

**GENERAL NOTES:**

- GENERAL CONTRACTOR (G.C.) TO REVIEW AND VERIFY ALL JOB CONDITIONS, DIMENSIONS, AND DETAILS PRIOR TO BIDDING, PRICING AND CONSTRUCTION TO DETERMINE WHICH NOTES APPLY DIRECTLY TO GENERAL CONTRACTOR'S RESPONSIBILITY. G.C. TO MAKE NOTE AND SUBMIT IN WRITTEN FORM TO DESIGNER ANY DAMAGES OR DEFICIENCIES, NOTES OR SPECIFICATIONS.
- ALL WORK SHOWN OR IMPLIED, UNLESS SPECIFICALLY QUESTIONED, SHALL BE CONSIDERED FULLY UNDERSTOOD IN ALL RESPECTS BY THE GENERAL CONTRACTOR.
- DRAWINGS ARE NOT TO BE SCALED. WRITTEN DIMENSIONS GOVERN. LARGER SCALE DRAWINGS GOVERN SMALLER SCALE DRAWINGS.
- DRAWINGS AND NOTES ARE COMPLEMENTARY. ANY WORK SHOWN OR REFERRED TO ON ANY ONE DRAWING SHALL BE PROVIDED AS THOUGH SHOWN ON ALL RELATED DRAWINGS.
- GENERAL CONTRACTOR SHALL COMPLY WITH ALL RULES AND REGULATIONS OF BUILDING MANAGEMENT, IF ANY, IN ALL RESPECTS INCLUDING TRASH DISPOSAL, PARKING, HOURS OF OPERATION, ETC. GENERAL CONTRACTOR IS RESPONSIBLE TO ADHERE TO SUCH REGULATIONS FROM THESE DRAWINGS AND TO PROVIDE A COPY FOR REVIEW BY ALL SUB-CONTRACTORS. G.C. TO NOTIFY DESIGNER / OWNER OF ANY CONFLICTS BETWEEN REGULATIONS AND OTHER CONTRACTUAL DOCUMENTS PRIOR TO PROCEEDING WITH ANY WORK.
- ALL WORK TO BE PERFORMED IN PUBLIC AREAS SHALL BE PERFORMED AS REQUIRED BY BUILDING RULES AND REGULATIONS UNLESS OTHERWISE ARRANGED WITH OWNER.
- GENERAL CONTRACTOR TO MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS ON SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL TRADES AND WORK RELATED SPECIALTIES REQUIRED IN ORDER FOR PROJECT AND ITS PARTS TO COME TOGETHER PROPERLY AND FIT TO RECEIVE OR BE RECEIVED BY WORK OF OTHER TRADES AND CONTRACTOR'S IMPLIED BY DRAWINGS OR NOTES.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING AND FOR FEES FOR HOISTING EQUIPMENT AS MAY BE REQUIRED BY THE WORK OF THE PROJECT.
- ALL WORK SHALL CONFORM TO DRAWINGS AND SPECIFICATIONS BY DESIGNER AND OTHER PROJECT CONSULTANTS AND SHALL BE NEW AND OF THE BEST QUALITY OF KINDS SPECIFIED. ALL MANUFACTURER ARTICLES TO BE INSTALLED, CONNECTED CONDITIONED AS DIRECTED BY MANUFACTURER. ALL WORK TO BE PERFORMED IN A GOOD WORKMANSHIP MANNER.
- SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR REVIEWING AND UNDERSTANDING ENTIRE SET OF DRAWINGS AND NOTING THEIR WORK AS APPLICABLE. ALL SHOP DRAWINGS SHALL BE SUBMITTED TO DESIGNER FOR REVIEW, COMMENT, AND APPROVAL BY WAY OF GENERAL CONTRACTOR PRIOR TO COMMENCEMENT OF WORK.
- GENERAL CONTRACTOR TO BE SOLELY RESPONSIBLE FOR REMOVAL, REPLACEMENT, AND RECTIFICATION OF ALL DAMAGED AND DEFECTIVE MATERIAL AND/OR WORKMANSHIP IN CONNECTION WITH THE CONTRACT WORK WHICH SHALL APPEAR WITHIN ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION AS DIRECTED BY DESIGNER ANY COST ACCRUED BY DEFECTIVE OR ILL-TIMED WORK AS A RESULT OF, BUT NOT LIMITED TO, INTERIOR WORKMANSHIP OR MATERIALS, POOR SCHEDULING OR DELINQUENT ORDERING SHALL BE BORNE BY THE PARTY RESPONSIBLE.
- DURING ENTIRE PERIOD OF DEMOLITION AND CONSTRUCTION ANY AND ALL REQUIRED EXISTING EXITS, EXIT LIGHTING AND FIRE PROTECTIVE SERVICES SHALL BE PROPERLY MAINTAINED. ALL WAYS OF TRAVEL FROM EXITS TO THE STREET SHALL BE MAINTAINED FREE FROM ALL OBSTRUCTIONS IN CASE OF FIRE OR OTHER EMERGENCY.
- GENERAL CONTRACTOR SHALL PROPERLY PROTECT THE BUILDING AND ANY ADJOINING PROPERTY OR WORK, AND PROTECT ALL EXISTING SURFACES OR FINISHES TO REMAIN DURING DEMOLITION AND CONSTRUCTION. ANY DAMAGE TO THE SAME SHALL BE REPAIRED BY GENERAL CONTRACTOR AT G.C.'S EXPENSE TO "LIKE-NEW" CONDITION.
- GENERAL CONTRACTOR SHALL VERIFY ALLOWED WORKING HOURS FOR ALL WORK DONE TO THE CORE TO INCLUDE DRILLING, PATCHING, AND ELECTRICAL HOOK-UPS AND IS RESPONSIBLE FOR ALL COSTS NECESSARY TO COMPLY WITH SUCH HOURS WITHIN BASE BID.
- GENERAL CONTRACTOR IS RESPONSIBLE TO MAINTAIN JOBSITE CLEANLINESS AND REMOVAL OF ALL WASTE MATERIALS FROM PREMISES AS GENERATED BY CONSTRUCTION DEMOLITION, DRYWALLING, AND ALL TRADE RELATED WORK BY CONTRACTUAL WORK.
- ALL WORK NOTED N.I.C. OR BY TENANT OR BY OWNER IS TO BE ACCOMPLISHED BY PERSONS OTHER THAN GENERAL CONTRACTOR AND IS NOT TO BE PART OF CONSTRUCTION AGREEMENT.
- GENERAL CONTRACTOR SHALL SECURE ALL REQUIRED PERMITS AND FEES ASSOCIATED WITH ALL BUILDING & SAFETY DEPARTMENTS AND FORWARD COPIES TO APPROPRIATE PERSONNEL I.E. DESIGNER, AND / OR OWNER REPRESENTATIVE.
- GENERAL CONTRACTOR TO PROVIDE CONSTRUCTION SCHEDULE, AND LIST OF LONG LEAD ITEMS THAT MAY CAUSE DELAY WITH SCHEDULING BY END OF FIRST WEEK OF CONSTRUCTION.
- GENERAL CONTRACTOR SHALL SUBMIT SAMPLES, AND CUT-SHEETS WHERE REQUESTED FOR WRITTEN APPROVAL BY DESIGNER, OR OWNER PRIOR TO MATERIAL ORDERING. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT PRIOR CONSENT OF DESIGNER, AND / OR OWNER.
- GENERAL CONTRACTOR TO SUBMIT IN WRITING ALL CHANGE ORDERS FOR ADDITIONAL WORK TO PROCEED UNTIL A SIGNED CHANGE ORDER IS RETURNED TO GENERAL CONTRACTOR UNLESS NOTED OTHERWISE. ANY AND ALL CHANGES IN THE FIELD SHALL BE APPROVED AND SIGNED BY THE DESIGNER AND / OR OWNER.
- UPON COMPLETION OF THE WORK, THE GENERAL CONTRACTOR SHALL PROVIDE TO OWNER:
  - COPY OF INSPECTIONS REPORT & FINAL SIGN-OFF
  - CERTIFICATE OF SUBSTANTIAL COMPLETION (AIA DOCUMENT #G704)
  - COPY OF PERMIT CARD
  - BUILDING DEPARTMENT APPROVED DRAWINGS
  - WARRANTIES FOR SPECIFIED MATERIALS
  - RECORD AS-BUILD DOCUMENTS FOR M.E.P. SUB-TRADES
  - ELECTRICAL PANEL SCHEDULE
- OCCUPANCY DURING CONSTRUCTION: AREA OF WORK SHALL BE OCCUPIED BY DURING CONSTRUCTION. ADJACENT AREAS ARE OCCUPIED DURING CONSTRUCTION.
- ALL EQUIPMENT, PRODUCTS, AND MANUFACTURED MATERIAL SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. GENERAL CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE MANUFACTURER'S INSTALLATION INSTRUCTIONS IN ALL RESPECTS.
- ALL WORK SHALL COMPLY WITH THE REGULATIONS OF THE GOVERNMENTAL AUTHORITIES HAVING JURISDICTION. THE SPECIFICATIONS SHALL BE SUPPLEMENTAL TO ALL LAWS AND CODES OF GOVERNMENTAL REGULATING BODIES RELATING TO BUILDINGS, AND ALL APPLICABLE REQUIREMENTS SPECIFIED IN THESE REGULATIONS SHALL BE FOLLOWED AS THOUGH SPECIFICALLY NOTED BY SUCH CODES OR LAWS. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO NOTIFY DESIGNER OF ANY CONFLICTS BETWEEN THESE DRAWINGS AND LOCAL BUILDING CODES AS SOON AS THEY BECOME AWARE OF THEM.
- DESIGNER AND OWNER SHALL HAVE ACCESS TO THE AREA OF WORK AT ALL TIMES AND SHALL CONDUCT PERIODIC VISITS TO DETERMINE OVERALL PROGRESS AND QUALITY OF THE WORK, AND TO CONFIRM GENERAL COMPLIANCE WITH CONTRACT DOCUMENTS. DESIGNER SHALL HAVE NO RESPONSIBILITY FOR MEANS AND METHODS OF CONSTRUCTION WHICH REMAIN THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- DESIGNER SHALL HAVE THE RIGHT TO REJECT WORK WHICH DOES NOT CONFORM TO THE CONTRACT DOCUMENTS OR IS OF SUB-STANDARD QUALITY. GENERAL CONTRACTOR SHALL CORRECT SUCH WORK AS DIRECTED. ADDITIONAL COSTS ACCRUED BY NEGLIGENCE OF THE GENERAL CONTRACTOR IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ABSORB SUCH FEES ASSOCIATED WITH SUB-STANDARD WORKMANSHIP.
- ANY SCOPE OF WORK SUMMARIES ON THIS SHEET ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR AND TO CLARIFY SCOPE OF WORK. THEY ARE SUPPLEMENTAL TO THE WORK OUTLINED ELSEWHERE IN DESIGNER'S AND / OR CONSULTANT'S DRAWINGS AND SPECIFICATIONS AND DO NOT SUPERCEDE THAT INFORMATION. THE OMISSION ON AN ITEM ON THESE SUMMARIES, THAT IS DEFINED ELSEWHERE IN THE BID PACKAGE, CANNOT BE TAKEN AS INDICATION THAT THAT ITEM IS OMITTED FROM GENERAL CONTRACTOR SCOPE OF WORK.
- GENERAL CONTRACTOR TO PROVIDE WRITTEN LETTER OF CONSENT HAVING READ ALL AND UNDERSTANDING OF THESE TERMS AND CONDITIONS OF THESE DRAWINGS, ANY AND ALL QUESTIONS WILL BE INQUIRED PRIOR TO START OF CONSTRUCTION.

**3505 CADILLAC AVE, BLDG M ,  
UNIT M202, LEVEL 2,  
COSTA MESA, CA 92626**

**SCOPE OF WORK:  
CHANGE OF USE FROM B TO F1  
INTERIOR TENANT IMPROVEMENT  
NO EXTERIOR WORK PROPOSED**

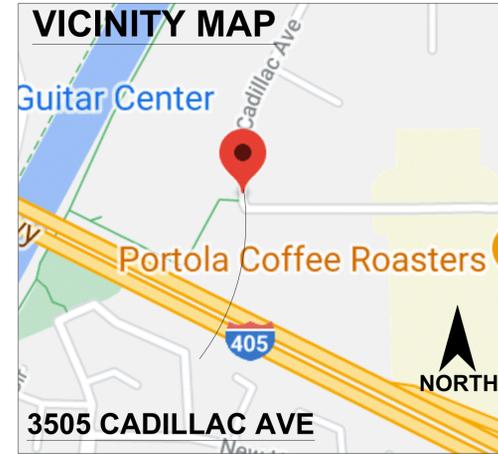
**CANNABIS DISTRIBUTION,  
MANUFACTURING FACILITY AND  
DISTRO, NO EXTRACTION,  
NO HAZARDOUS MATERIAL ON SITE  
PREROLLS ASSEMBLY ONLY THEN  
WHOLE SALE DISTRIBUTION AND  
NON-STORE FRONT RETAIL DELIVERY**

**EXTRACTION WILL NOT  
OCCUR WITHIN THIS FACILITY**

- APPLICABLE CODES:**
- 2020 CBC
  - 2020 CPC
  - 2020 CMC
  - 2020 CALIFORNIA FIRE CODE (CFC).

**BUILDING INFO:**

<b>BUILDING AREA:</b>	10240 SF
<b>UNIT M202 AREA:</b>	2206 SF
<b>OCCUPANCY &amp; CONSTRUCTION TYPE:</b>	
CONST. TYPE:	TYPE 5B
FIRE PROTECTION:	SPRINKLERED
OCCUPANCY:	FROM B TO F1
NUMBER OF STORIES:	2
MAXIMUM HEIGHT:	24'



**PARKING MATRIX**

**(E) PARKING TO REMAIN  
NO CHANGE OF USE**

**(N) USE DISTRIBUTION 2206 SF / 500 = 4  
SPACES REQUIRED**

PER  
ZI-2374 STATE ETNERPRISE ZONE  
AND  
ZI - 2498 LOCAL EMERGENCY TEMPORARY  
REGULATION TIME LIMITS AND PARKING  
RELIEF - LAMC 16.02.1

**SHEET INDEX**

- CS1.0: COVER SHEET
- A1: (E) FLOOR PLAN & (N) FLOOR
- A2: EGRESS PLAN & ACCESSIBLE PLAN & REFLECTED CEILING PLAN
- A3: ROOF PLAN & PREMISES DIAGRAM
- ADA1: ADA DETAILS
- ADA2: ADA DETAILS
- ADA3: ADA DETAILS
- ADA4: ADA DETAILS
- ADA5: ADA DETAILS

**OWNER:**

DESIGN:  
RAMON BAGUIO  
4273 CANOGA AVE  
WOODLAND HILLS, CA  
310-562-5382  
RBPLANDESIGN@GMAIL.COM  
WWW.CALPLANDESIGN.COM

**APPLICANT:**

RAMON BAGUIO

ATTACHMENT 6

**FIRE DEPT NOTES**

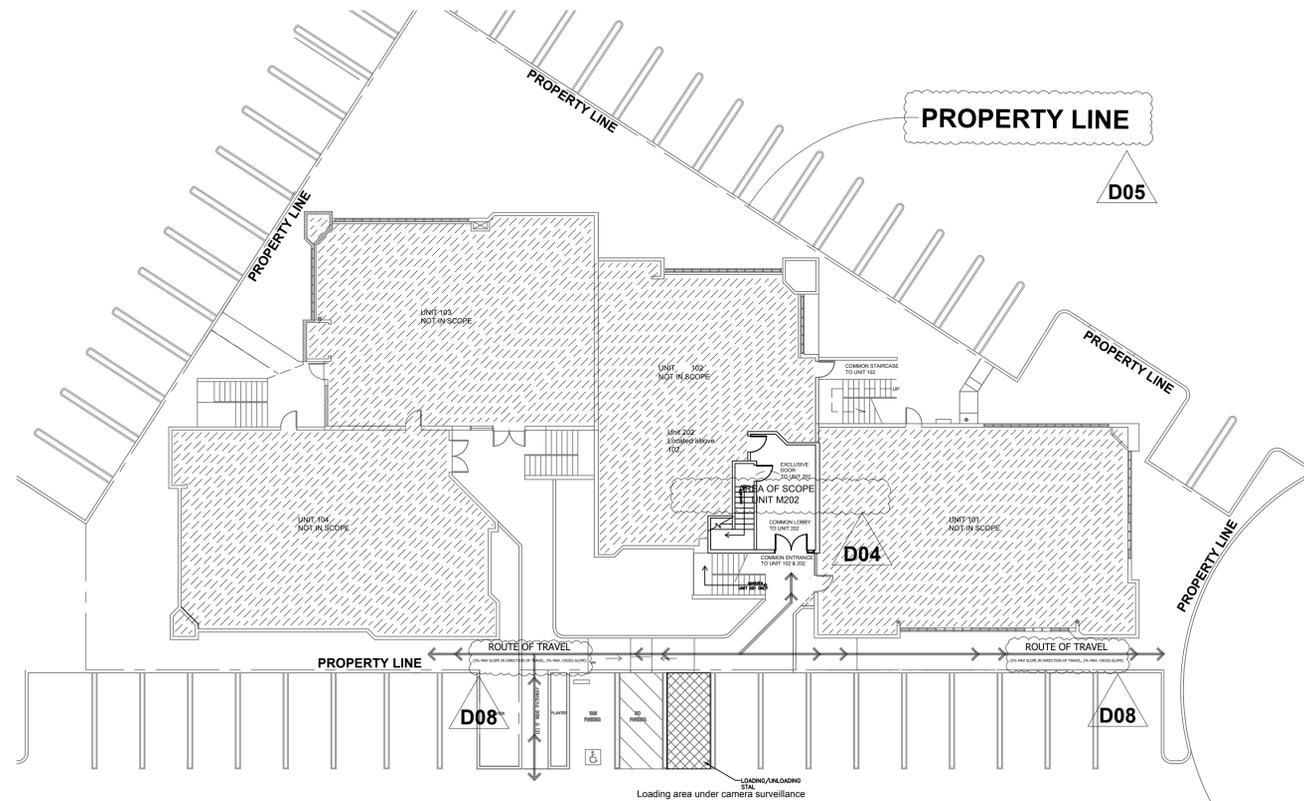
- FD final inspection required. Please schedule all field inspections at least 48 hours in advance. Inspections canceled after 1 p.m. on the day before the scheduled date will be subject to a re-inspection fee.
- Buildings under construction or demolition shall conform to CFC Chapter 14. No smoking or cooking is allowed in structures where combustible materials are exposed or within 25' of combustible materials storage areas. Cutting, welding, or other hot work shall be in conformance with CFC Chapter 35.
- In buildings four or more stories in height, standpipes shall be provided during construction when the height reaches 40 feet above the lowest point of fire department access. A fire department connection shall be no more than 100 feet from available fire department vehicle access roadways. A hydrant shall be located along the access roadway within 150 feet of the location(s) that the FDC can be accessed from. CFC 3310 & 3313
- Address numbers shall be provided for all new and existing buildings, be a minimum of four inches high for individual dwelling units and six inches high for all other installations and structures, contrast with their background, and be plainly visible from the roadway the building is addressed on. Address numbers shall have a minimum of 1/2" stroke. Temporary address numbers shall be provided on construction fencing or the building until permanent numbers can be provided. CBC 502.1, CFC 505.1
- Locations and classifications of extinguishers shall be in accordance with CFC 906 and CCR Title 19. At least one extinguisher shall be provided during construction on each floor at each stairway, in each storage and construction shed, in locations where flammable or combustible liquids are stored or used, or where similar hazards are present per CFC 3315.1. Before final occupancy, at least one 2A:10B:C extinguisher shall be provided so that no point is more than 75' travel distance from the extinguisher. Extinguishers shall be located along the path of egress travel and in a readily visible and accessible location, with the bottom of the extinguisher at least 4" above the floor. Additional extinguishers may be required by Brea FD inspectors depending on project or site conditions and final placement is subject to their approval.
- Wall, floor and ceiling finishes and materials shall not exceed the flame spread classifications in CBC Table 803.13. Decorative materials shall be properly treated by a product or process approved by the State Fire Marshal with appropriate documentation provided to the FD. Such items shall be approved and inspected prior to installation.
- Knox boxes/key cabinets shall be provided for all high-rise buildings, pool enclosures, gates in the path of firefighter travel to structures, secured parking levels, doors giving access to alarm panels and/or annunciators, and any other structures or areas where immediate access is required or is unduly difficult. A FD inspector can assist with locking gate keys in Knox boxes, contact your local fire station to arrange an appointment to secure master building keys in the Knox box.
- Approval of these plans shall not permit the violation of any code or law. Requirements or features not identified on the plan may apply and FD inspectors may require additional information or items from those shown on the plan depending on actual or anticipated field conditions. Such changes may necessitate submittal of revised or as-built plans to the Brea FD. Revised 05/20

**GENERAL REQUIREMENTS**

- The project shall comply with 2019 California Building Code, 2019 California Fire Code, and other currently adopted codes, standards, regulations and requirements as enforced by the FD.
- Dumpsters and trash containers exceeding 1.5 cubic yards shall not be stored in buildings or placed within 5 feet of combustible walls, openings or combustible roof eave lines unless protected by an approved sprinkler system or located in a Type I or IIA structure separated by 10 feet from other structures. Containers larger than 1 cubic yard shall be of non- or limited-combustible materials or similarly protected or separated. CFC 304.3
- Exits, exit signs, fire alarm panels, hose cabinets, fire extinguisher locations, and standpipe connections shall not be concealed by curtains, mirrors, or other objects.
- The egress path shall remain free and clear of all obstructions at all times. No storage is permitted in aisles.
- Exit doors shall be openable from the inside without the use of a key or any special knowledge or effort. Doors shall not be provided with thumb-turn locks or deadbolts that do not unlatch in tandem with the normal operating lever. The opening force for interior doors without closers shall not exceed 5 pounds. The unlatching and opening force for other doors, including fire doors, shall not exceed 15 pounds. CBC 1010
- The exit path shall be clearly identified with exit signs conforming to CBC 1013. Illuminated exit signs must have 90-minute emergency power back-up.
- Tactile signs shall be provided in commercial buildings, public buildings/accommodations, and publicly funded housing subject to CBC Chapters 11A and B and conform to 1143A or 11B-703.1, -703.2, -703.3, and 703.5, be mounted with the bottom of the lowest line of Braille characters at least 4 feet above the floor but the bottom of the highest line of raised text characters no more than 5 feet above the floor and, whenever possible, on the strike side of the door. Lettering shall be between 5/8" and 2" high. CBC 1009.9
- Stairs serving 4+ stories shall have stairwell signs conforming to CBC 1023.9
- The exit path shall be illuminated at all times in accordance with CBC 1008. Emergency lighting shall be provided with 90-minute back-up.
- Rated assemblies shall conform to approved methods and materials of construction. Penetrations through rated walls, ceilings, or floors shall be protected in an approved manner complying with CBC/CFC Chapter 7.
- Fire/ Smoke rated doors shall be self-closing and latching; such doors shall not be equipped with door stops or otherwise propped open. Fire/ smoke rated doors shall be equipped with rated hardware. CFC 705

**SCOPE OF WORK:**

- INTERIOR TENANT IMPROVEMENT
- NO EXTERIOR WORK PROPOSED



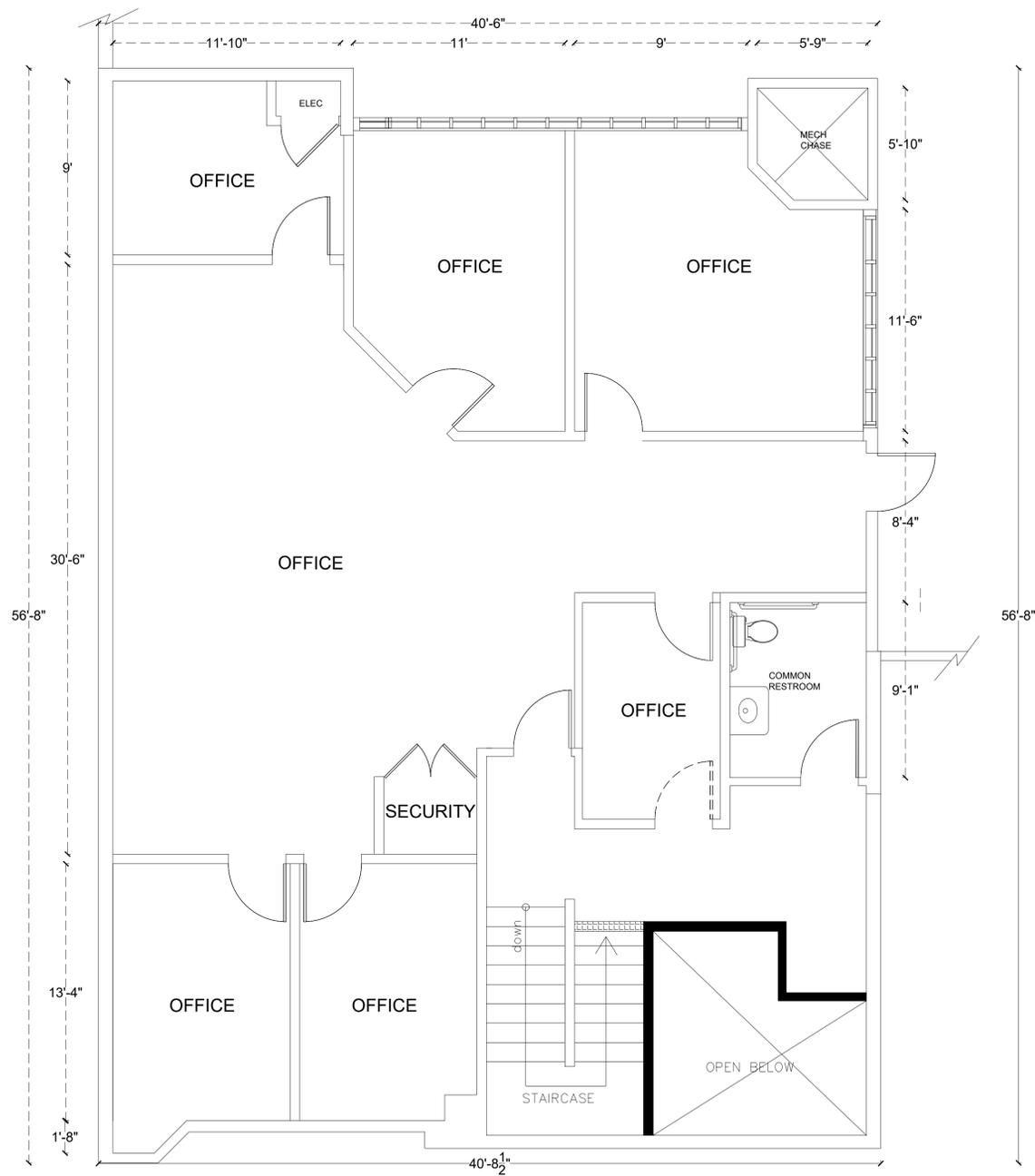
**1/CS: (E) SITE PLAN, 1/16"=1'**



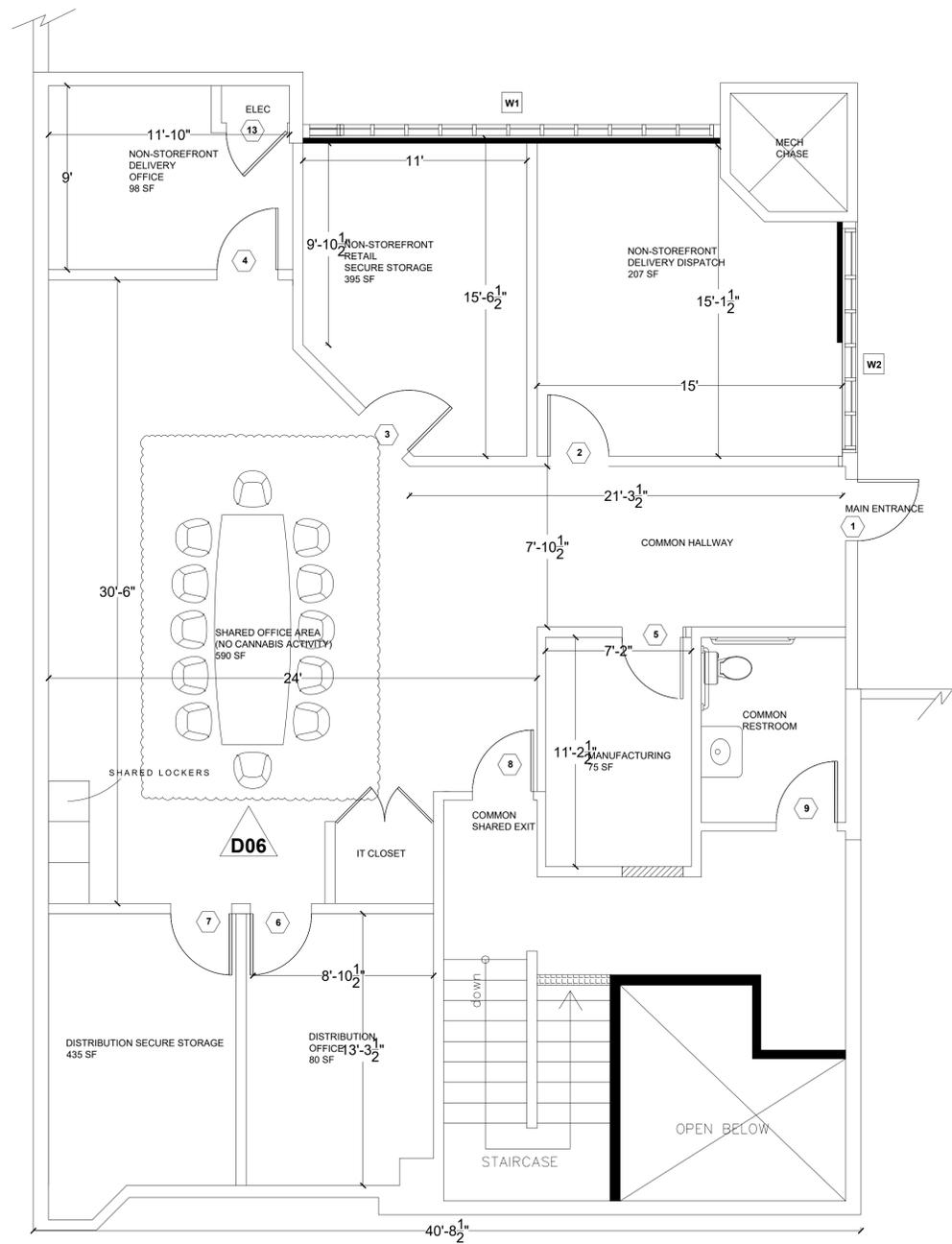
**3505 CADILLAC AVE, BLDG M, UNIT M202  
COSTA MESA, CA, 92626  
CANNABIS DISTRIBUTION & PROCESSING**

**COVER SHEET  
101922 SL**

**CS**



1/A1: (E) FLOOR PLAN, 1/4"=1'



2/A1: (N) FLOOR PLAN, 1/4"=1'



**WALL LEGEND**

- (E) WALLS TO REMAIN
- (E) WALLS TO BE DEMOLISHED
- (N) NONLOADBEARING PARTITION WALL, 2X6 WOOD STUD CONSTRUCTION @ 12" OC, TYPE X GREEN WS GWB ON BOTH SIDES
- (N) 2-1/4" WINDOW COVER

**DOOR SCHEDULE & NOTES**

ALL DOORS TO HAVE ADA LEVER HANDLE HARDWARE

DESIGNATION	DIMS
1 2 3 4 5 6 7 8 9	(E) SOLID WOOD CORE 36X90 DOOR, TIMELY FRAME

1. ALL (E) ENTRANCES / EXITS TO REMAIN
2. SIGN ABOVE ALL EXIT DOORS: "DOORS TO REMAIN UNLOCKED DURING OPERATIONAL HOURS"
3. ALL (N) DOORS 6'-8" IN HEIGHT
4. DOORS WITH GLASS ARE TEMPERED
5. EXTERIOR DOORS TO HAVE LANDING MIN 36" WITH 2% GRADE AWAY FROM DOOR
6. ALL DOORS SELF CLOSING, 41A2
7. ALL DOORS TO BE EQUIPPED WITH ADA COMPLIANT HARDWARE
8. ALL DOORS ARE 36" WIDE
9. EXIT DOORS ARE OPENABLE FROM THE INSIDE WITHOUT USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT

**WINDOW SCHEDULE**

DESIGNATION	DIMS	OPERATIONAL
W1	246"W X 48"H, 3/8" TEMPERED GLASS	NO
W2	135"W X 48"H, 3/8" TEMPERED GLASS	NO

**FIRE LIFE SAFETY LEGEND**

- DUAL POWERED ILLUMINATED EXIT SIGN
- W/ "BUG-EYE"
- BATTERY IS ALTERNATE POWER SOURCE, MAIN POWER OUTAGE TO EXECUTE BATTERY POWER
- FE TYPE A FIRE EXTINGUISHER

**OCCUPANCY SCHEDULE**

ROOM	SF	LOAD FACTOR TABLE 1004.1.2	OCC
SECURITY CHECK-IN	50	15	3
NON-STORE FRONT DELIVERY OFFICE	98	100	1
DELIVERY DISPATCH	207	100	3
SHARED OFFICE	590	100	6
DIST. OFFICE	80	100	1
MANUFACTURING	75	200	1
DIST. SEC. STORAGE	435	300	1
DEL. SEC. STORAGE	395	300	1
<b>TOTAL</b>			<b>17 PERSONS OCCUPANCY</b>

TOTAL OCC	EXITS REQD	EXITS PROVIDED
17	1	1

SIGN TO BE INSTALLED STATING THAT THE "TOTAL OCCUPANCY IS 17 PERSONS"  
MIN EGRESS WIDTH 17 X 3=5.1 REQUIRED  
72" PROVIDED

OWNER:

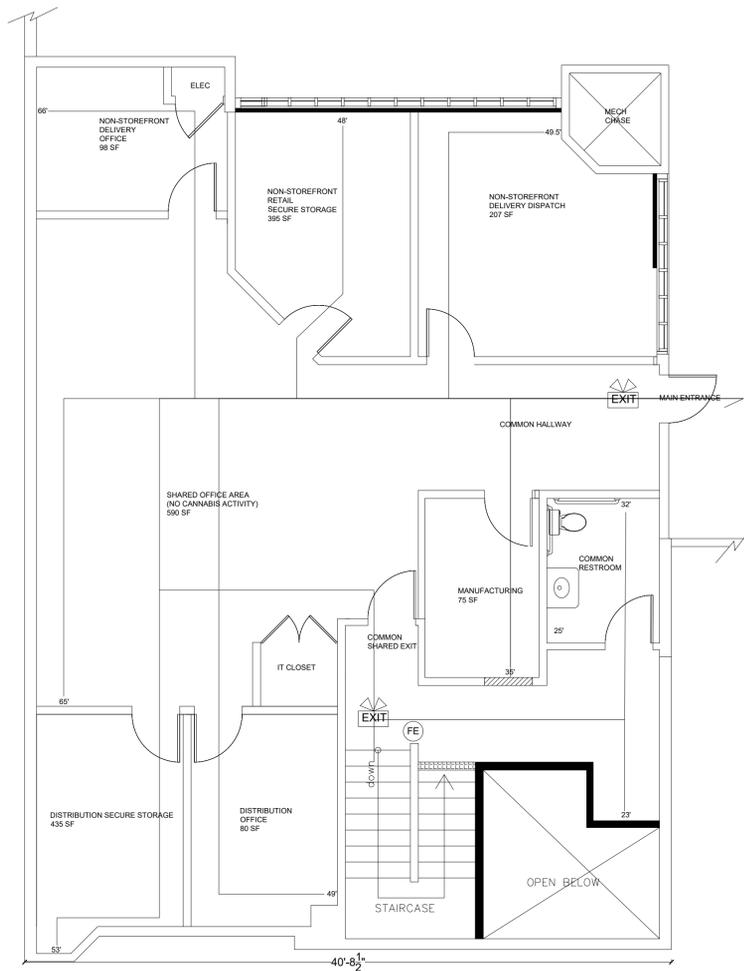
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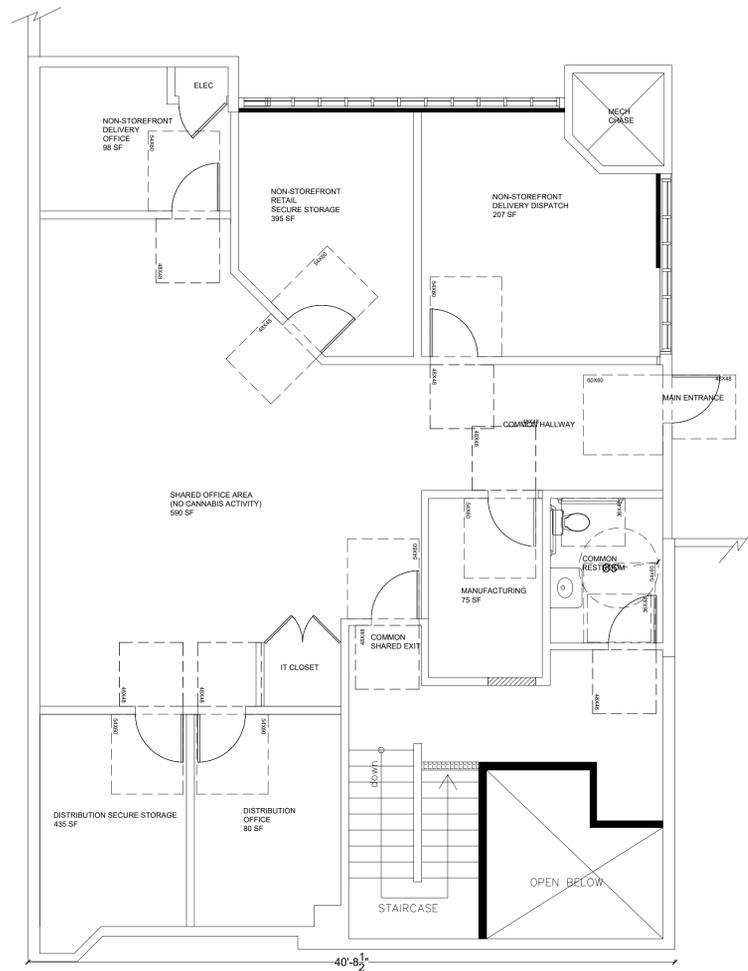
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(E) FLOOR PLAN  
&  
(N) FLOOR PLAN  
101922 SL

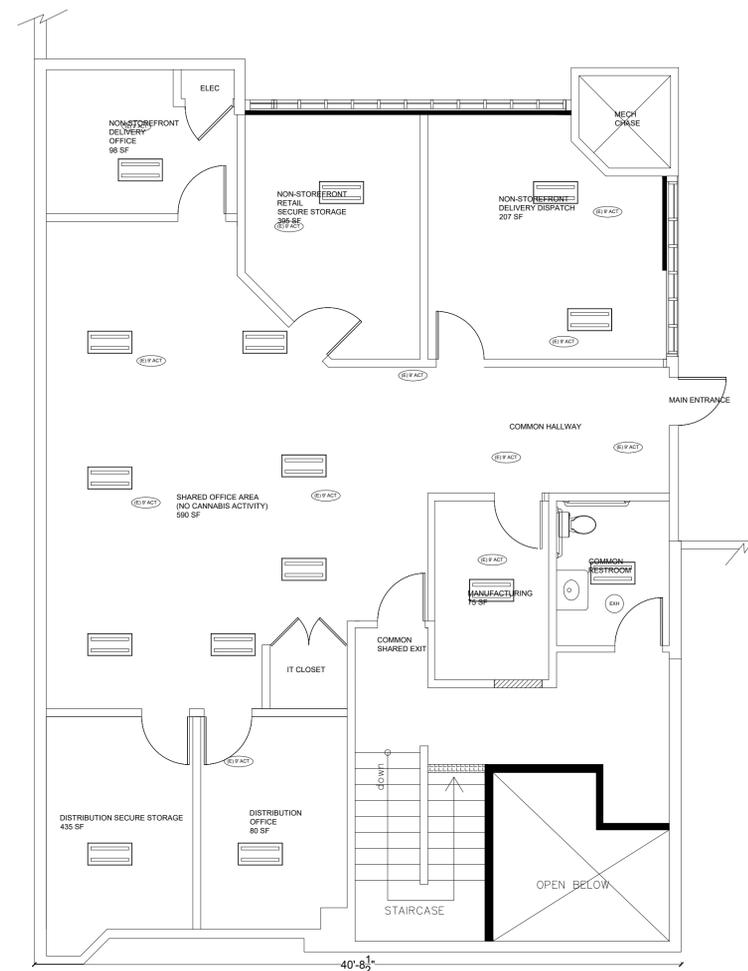
A1



1/A2: (N) EGRESS FLOOR PLAN, 3/16"=1' NORTH



2/A2: (N) ACCESSIBLE PLAN, 3/16"=1' NORTH



3/A2: REFLECTED CEILING PLAN, 3/16"=1' NORTH



**PLUMBING FIXTURE COUNT**  
**GROUP F OCCUPANCY, LOAD FACTOR 2000 TABLE A. CPC**  
**1656 SF / 2000 = 1 PERSONS**

AS PER TABLE 2902.1

OCC PER SEX	RATIO WC	RQD WC	PRD WC	RATIO LAV	RQD LAV	PRD LAV	RQD SERV SINK	PRD SERV SINK
MALE 50% = 2	1 PER 150	1	1	1 PER 200	1	1	1	1
FEMALE 50% = 2	1 PER 150	1	1	1 PER 200	1	1		

**1 UNISEX ADA RESTROOM PROVIDED & 1 SERVICE SINK**  
 1. PROVIDE ULTRA LOW FLUSH TOILET  
 2. PROVIDE FAUCETS WITH MAX 1.8 GA PER MINUTE  
 3. MIN 24" CLEARANCE IN FRONT OF TOILETS, TYP FOR NON ADA TOILETS

**CEILING & LIGHTING LEGEND**

- (E) 100 CFM EXHAUST FAN, LIGHT SWITCH ACTIVATED
- (E) 2'x4' LED LIGHT TUBE WITH SHATTERPROOF DIFFUSER PANEL
- (E) ACOUSTICAL CEILING TILE 2'X4', 9' AFF  
REPLACE SMOOTH AND CLEANABLE WHITE ACOUSTICAL TILES

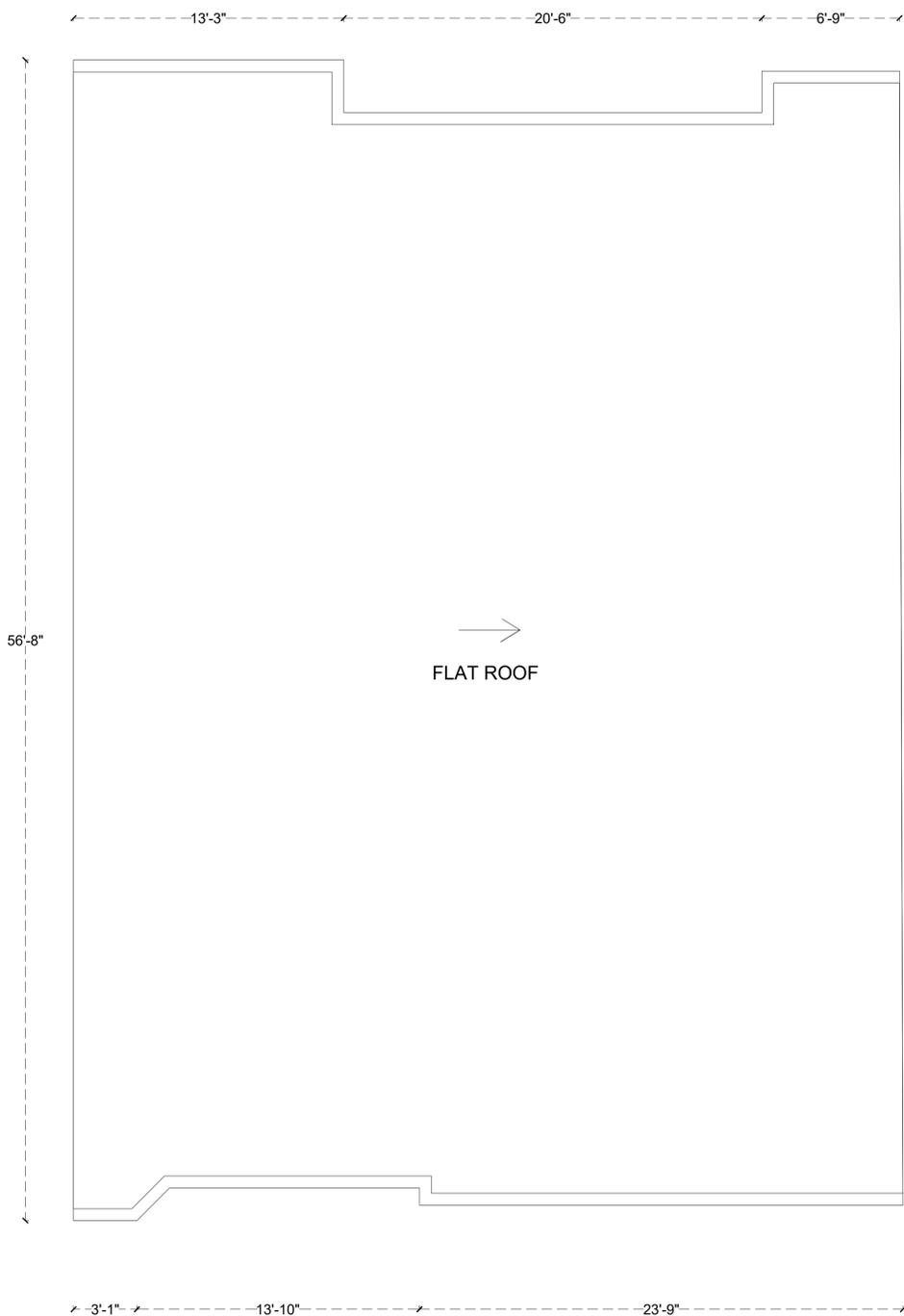
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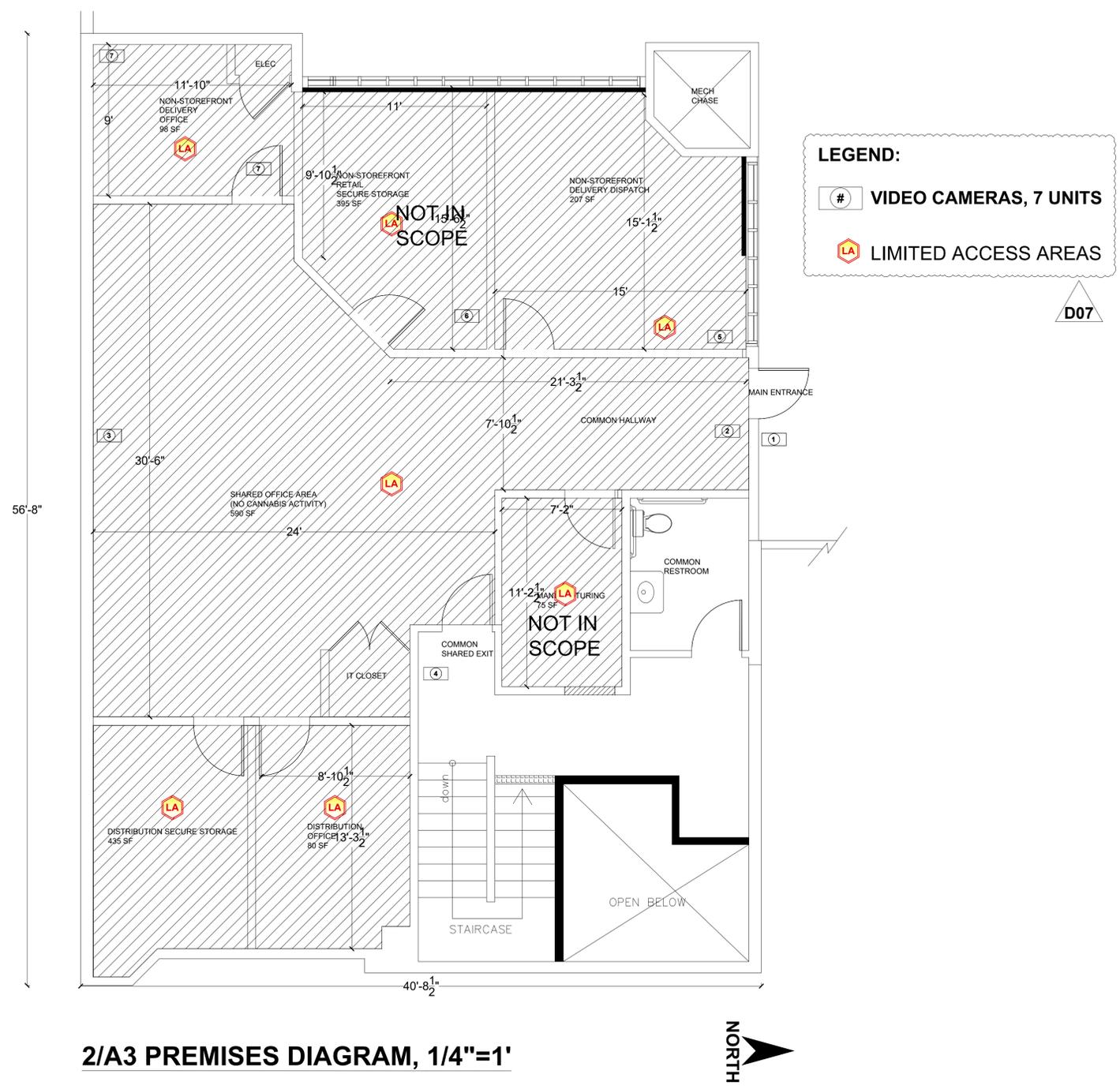
**(N) EGRESS PLAN**  
**&**  
**(N) ACCESSIBLE PLAN**  
 101922 SL

**A2**



1/A3: (N) ROOF PLAN, 1/4"=1'

NORTH



2/A3 PREMISES DIAGRAM, 1/4"=1'

NORTH

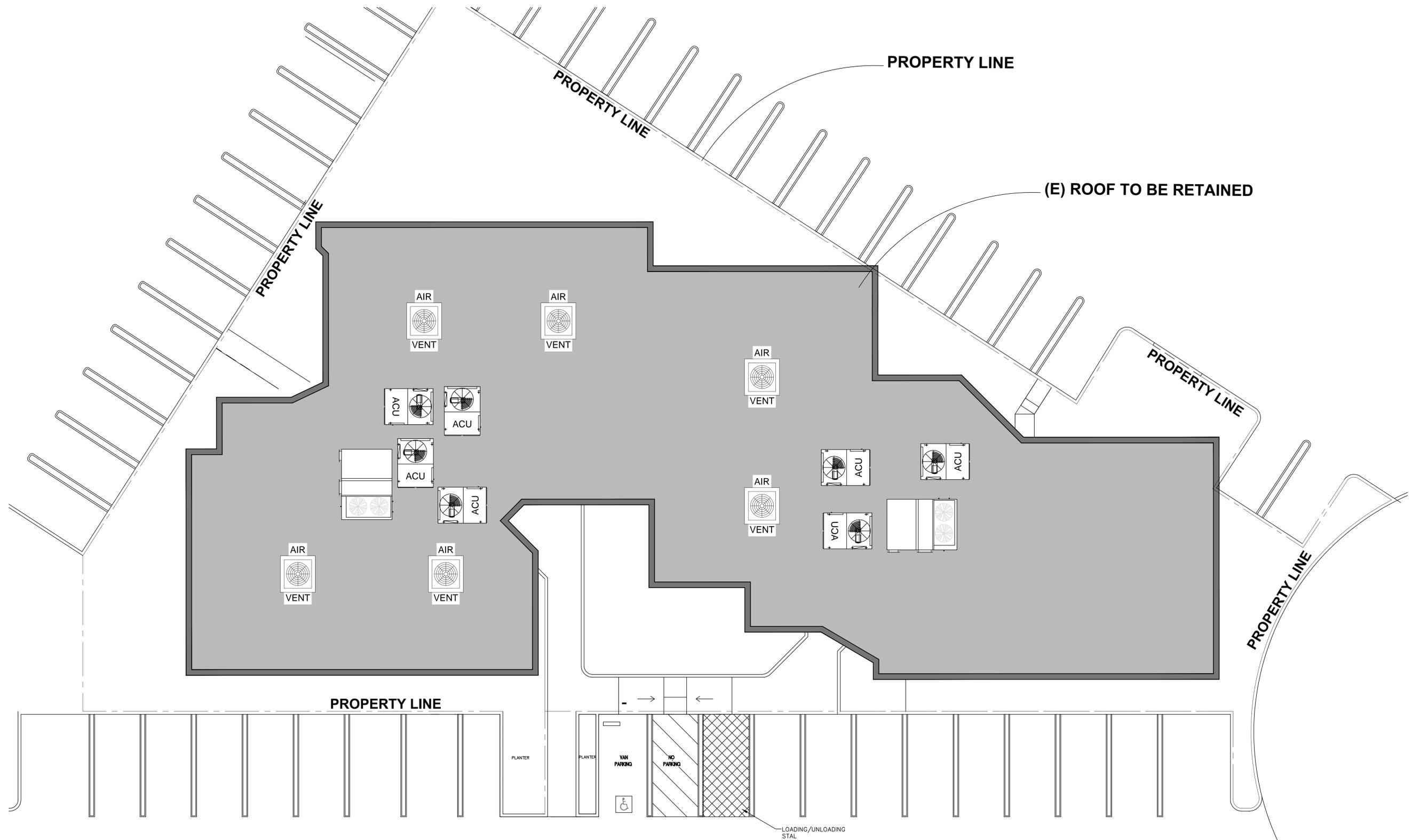
OWNER:  
BLACKSTAR  
INDUSTRIAL PROPERTIES LLC

DESIGN:  
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DETAILS  
101922 SL



1/SITE1.2 : (E) ROOF PLAN, 1/8"=1'

NOTE:  
 PER CMMC, 13-74 ALL AIR CONDITIONING COMPRESSORS,  
 DUCT WORK, AND VENTS SHALL BE SCREENED FROM  
 PUBLIC RIGHTS-OF-WAY AND ADJACENT PROPERTIES.

THE ROOF PLAN EQUIPMENT LAYOUT HAS BEEN VARIFIED.  
 NO CHANGES TO ROOF PLAN PROPOSED. NO (N)  
 EQUIPMENT PROPOSED. ROOF PLAN TO REMAIN AS IS

SIGNATURE \_\_\_\_\_

PRINT NAME: RAMON BAGUIO DATE: 11-10-2022

OWNER:  
 BLACKSTAR  
 INDUSTRIAL PROPERTIES LLC

DESIGN:  
 RAMON BAGUIO  
 4273 CANOGA AVE  
 WOODLAND HILLS, CA  
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 RBPLANDDESIGN@GMAIL.COM  
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APPLICANT:  
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 COSTA MESA, CA, 92626  
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ROOF PLAN  
 11102022SL

**SITE 1.2**