAWINGS SHALL GOVERN OVER STRUCTURAL, MECHANICAL, ELECTRICAL AND LANDSCAPE DRAWINGS. ALL DRAWINGS SHALL BE ISSUED BY ARCHITECT.
- ALL WORK, CONSTRUCTION AND MATERIALS SHALL COMPLY WITH ALL PROVISIONS OF THE BUILDING CODE AND WITH OTHER RULES, REGULATIONS, AND ORDINANCES GOVERNING THE PLACE OF THE CONSTRUCTION. IT IS THE RESPONSIBILITY OF ANYONE SUPPLYING LABOR OR BOTH TO BRING TO THE ATTENTION OF THE ARCHITECT AND THE OWNER ANY DISCREPANCIES OR CONFLICT BETWEEN THE REQUIREMENTS OF THE CODE AND THE DRAWINGS. THE APPLICABLE CODES SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO: CALIFORNIA BUILDING CODE 2016 EDITION
- THESE DRAWINGS DO NOT CONTAIN THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.
- ALL GYPSUM WALL BOARD TO BE 1/2" OR 5/8" THICK TYPE "X", UNLESS OTHERWISE NOTED OR REQUIRED FOR SPECIFIC WALL CONSTRUCTION.
- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE STATE CONSTRUCTION SAFETY ORDERS ENFORCED BY THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY.
- CONSTRUCT NO TRENCHES OR EXCAVATIONS 5' OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND, OR OBTAIN NECESSARY PERMIT FROM THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY PRIOR TO THE ISSUANCE OF A BUILDING OR GRADING PERMIT.
- EXACT LOCATION AND NUMBER OF EXIT SIGNS SHALL BE DETERMINED BY FIELD INSPECTOR AFTER THE INSTALLATION OF ALL MAJOR EQUIPMENT. CONTRACTOR SHALL CONDUCT SUCH FIELD INSPECTION PRIOR TO INSTALLATION OF ANY EXIT SIGNAGE
- FIRE EXTINGUISHERS SHALL BE PROVIDED AS FOLLOWS: 1 2A10BC EXTINGUISHER FOR EACH 3000 SQ. FT. FIRE EXTINGUISHERS SHALL NOT EXCEED 75' TRAVEL DISTANCE AND SIGNS SHALL BE POSTED ABOVE ALL EXTINGUISHERS TO INDICATE THEIR LOCATIONS. EXTINGUISHERS SHALL BE MOUNTED MEASURING FROM THE TOP OF THE EXTINGUISHER TO FINISH FLOOR A MINIMUM OF 5' AND MAXIMUM OF 5'. EXTINGUISHERS LOCATED IN PUBLIC AREAS SHALL BE IN A RECESSED FIRE EXTINGUISHER CABINET(S) MOUNTED 48" TO CENTER OF CABINET(S) ABOVE FINISHED FLOOR LEVEL, WITH MAXIMUM 4' PROJECTION FROM THE WALL. AN ADDITIONAL 2A20BC EXTINGUISHER WILL BE REQUIRED NO MORE THAN 75' OF TRAVEL FROM ANY PORTION OF FUELING LOCATIONS. EXACT LOCATIONS OF EXTINGUISHERS SHALL BE DETERMINED BY FIELD INSPECTOR.
- NO HAZARDOUS MATERIALS WILL BE STORED AND/OR USED WITHIN THE BUILDING WHICH EXCEED THE QUANTITIES LISTED IN THE CBC TABLES 307.1(1) & 307.1(2).
- WHERE PERMANENT IDENTIFICATION IS PROVIDED FOR ROOMS AND SPACES, RAISED LETTERS SHALL ALSO BE PROVIDED AND SHALL BE ACCOMPANIED BY BRAILLE. SECTION 1117B.5 ALL SIGNAGE REQUIREMENTS OF SECTION 1117B.5 SHALL BE SATISFIED.
- COMPLY WITH CBC SECTION 3303 REGARDING PROTECTION OF PEDESTRIANS DURING CONSTRUCTION.
- WALL, FLOOR AND CEILING SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATIONS IN CBC TABLE 803.9.
- ODOR CONTROL SYSTEM TO BE ODOR-ARMOR 420 BY BENZACO SCIENTIFIC ENGINEERED ODOR MANAGEMENT OR APPROVED EQUAL.
- ANY DELAYED EGRESS SHALL COMPLY WITH CFC 1010.1.9.7 AND 1010.1.9.9 AS APPLICABLE.
- ADDRESS NUMBERS SHALL BE MIN. OF 12 INCHES

PROJECT DATA

1 - ADMINISTRATION

- A. ALL WORK SHALL BE IN CONFORMANCE WITH THE CODES IDENTIFIED IN THE GOVERNING CODES SECTION LISTED BELOW.
- 2019 CALIFORNIA BUILDING CODE AND JURISDICTIONAL AMENDMENTS  
2019 CALIFORNIA MECHANICAL CODE AND JURISDICTIONAL AMENDMENTS  
2019 CALIFORNIA PLUMBING CODE AND JURISDICTIONAL AMENDMENTS  
2019 CALIFORNIA ELECTRICAL CODE AND JURISDICTIONAL AMENDMENTS  
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE AND JURISDICTIONAL AMENDMENTS  
2019 CALIFORNIA FIRE CODE AND JURISDICTIONAL AMENDMENTS  
2019 CALIFORNIA ENERGY CODE AND JURISDICTIONAL AMENDMENTS
- COSTA MESA MUNICIPAL CODES AND ORDINANCES
- ALL FINISHES SHALL COMPLY WITH CBC CHAPTER 8, TABLE 803.9
- B. ACCESSIBILITY REQUIREMENTS PER THE FEDERAL ADA, ANSI 117.1-2003 AND 2019 CBC OR AS AMENDED BY STATE OR LOCAL REGULATIONS, WHICHEVER IS MOST RESTRICTIVE

3 - OCCUPANCY

- A. PRIMARY OCCUPANCY (CHAPTER 3): M OCCUPANCY
- B. OCCUPANCY GROUP

OCCUPANT LOAD (REFER TO A2.0 FOR DETAILED SQUARE FOOTAGE)

| ROOM NAME   | AREA (NET)     | OCCUPANT LOAD |
|-------------|----------------|---------------|
| RECEPTION:  | 207 SF/ 15     | 14 OCCUPANTS  |
| RETAIL:     | 896 SF/ 60     | 15 OCCUPANTS  |
| OFFICE      | 77 SF/ 60      | 02 OCCUPANTS  |
| VAULT:      | 57 SF/ 300     | 01 OCCUPANT   |
| RECEIVING:  | 121 SF/ 60     | 03 OCCUPANTS  |
| BREAK ROOM: | 135 SF/60      | 03 OCCUPANTS  |
| HALLWAY:    | 206 SF         | ACCESSORY USE |
| RESTROOM:   | 77 SF          | ACCESSORY USE |
| TOTAL:      | 1,776 SF (NET) | 38 OCCUPANTS  |

EXIT  
REQUIRED: 1 EXIT  
PROPOSED: 2 EXIT

PERMITTED EXIT ACCESS TRAVEL DISTANCE: 200 FT FOR MERCANTILE (TABLE 1017.2)  
PROPOSED EXIT ACCESS TRAVEL DISTANCE: (EXIT 1) 81 FEET (EXIT 2) 57 FEET

4 - BUILDING & SITE DATA

- A. CONSTRUCTION TYPE (CHAPTER 5): V-B
- B. FULLY SPRINKLERED PER CHAPTER 9: NO
- C. PROJECT AREA (TENANT IMPROVEMENT): 3,607 SF (GROSS SF)
- D. NUMBER OF STORIES: 1 STORY
- E. SITE ACREAGE: 10,500 SF
- F. ZONING: C1-LOCAL BUSINESS
- G. GENERAL PLAN : GENERAL COMMERCIAL
- H. ADDRESS: 770 W 19TH ST COSTA MESA, CA 92627
- I. LOT COVERAGE: EXISTING 18% COVERAGE
- J. OCCUPANCY: M
- K. SETBACKS: FRONT: 20'-0", SIDE(INTERIOR): 15'-0" REAR: 0'
- L. APN: 422-271-24
- M. NUMBER OF PARKING (COSTA MESA MUNICIPAL CODE)

TOTAL: 8 STALLS (REQUIRED)  
12 PARKING (PROVIDED)

ACCESSIBLE PARKING

TOTAL: 1 STALLS (REQUIRED)  
1 PARKING (PROVIDED)

CONDITIONAL USE PERMIT APPLICATION NUMBER: PA-21-39

5 - PLUMBING FIXTURE CALCULATION

PROPOSED OCCUPANCY GROUP: M OCCUPANCY

PLUMBING OCCUPANT LOAD FACTOR (TABLE A OF 2019 CPC CHAPTER 4)  
NUMBER OF FIXTURES REQUIRED:  
(1) WC, (1) LAV,  
NUMBER OF FIXTURES PROVIDED:  
1 RESTROOM, GENDER NEUTRAL (2019 CPC SECTION 422.2 EXCEPTION 3)  
(1) WC, (1) LAV

SYMBOL LEGEND

| SYMBOL                               | DESCRIPTION                                                              | SYMBOL                                                       | DESCRIPTION                                                                                |
|--------------------------------------|--------------------------------------------------------------------------|--------------------------------------------------------------|--------------------------------------------------------------------------------------------|
| DETAIL REFERENCE                     |                                                                          |                                                              |                                                                                            |
|                                      | DETAIL NUMBER<br>SHEET NUMBER<br>SUBJECT POINTER                         |                                                              | DETAIL NUMBER<br>CUT PLANE<br>SHEET NUMBER                                                 |
| EXTERIOR ELEVATION                   |                                                                          |                                                              |                                                                                            |
|                                      | DETAIL NUMBER<br>SHEET NUMBER                                            | INTERIOR ELEVATION                                           |                                                                                            |
|                                      |                                                                          |                                                              | ELEVATION NUMBER<br>DETAIL NUMBER<br>SHEET NUMBER<br>ELEVATION NUMBER                      |
| KEYNOTE                              |                                                                          |                                                              |                                                                                            |
|                                      |                                                                          |                                                              | CEILING HEIGHT<br>HEIGHT A.F.F. U.N.O.                                                     |
| WALL TYPE                            |                                                                          |                                                              |                                                                                            |
|                                      | WALL TYPE<br>SUBJECT WALL                                                | ACCESSORY TYPE                                               |                                                                                            |
|                                      |                                                                          |                                                              |                                                                                            |
| DOOR TYPE                            |                                                                          |                                                              |                                                                                            |
|                                      |                                                                          |                                                              | WINDOW TYPE                                                                                |
| MISCELLANEOUS TYPE                   |                                                                          |                                                              |                                                                                            |
|                                      |                                                                          |                                                              | DELTA AND CLOUD                                                                            |
| SIMPLE FINISH:<br>MATERIAL AND COLOR |                                                                          | COMPLEX FINISH:<br>MATERIAL, COLOR, & ADDITIONAL INFORMATION |                                                                                            |
|                                      | MATERIAL<br>COLOR                                                        |                                                              | MATERIAL<br>COLOR<br>ADDITIONAL INFO.                                                      |
| ROOM IDENTIFICATION                  |                                                                          |                                                              |                                                                                            |
|                                      | ROOM NAME<br>ROOM NUMBER<br>ROOM FLOOR AREA                              |                                                              | MATCH LINE<br>SEE: A-X-X-X<br>MATCH LOCATION SHEET                                         |
| ROOM OCCUPANCY LOAD                  |                                                                          |                                                              |                                                                                            |
|                                      | RM. OCCUPANCY GROUP<br>CLOSET<br>S-1 200<br>S 1,000<br>RM. OCCUPANT LOAD |                                                              | EGRESS WIDTH<br>EGRESS COMPONENT<br>OCCUPANT LOAD<br>REQ'D MINIMUM WIDTH<br>PROVIDED WIDTH |
| GRID LINE IDENTIFICATION             |                                                                          |                                                              |                                                                                            |
|                                      | GRID LINE IDENTIFICATION                                                 |                                                              | GRID LINE IDENTIFICATION<br>(X DENOTES EXISTING)                                           |

ABBREVIATIONS

|                                                                                                                  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |
|------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Ø DIAMETER<br>SQUARE FOOT / FEET<br>& AND<br>@ CENTER LINE<br>⊥ PERPENDICULAR<br>POUND OR NUMBER<br>(E) EXISTING | A.B. ANCHOR BOLT<br>ABV. ABOVE<br>A/C AIR CONDITIONING<br>A.C. ASPHALTIC CONCRETE<br>A.C.O. ACOUSTICAL<br>ADDL. ADDITIONAL<br>A.D. AREA DRAIN<br>ADJ. ADJACENT<br>AFF. ABOVE FINISH FLOOR<br>AGGR. AGGREGATE<br>ALUM. ALUMINUM<br>APPROX. APPROXIMATE<br>ARCH. ARCHITECTURAL<br>ASB. ASBESTOS<br>ASPH. ASPHALT<br>ASR. AUTO. SPRINKLER<br>AUTO. AUTOMATIC<br>BD. BOARD<br>BITUM. BITUMINOUS<br>BLDG. BUILDING<br>BLK. BLOCK<br>BLKG. BLOCKING<br>BM. BEAM<br>BOT. BOTTOM<br>BTWN. BETWEEN | FA FIRE ALARM<br>FDN FOUNDATION<br>F.D. FLOOR DRAIN<br>F.E. FIRE EXTINGUISHER<br>F.F. FINISH FLOOR<br>FIN. FINISH<br>FINT. FIXTURE<br>FLR. FLASHING<br>FLR. FLOOR<br>FLUOR. FLUORESCENT<br>F.H.C. FIRE HOSE CABINET<br>F.H. FIRE HYDRANT<br>FL FLOW LINE<br>F.O.C. FACE OF CONCRETE<br>F.O.F. FACE OF FINISH<br>F.O.M. FACE OF MASONRY<br>F.O.S. FACE OF SHEATHING<br>FRF. FIREPROOF<br>FRT. FIRE RETARDANT<br>F.S. FINISH SURFACE<br>F.S. FLOOR SINK<br>FSR. FIRE SPRINKLER RISER<br>FT. FOOT OR FEET<br>FTG. FOOTING<br>FUR. FURRING<br>FUT. FUTURE<br>GA. GAUGE<br>GALV. GALVANIZED<br>GB. GRAB BAR<br>GC. GENERAL CONTRACTOR<br>GL. GLASS<br>GND. GROUND<br>GR. GRADE<br>GYP. GYPSUM<br>H.B. HOUSE BIB<br>H.C. HOLLOW CORE<br>HDR. HEADER<br>HDW. HARDWARE<br>HDWD. HARDWOOD<br>H.M. HOLLOW METAL<br>HORIZ. HORIZONTAL<br>H.P. HIGH POINT<br>HR. HOUR<br>HT. HEIGHT<br>HVAC. HEATING, VENTILATION, & AIR CONDITIONING<br>I.D. INSIDE DIAMETER<br>I.E. INVERT ELEVATION<br>IN. INCH<br>INFO. INFORMATION<br>INSUL. INSULATION<br>INT. INTERIOR<br>JT. JOINT<br>LAM. LAMINATE<br>LAV. LAVATORY<br>LT. LIGHT | PART'N PARTITION<br>P.L. PROPERTY LINE<br>PL. PLATE<br>PLAM. PLASTIC LAMINATE<br>PLAS. PLASTER<br>PLBG. PLUMBING<br>PLYVD. PLYWOOD<br>POC. POINT OF CONNECTION<br>PR. RISER<br>P.T. PRESSURE TREATED<br>Q.T. QUARRY TILE<br>R. RADIUS<br>R.D. ROOF DRAIN<br>RDWD. REDWOOD<br>REF. REFER TO<br>REFR. REFRIGERATOR<br>REG. REGISTER<br>REINF. REINFORCING<br>REQ'D. REQUIRED<br>REQ'D. REQUIREMENT<br>RESIL. RESILIENT<br>R.H.B. RECESSED HOSE BIB<br>RM. ROOM<br>R.O. ROUGH OPENING<br>ROW. RIGHT OF WAY<br>R.S. ROUGH SAWN<br>R.W.L. RAIN WATER LEADER<br>S. SOUTH<br>SAT. SUSP. ACOUST. TILE<br>S.C. SOLID CORE<br>SCHED. SCHEDULE<br>SECT. SECTION<br>S.F. SQUARE FOOT / FEET<br>SHT. SHEET<br>SHT'G. SHEATHING<br>SIM. SIMILAR<br>SPEC. SPECIFICATION<br>SQ. SQUARE<br>S.S. STAINLESS STEEL<br>SSK. SERVICE SINK<br>STA. STATION<br>STD. STANDARD<br>STL. STEEL<br>STR. STORAGE STRUCTURE<br>STRUCT. STRUCTURAL / SUSPENDED<br>SYM. SYMMETRICAL<br>T. TREAD<br>TB. TOP BEAM<br>TC. TOP OF CURB<br>TD. TOP OF DRAIN<br>TEL. TELEPHONE<br>T&S. TONGUE AND GROOVE<br>THK. THICK<br>T.J. TRUSS JOIST<br>T.O. TOP OF<br>T.O.C. TOP OF CONCRETE<br>T.O.P. TOP OF PARAPET<br>T.O.PL. TOP OF PLATE<br>T.O.S. TOP OF STEEL<br>T.O.W. TOP OF WALL<br>T.P. TOP OF PAVEMENT<br>TV. TELEVISION<br>TYP. TYPICAL<br>UNF. UNFINISHED<br>U.N.O. UNLESS NOTED OTHERWISE<br>VERT. VERTICAL<br>VEST. VESTIBULE<br>V.C.T. VINYL COMPOSITE TILE<br>V.I.F. VERIFY IN FIELD<br>V.T.R. VENT THROUGH ROOF<br>W. WEST<br>W. WITH<br>W.C. WATER CLOSET<br>WD. WOOD<br>WHL. WATER HEATER<br>WO. WITHOUT<br>WP. WATERPROOF<br>WR. WATER RESISTANT<br>W.W.F. WELDED WIRE FABRIC<br>WT. WEIGHT |
|------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

GRAPHIC MATERIAL LEGEND

|  |                                          |  |                                                        |
|--|------------------------------------------|--|--------------------------------------------------------|
|  | EARTH<br>SHOWN IN SECTION                |  | GYPSUM BOARD<br>SHOWN IN SECTION                       |
|  | CAST-IN-PLACE<br>CONCRETE                |  | CONT. WOOD BLOCKING<br>SHOWN IN SECTION                |
|  | BRICK PAVERS<br>PLAN OR SECTION          |  | FINISHED WOOD<br>SECTION OR ELEVATION                  |
|  | RIGID INSULATION OR<br>SAFING            |  | FINISHED WOOD<br>SECTION OR ELEVATION                  |
|  | METAL - TYPE AS NOTED<br>PLAN OR SECTION |  | SPRAY FIREPROOFING<br>SHOWN IN SECTION                 |
|  | METAL - ROLLED SHAPE<br>PLAN OR SECTION  |  | BATT INSULATION P<br>THERMAL OR<br>ACOUSTICAL AS NOTED |
|  | PLASTER ON METAL                         |  | GLASS<br>SHOWN IN SECTION                              |
|  | LATH<br>SHOWN IN SECTION                 |  | CMU<br>SHOWN IN SECTION                                |
|  | DENSGLASS<br>SHOWN IN SECTION            |  |                                                        |

NEBRINA COSTA MESA  
770 W 19TH STREET  
COSTA MESA, CA 92627

TITLE SHEET

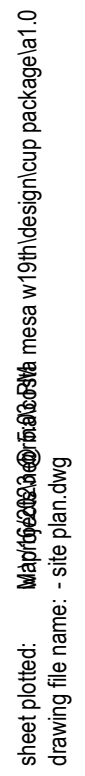
CUP NUMBER: PA-21-39  
Plan Check Number:

2022-11-02 CUP REVISIONS



SHEET

T1.0



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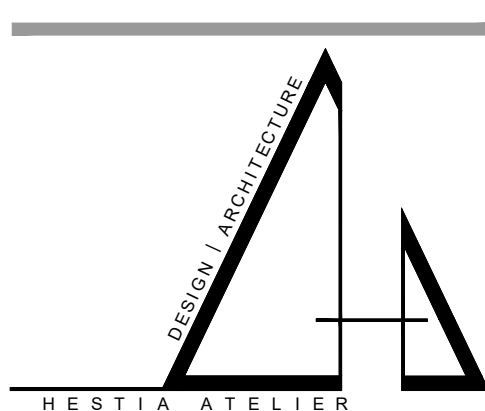
sheet plotted: **Nebrina Costa Mesa** w/ 5th design group package 1.1

drawing file name: - existing site plan.dwg



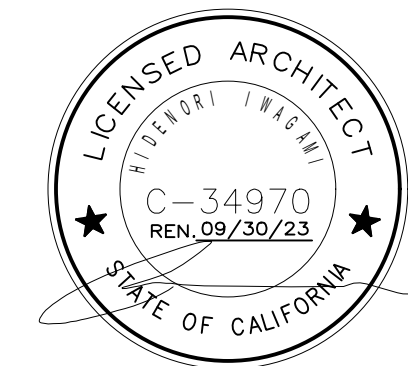
## KEYNOTES

- 1 EXISTING PARKING
- 2 EXISTING DRIVEWAY
- 3 EXISTING ASPHALT PAVEMENT
- 4 EXISTING PROPERTY LINE
- 5 EXISTING DRIVE ISLE
- 6 EXISTING LANDSCAPING
- 7 EXISTING BILLBOARD
- 8 EXISTING ACCESSIBLE PARKING
- 9 EXISTING ACCESSIBLE LOADING AREA
- 10 EXISTING ACCESSIBLE PATH OF TRAVEL
- 11 EXISTING SIDEWALK
- 12 EXISTING WHEEL STOP
- 13 EXISTING RECYCLE AND TRASH BINS
- 14 EXISTING MANHOLE
- 15 NOT USED
- 16 EXISTING STEEL GATE
- 17 EXISTING ELECTRICAL METER
- 18 EXISTING CHAIN LINK FENCE
- 19 EXISTING SITE CURB
- 20 NOT USED
- 21 EXISTING ADJACENT LOT. NOT IN SCOPE
- 22 EXISTING FIRE LANE
- 23 NOT USED
- 24 EXISTING GAS METER
- 25 EXISTING STREET LIGHT POST
- 26 EXISTING WOOD FENCE



3 PETERS CANYON RD STE #110  
IRVINE, CA. 92606

Seal



Consultant

NEBRINA COSTA MESA  
770 W 19TH STREET  
COSTA MESA, CA 92627

## EXISTING SITE PLAN

CUP NUMBER: PA-21-39

Plan Check Number:

2022-11-02 CUP REVISIONS

S H E E T

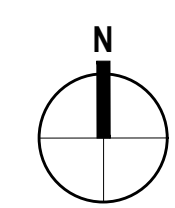
A1.1

## EXISTING SITE PLAN

3/32"=1'-0"

1





NEBRINA COSTA MESA  
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## ROOF PLAN

CUP NUMBER: PA-21-39

Plan Check Number:

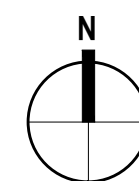
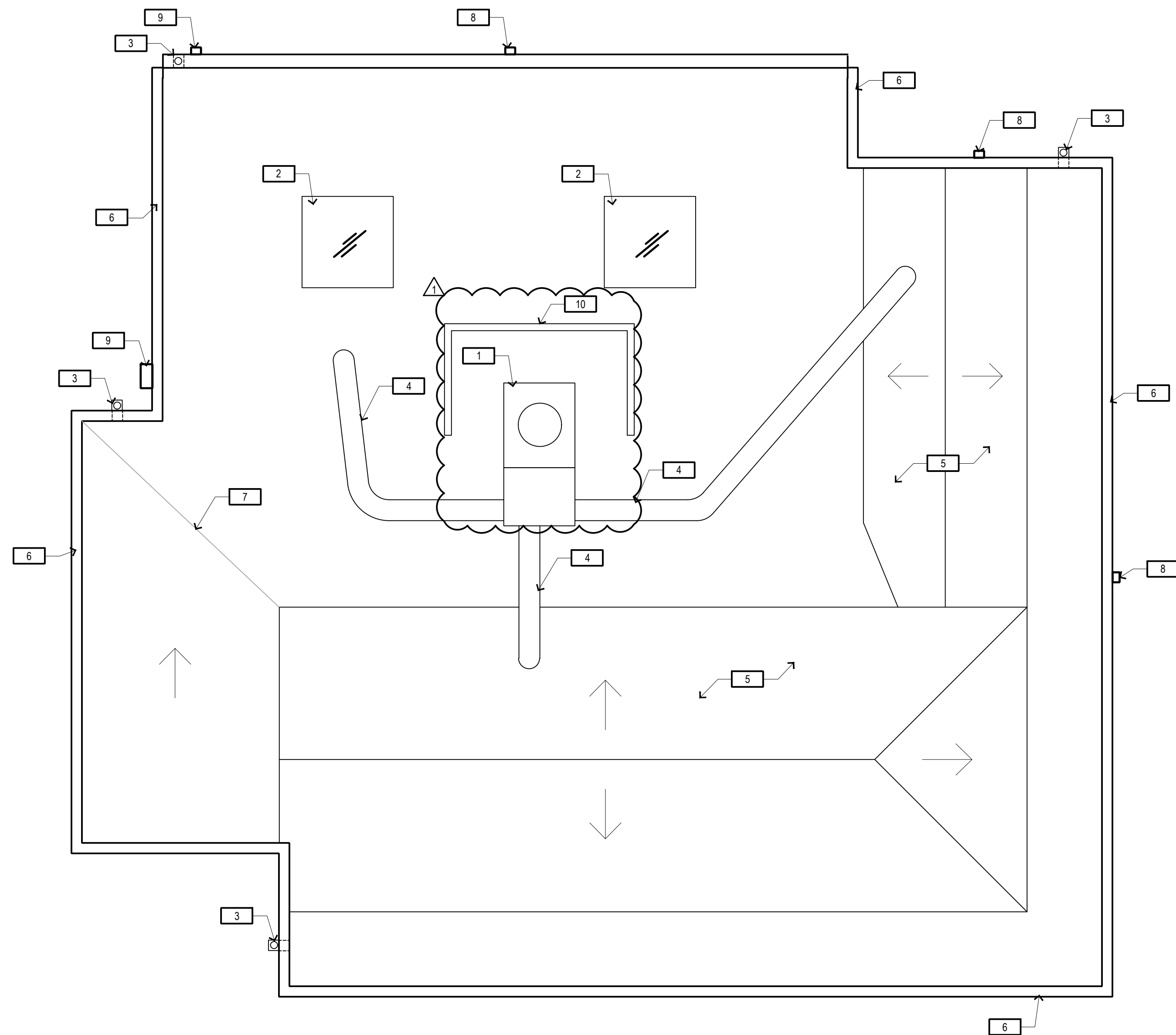
2022-11-02  CUP REVISIONS

# S H E E T

## A3.0

## KEYNOTES

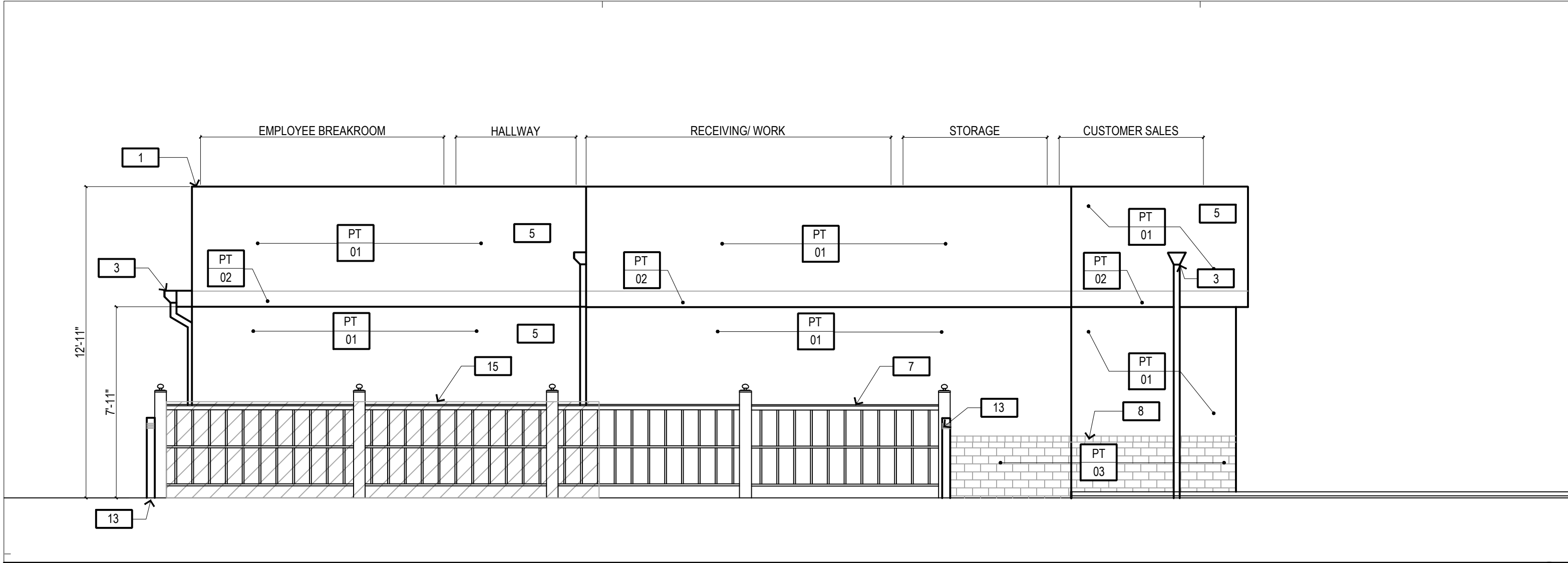
- 1 EXISTING ROOFTOP UNIT TO REMAIN
- 2 EXISTING SKYLIGHT TO REMAIN
- 3 EXISTING ROOF GUTTER TO REMAIN
- 4 EXISTING EXPOSED DUCTWORK TO REMAIN
- 5 EXISTING SLOPED ROOF WITH ASPHALT SHINGLES TO REMAIN
- 6 EXISTING PARPET TO REMAIN
- 7 EXISTING CRICKET TO REMAIN
- 8 EXISTING WALL MOUNTED LIGHT FIXTURE TO REMAIN
- 9 EXISTING UTILITY BOX TO REMAIN
- 10 NEW ROOFTOP SCREENING FOR EXISTING ROOFTOP UNIT



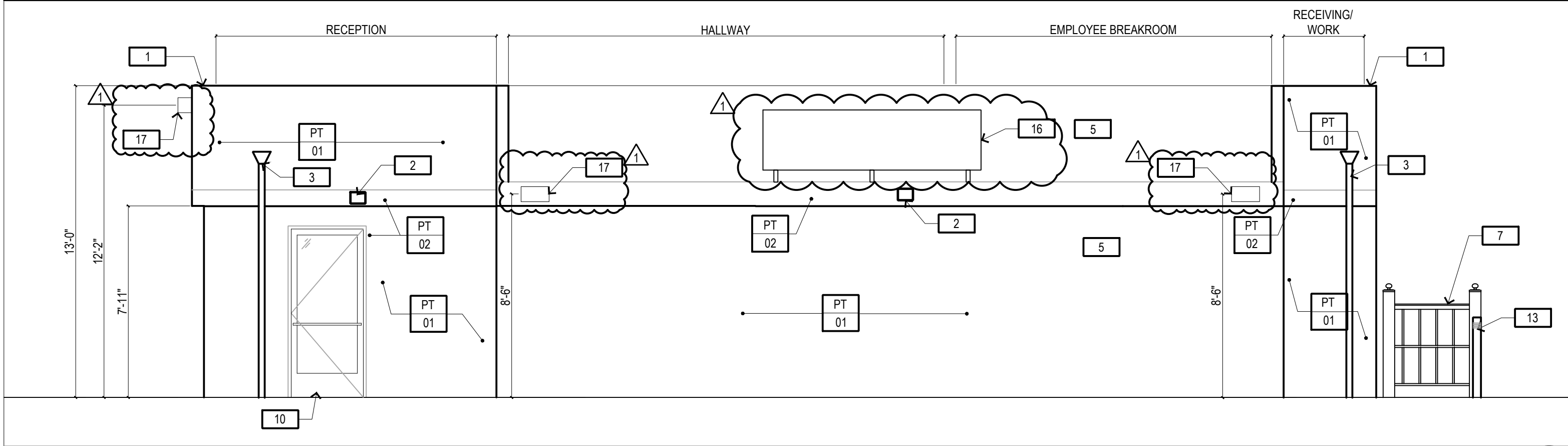
## ROOF PLAN

1/4"=1'-0"

1



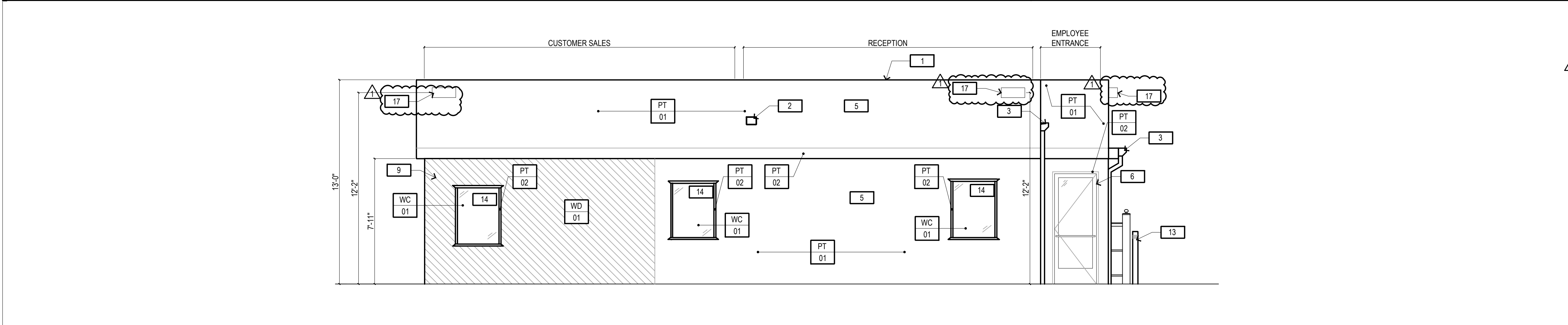
WEST ELEVATION 1/8"=1'-0" 4



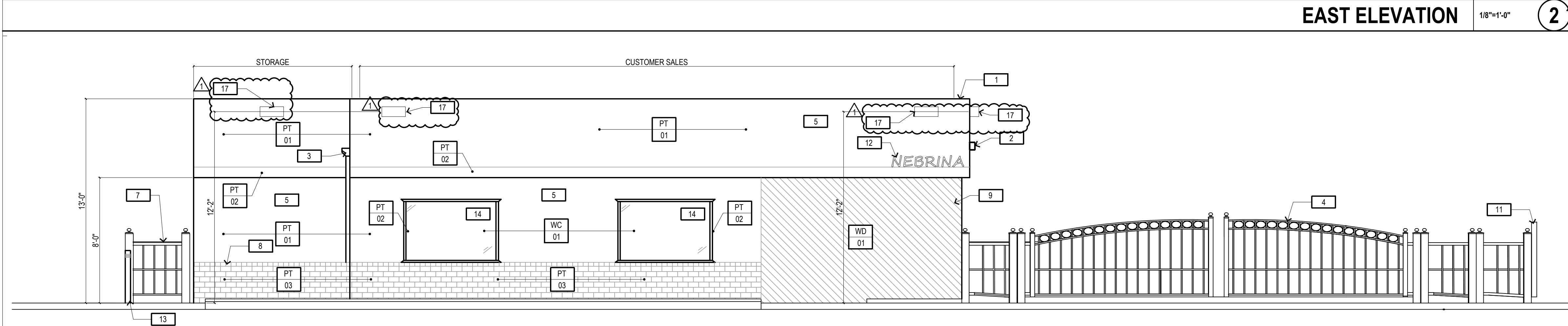
SOUTH ELEVATION 1/8"=1'-0" 3



CONCEPTUAL RENDERING



EAST ELEVATION 1/8"=1'-0" 2



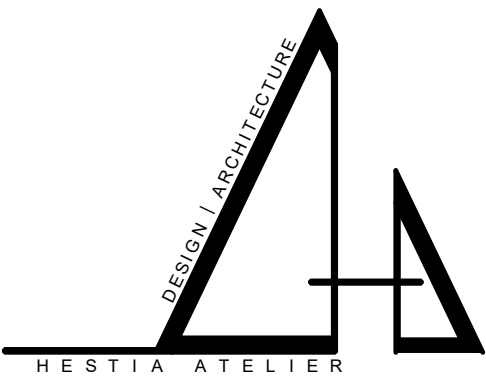
NORTH ELEVATION 1/8"=1'-0" 1

KEYNOTES

- 1 EXISTING ROOF PARAPET TO REMAIN
- 2 EXISTING WALL MOUNTED LIGHT FIXTURE
- 3 EXISTING ROOF DRAIN TO REMAIN. PAINT ROOF DRAIN TO MATCH EXISTING BUILDING EXTERIOR
- 4 EXISTING METAL GATE TO REMAIN
- 5 EXISTING WALL STUCCO TO BE PAINTED. COLOR: SHERWIN WILLIAM- PURE WHITE- EGGSHELL
- 6 EXISTING STORE FRONT DOOR TO REMAIN, ADD PRIVACY FILM TO INTERIOR SIDE. COLOR: 3MM FASARA GLASS FINISH CHAMONIX
- 7 NEW WROUGHT IRON FENCE AND GATE TO MATCH EXISTING GATE/FENCE SHOWN ON NORTH ELEVATION
- 8 EXISTING BRICK VENEER TO BE WHITE WASH PAINTED: COLOR: SHERWIN WILLIAMS-PURE WHITE- FLAT
- 9 NEW DIAGONAL WOOD SLATS
- 10 NEW DOOR TO MATCH EXISTING STOREFRONT. PROVIDE PRIVACY FILM TO INTERIOR COLOR: 3MM FASARA GLASS FINISH CHAMONIX
- 11 EXISTING WOOD FENCE TO REMAIN
- 12 PROPOSED NEW SIGNAGE. UNDER SEPARATE PERMIT
- 13 EXISTING BOLLARD TO REMAIN
- 14 EXISTING STOREFRONT GLAZING TO REMAIN, ADD PRIVACY FILM TO INTERIOR SIDE. COLOR: 3MM FASARA GLASS FINISH CHAMONIX
- 15 WROUGHT IRON SLIDING GATE BEHIND THE FENCE
- 16 NEW ROOFTOP SCREENING FOR EXISTING ROOFTOP UNIT
- 17 NEW WALL MOUNTED SECURITY LIGHT FIXTURE

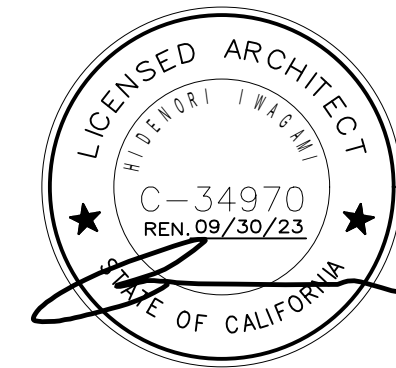
MATERIALS SCHEDULE

| Item # | Room     | Description/Location                      | Item                   | Size & Color  | Finish   |
|--------|----------|-------------------------------------------|------------------------|---------------|----------|
| PT-1   | Exterior | Paint @ Exterior Building Facade          | SW7005                 | Pure White    | Eggshell |
| PT-2   | Exterior | Paint @ Exterior Trim                     | SW6258                 | Tricorn Black | Eggshell |
| PT-3   | Exterior | Paint @ Exterior Brick to be White Washed | SW7005                 | Pure White    | Flat     |
| WC-1   | Exterior | Typical Window Film                       | 3M Fasara Glass Finish | Chamonix      |          |
| WD-1   | Exterior | Typical Wood Slats @ Exterior             | 4" Diagonal Wood Slat  | 4" W Walnut   | Satin    |



3 PETERS CANYON RD STE #110  
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EXTERIOR ELEVATIONS

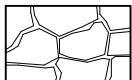
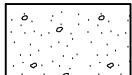
CUP NUMBER: PA-21-39  
Plan Check Number:

2022-11-02 CUP REVISIONS

SHEET

A4.0



| REFERENCE NOTES SCHEDULE                                                            |                                                                                                                                                                                                                          |            |
|-------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------|
| <u>SYMBOL</u>                                                                       | <u>DESCRIPTION</u>                                                                                                                                                                                                       | <u>QTY</u> |
|  | 2"-4" FRACTURED ROCK COBBLE OVER DE WITT WEED BARRIER PRO 'NEW CASTLE BROWN' BY DECORATIVE STONE SOLUTIONS, INC. OR APPROVED EQUIVALENT. CONTRACTOR SHALL PROVIDE A REPRESENTATIVE COLOR SAMPLE FOR REVIEW AND APPROVAL. | 0.9 cy     |
| <u>SYMBOL</u>                                                                       | <u>DESCRIPTION</u>                                                                                                                                                                                                       | <u>QTY</u> |
|  | 4" LAYER DECOMPOSED GRANITE OVER NATIVE 'DUNE' BY DECORATIVE STONE SOLUTIONS, INC. OR APPROVED EQUAL. CONTRACTOR TO PROVIDE SAMPLES FOR REVIEW AND APPROVAL.                                                             | 10.79 cy   |



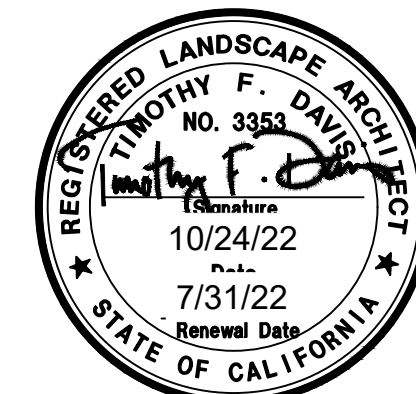
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COSTA MESA, CA 92627

# CONCEPTUAL LANDSCAPE PLAN

[illegible]

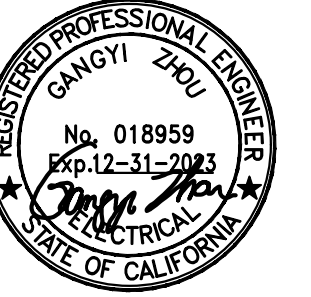
S H E E T

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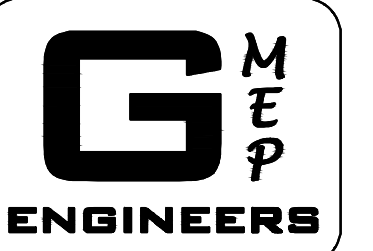


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NEBRINA COSTA MESA  
770 W 19TH STREET  
COSTA MESA, CA 92627

ELECTRICAL PHOTO METRICS

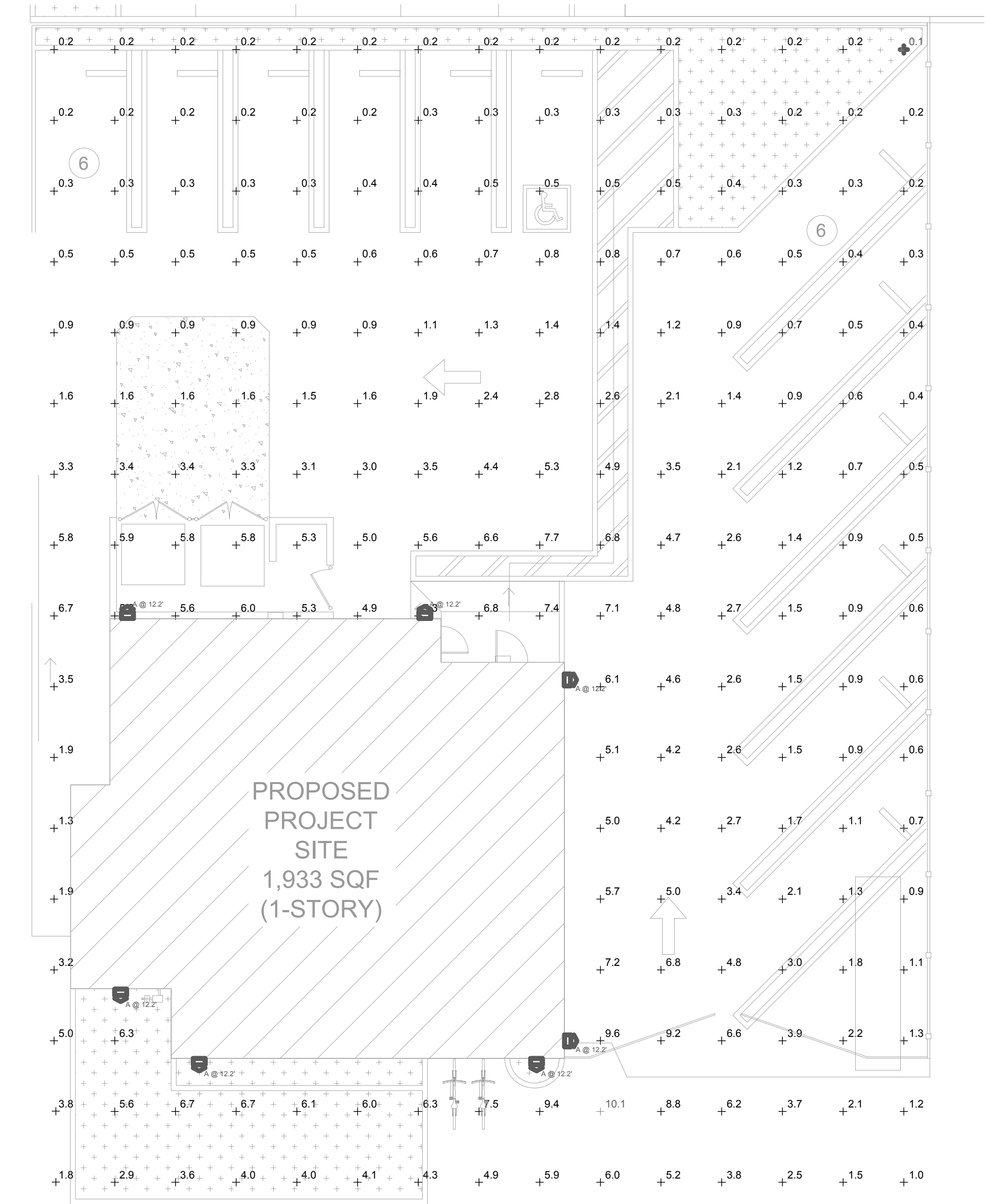
CUP NUMBER: PA-21-39  
Plan Check Number:

2022-11-02  CUP REVISIONS

# E-1.0

| Schedule                                                                            |       |     |              |            |                                                                 |              |             |             |
|-------------------------------------------------------------------------------------|-------|-----|--------------|------------|-----------------------------------------------------------------|--------------|-------------|-------------|
| Symbol                                                                              | Label | QTY | Manufacturer | Catalog    | Description                                                     | Number Lamps | Lamp Output | Input Power |
|  | A     | 7   | TCP          | WP12000150 | Outdoor Non-Cutoff and Semi-Cutoff Wall-Mounted Area Luminaires | 1            | 14880       | 120.66      |

| Statistics    |        |        |         |        |         |         |
|---------------|--------|--------|---------|--------|---------|---------|
| Description   | Symbol | Avg    | Max     | Min    | Max/Min | Avg/Min |
| Property Area | +      | 2.6 fc | 10.1 fc | 0.1 fc | 101.0:1 | 26.0:1  |



## ELECTRICAL SITE PLAN - PHOTOMETRICS

SCALE: 1/8" = 1'-0"