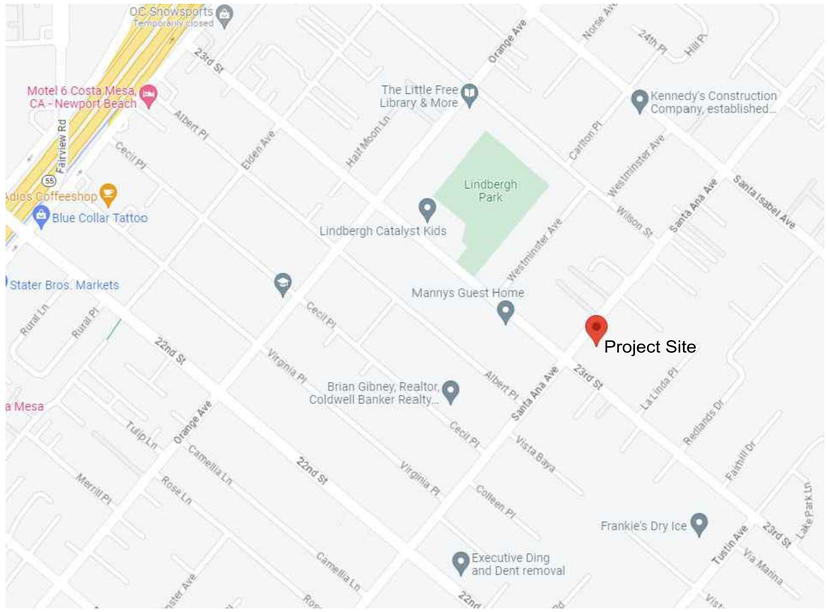
2308 Santa Ana Ave
Costa Mesa, CA

Vicinity Map:



Notes:

1. Setbacks are to be measured from the face of finish.
2. The subject property's ultimate finish grade level may not be filled/raised in excess of 30 inches above the finished grade of any abutting property.
3. Fences, hedges, and walls shall not exceed a height of 3 feet within the first 10' of the front property line (adjacent to Santa Ana Ave) and no more than 6 feet for the remainder of the lots.
4. First level decks and patios shall not be raised more than 6 inches above natural grade.
5. Fire sprinklers NFPA 13D are required for the new units and will be a deferred submittal.
6. Project to comply with the 2022 California Fire Code, including the reference standards, as adopted and amended by Costa Mesa Fire and Rescue. Residential fire sprinklers (NFPA 13D) are required for the new units. Install NFPA 13D Fire Protection Systems with interconnected smoke detectores inside each home.
7. Comply with the requirements of the California Department of Food and Agriculture (CDFA) to determine if red imported fire ants exist on the property prior to any soil removal or excavation. Call CDFA at (714)708-1910 for information.
8. Prior to the Building Div. (AQMD) issuing a demo permit, contact South Coast Air Quality Management District located at: 21865 Copley Dr. Diamond Bar, CA 91765-4178 Tel: 909-396-2000 or visit their web site at http://costamesaca.gov/modules/
9. showdocument.aspx?documentid=23381. The Building Division will not issue a demolition permit until an Identification no. is provided by AQMD.
10. All new residential construction shall have solar system install prior to final building inspection.
11. Maximum area of exterior wall openings shall be determined in accordance with the applicable provisions of California Residential Code R302.1(2).
12. Submit approved plan from OC Health Department. All new residential construction shall have electrical appliances ready.
13. Construction ducuments shall be preopared under the supervision of a gegistered California Architect or Engineer. Plan shall be stamped and signed by the registered California Architect of Engineer.

Project Data:

Scope: Demolish existing improvements and construct two new 2-story SFR's using City's Small Lot Ordinance

Address: 2308 Santa Ana Ave

APN: 119-332-08
Legal: Tract 300, Lot 102

Total Lot Area: 9,450 s.f.
Proposed Area: Lot 1 = 3,862 s.f.
Lot 2 = 5,588 s.f.

Zoning: R-2, MD Small Lot Subdivision
Land Use Cat: MDR

Minimum open space - 35% or 3,307.5 s.f.

Open space provided:
Note: Floor areas for this calculation include the exterior materials.
(House and garage footprints, covered patios and porches and vehicular driveways)

Lot 1 First Floor	1,118
Lot 1 Garage	434
Lot 2 First Floor	1,4442
Lot 2 Garage	430
Driveways	1,693
total	5,117 s.f.

9,450 - 5,117 = 4,333 / 9,450 = 45.8% open space

Setbacks:

Front	20'
Side	5'
Rear	15'

Second Story Area Limit:
Note: Floor areas for this calculation include the exterior materials.

Plan 1
First floor & Garage= 1,552 s.f.
Second floor= 1,528 s.f. / 1,552 = 98.5%

Plan 2
First floor & Garage= 1,872 s.f.
Second floor = 1,618 s.f. / 1,872 = 86.4%

Building Codes:

Project to comply with the requirements of the adopted, 2022 California Residential Code or the California Building Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Green Building Code, California Energy code (or most recent applicable adopted) and all current City of Costa Mesa regulations.

Owner:

Eastside Costal, LLC
1024 Bayside Drive, Suite 340
Newport Beach, CA 92660
(949)636-2666
Contact: Ali Sedghi

Architect:

Mark Gross & Associates, Inc
8881 Research Drive
Irvine, CA 92618
(949) 387-3800
Contact: Doug McBeth

Landscape Architect:

Landscape Dynamics
(951)264-8195
Contact: Greg Zoll

Civil Engineer:

Coast Engineering Designs, Inc.
1500 Adams Ave, suite 303
Costa Mesa, CA 92626
(714)593-0337
Contact: Farhad Rezai

Sheet Index:

Mark Gross & Associates, Inc.
8881 Research Drive, Irvine, California 92618
(949) 387-3800 Fax (949) 387-7800

Eastside Coastal, LLC
2308 Santa Ana Ave, Costa Mesa, CA

Title
Cover Sheet

Date
July 5, 2023
Project Number
4465
Sacle
1/4" = 1'-0"
Revision
12-14-2023 Planning
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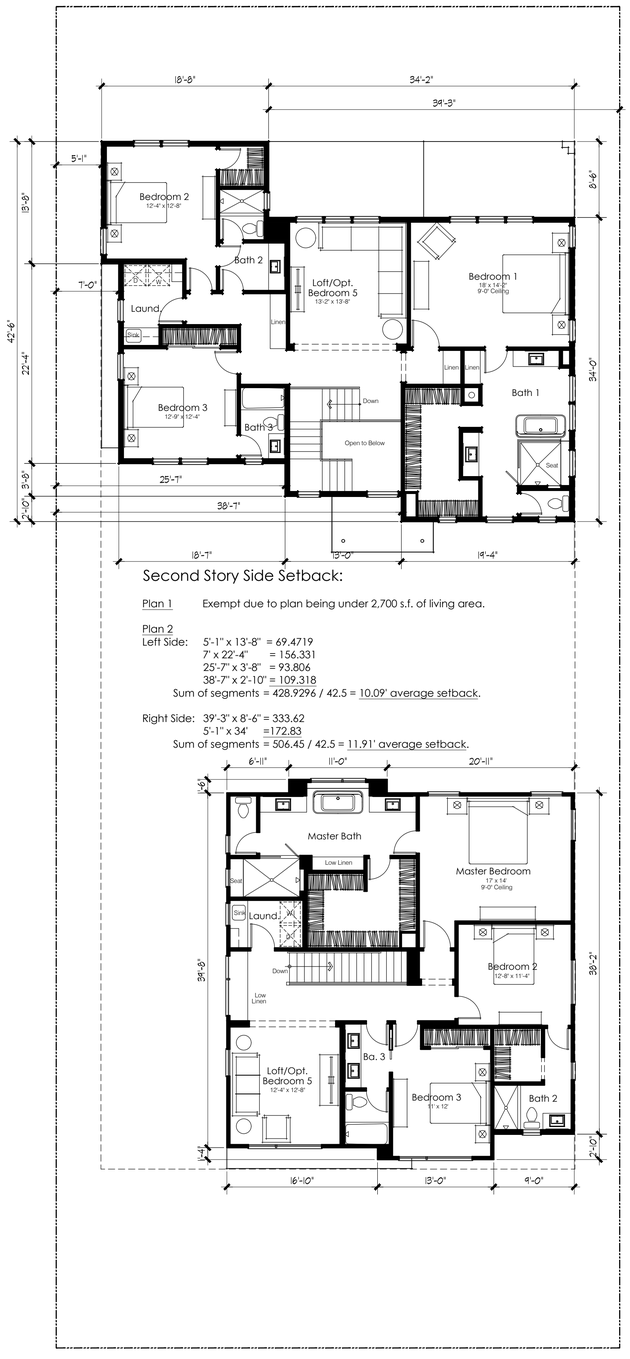
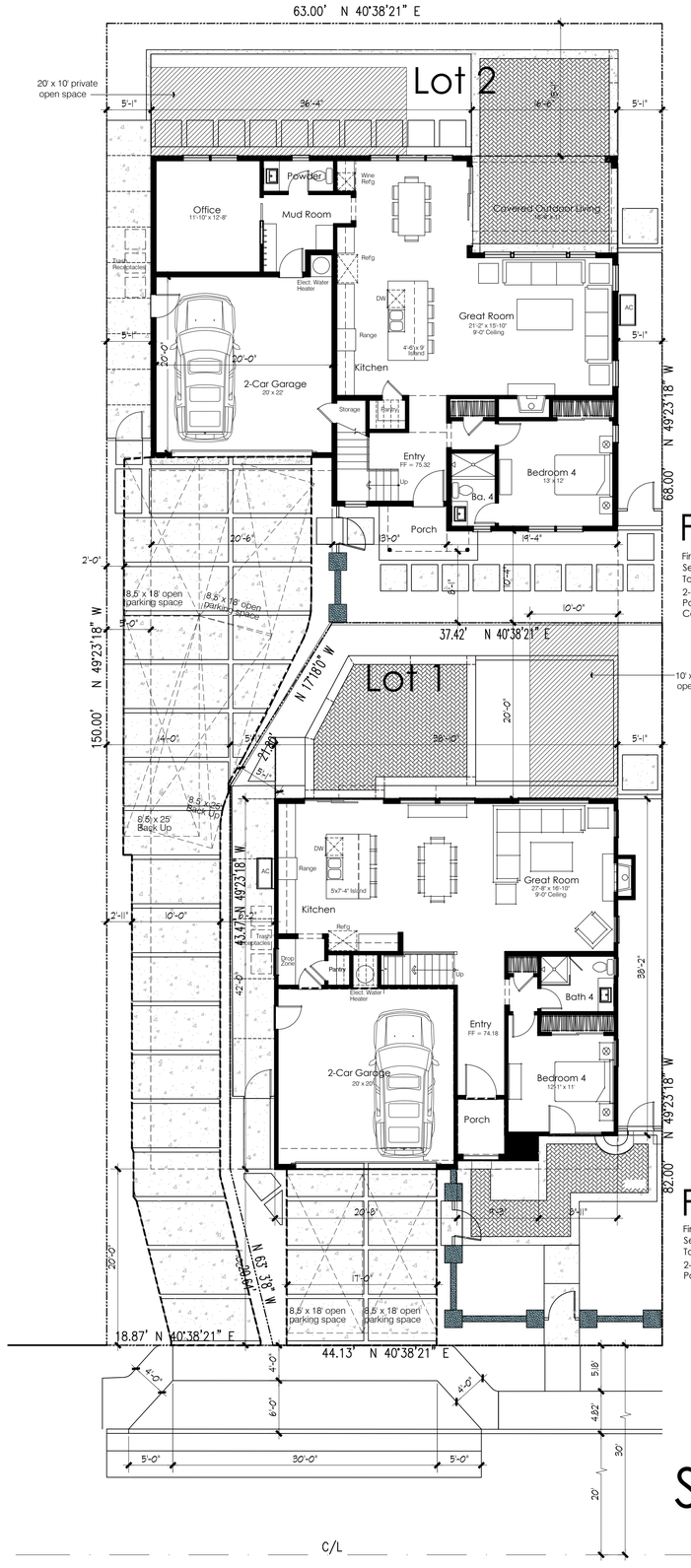


Second Story Side Setback:

Plan 1 Exempt due to plan being under 2,700 s.f. of living area.

Plan 2
Left Side: 5'-1" x 13'-8" = 69.4719
7' x 22'-4" = 156.331
25'-7" x 3'-8" = 93.806
38'-7" x 2'-10" = 109.318
Sum of segments = 428.9296 / 42.5 = 10.09' average setback.

Right Side: 39'-3" x 8'-6" = 333.62
5'-1" x 34' = 172.83
Sum of segments = 506.45 / 42.5 = 11.91' average setback.



8' 0 4' 8' 16' 32'

GRAPHIC SCALE

First Floor Plan Plan 2

First Floor	1,430 sq. ft.
Second Floor	1,601 sq. ft.
Total:	3,031 sq. ft.
2-Car Garage	427 sq. ft.
Porch	59 sq. ft.
Covered Patio	183 sq. ft.

First Floor Plan Plan 1

First Floor	1,108 sq. ft.
Second Floor	1,515 sq. ft.
Total:	2,623 sq. ft.
2-Car Garage	430 sq. ft.
Porch	39 sq. ft.

Site Plan

NORTH

Project Data:

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Mark Gross & Associates, Inc.
8881 Research Drive, Irvine, California 92618
(949) 387-3800 Fax (949) 387-7800
MGA

Eastside Coastal, LLC
2308 Santa Ana Ave, Costa Mesa, CA

Title
Conceptual Site Plan

Date
June 12, 2023
Project Number
4465
Scale
1/8" = 1'-0"
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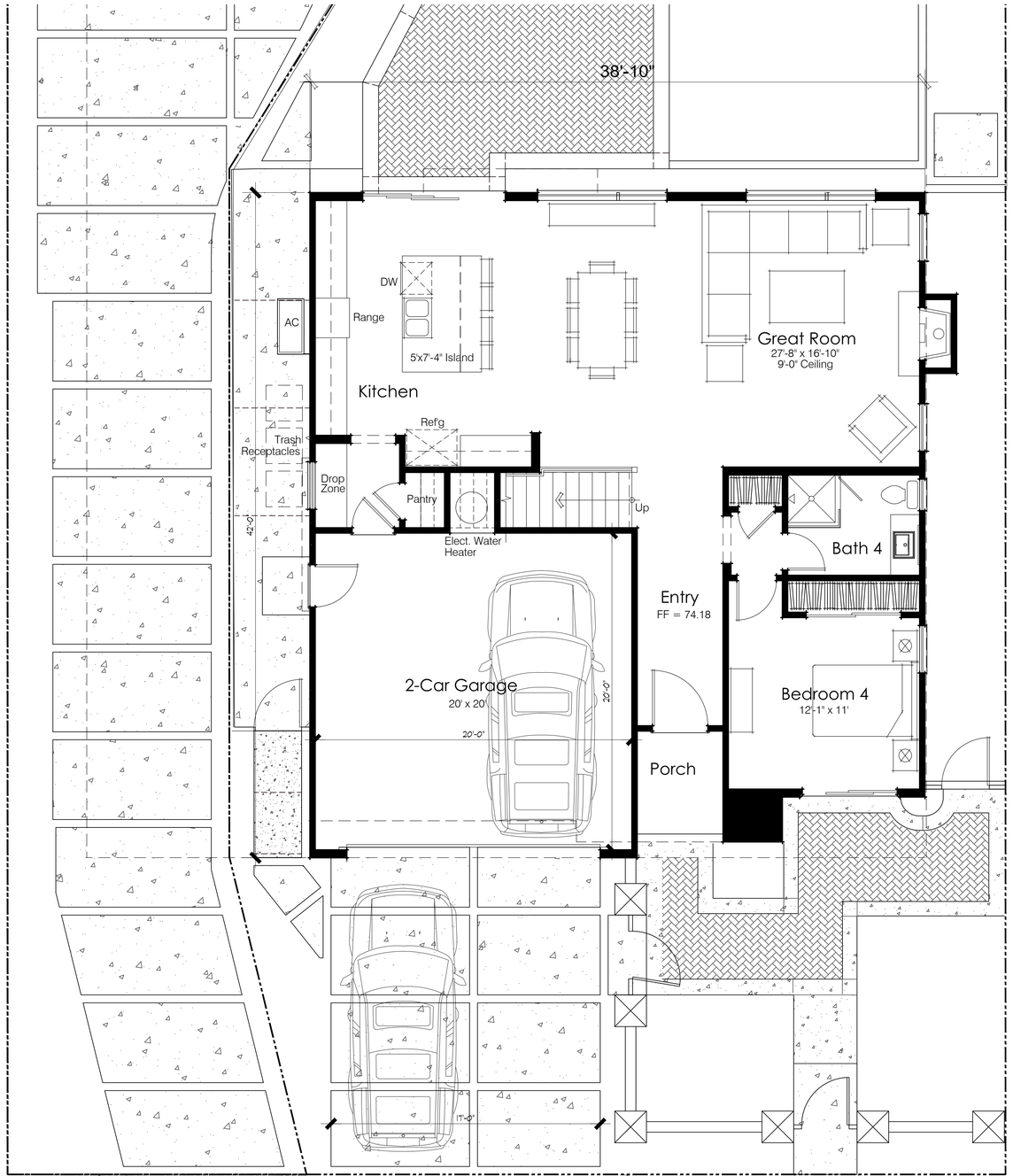
Second Floor Plan



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8881 Research Drive, Irvine, California 92618
(949) 387-3800 Fax (949) 387-7800

Eastside Coastal, LLC

2308 Santa Ana Ave, Costa Mesa, CA

Plan 1
Floor Plan

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July 5, 2023
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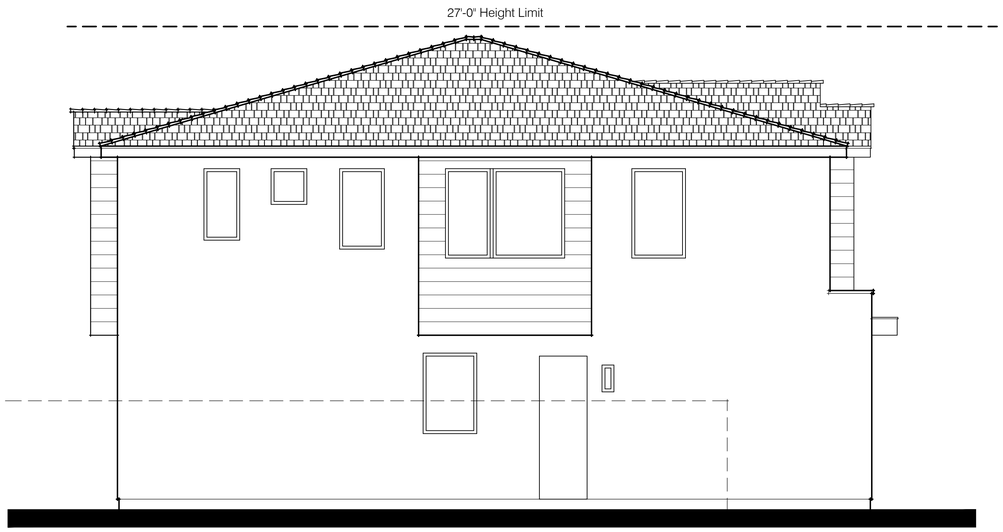
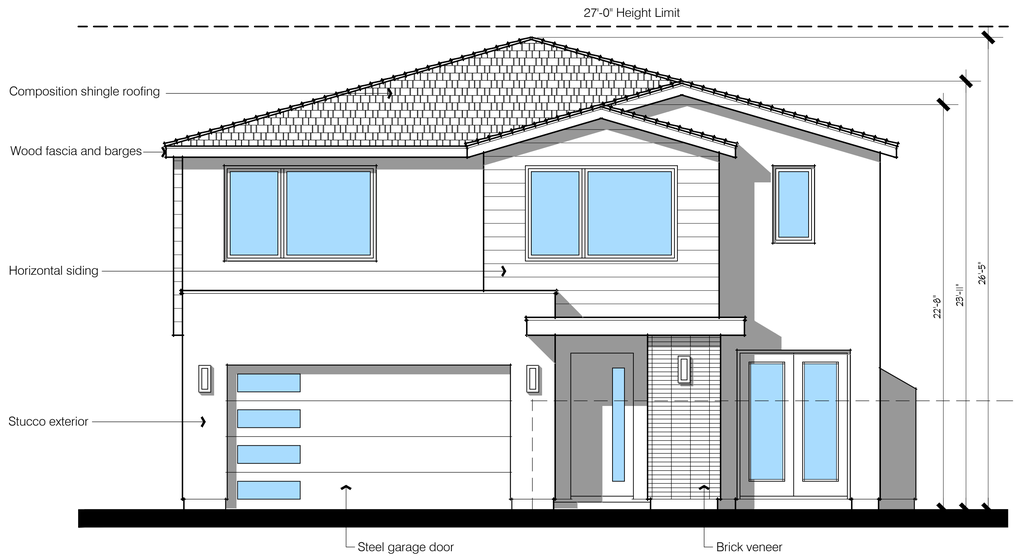
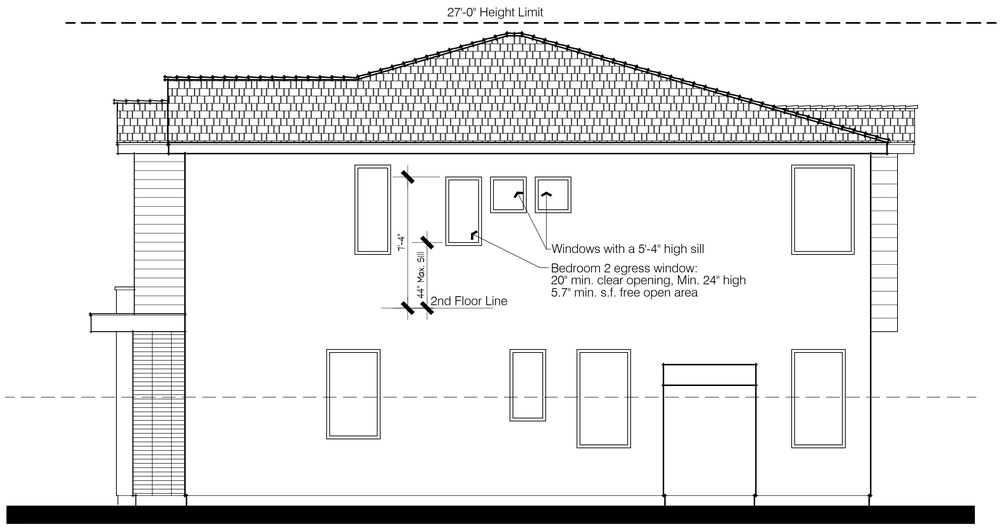


Left Elevation



Front Elevation



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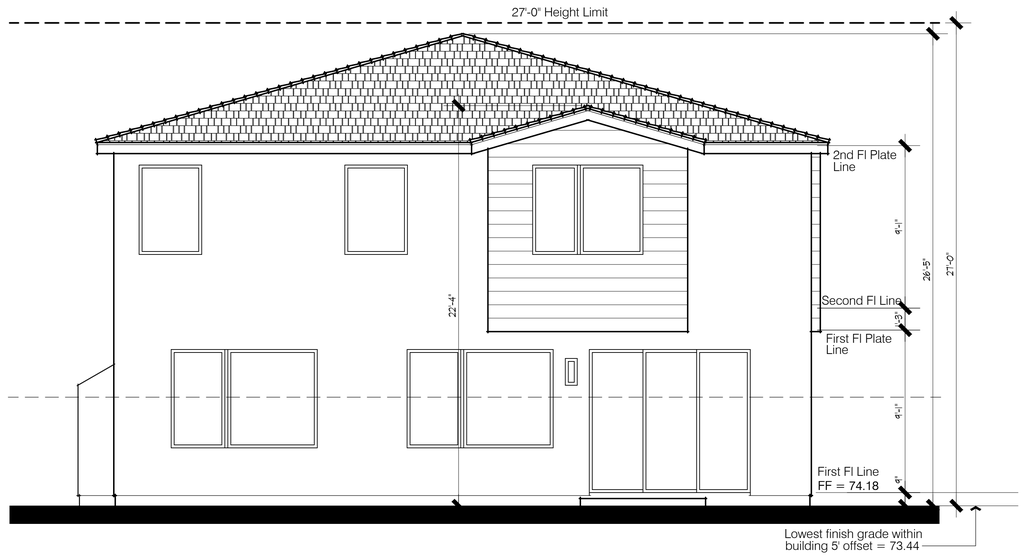

Rear Elevation

Mark Gross & Associates, Inc.
8881 Research Drive, Irvine, California 92618
(949) 387-3800 Fax (949) 387-7800

Eastside Coastal, LLC

2308 Santa Ana Ave, Costa Mesa, CA

Plan 1
Elevations

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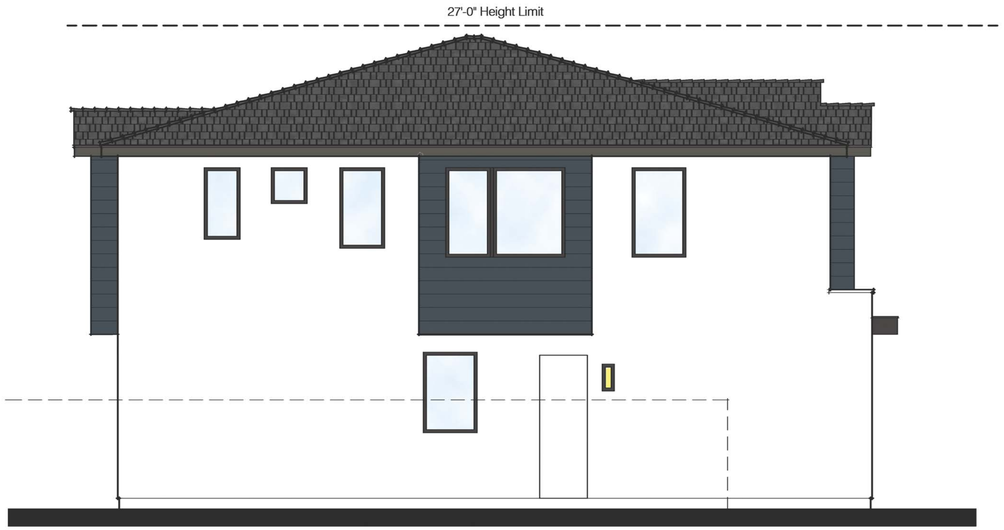

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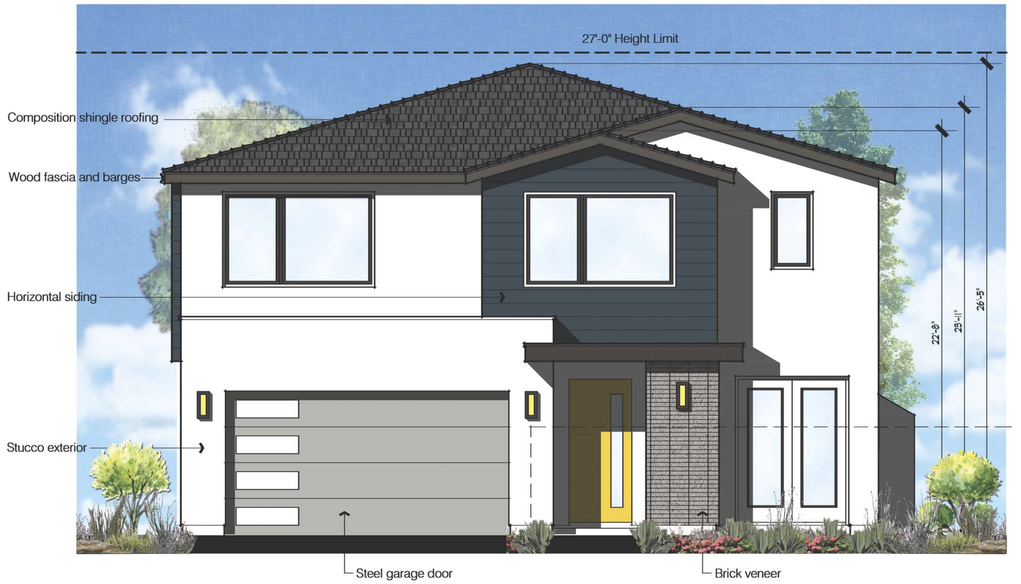
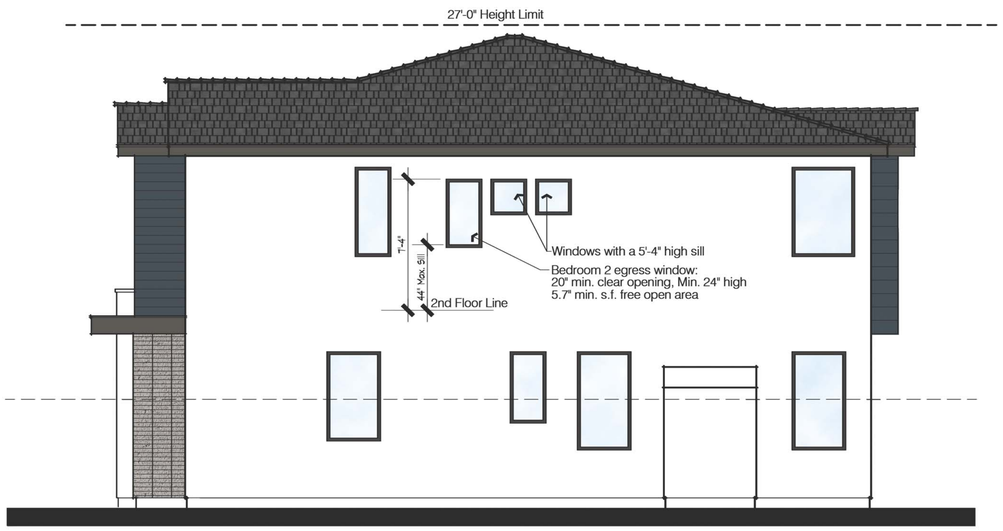
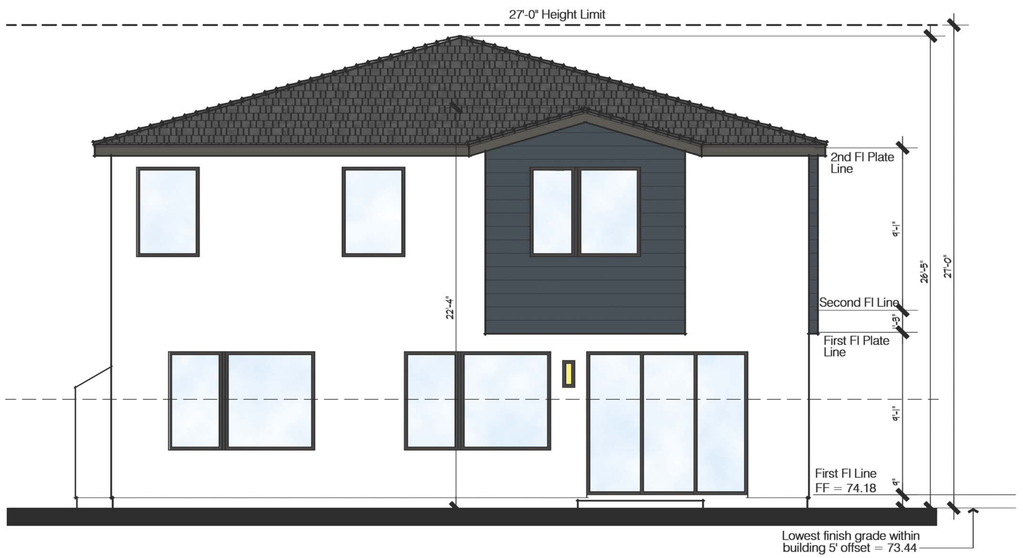


Front Elevation



Right Elevation



Rear Elevation

Mark Gross & Associates, Inc.
8081 Research Drive, Irvine, California 92618
(949) 387-3800 Fax (949) 387-7800

Eastside Coastal, LLC

2308 Santa Ana Ave, Costa Mesa, CA

Plan 1
Elevations

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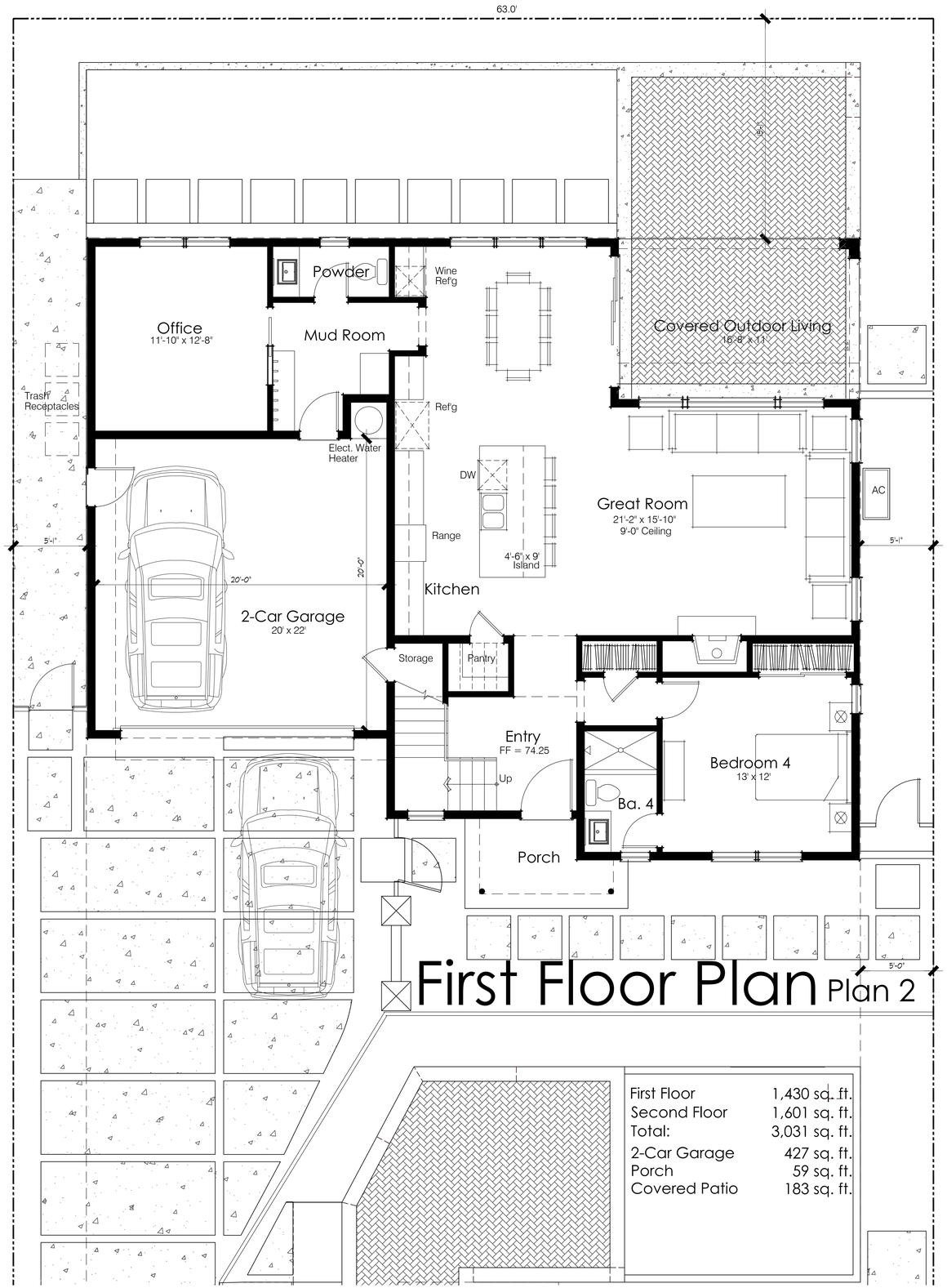
Second Floor Plan



Mark Gross & Associates, Inc.
8881 Research Drive, Irvine, California 92618
(949) 387-3800 Fax (949) 387-7800

Eastside Coastal, LLC

2308 Santa Ana Ave, Costa Mesa, CA

Plan 2
Floor Plan

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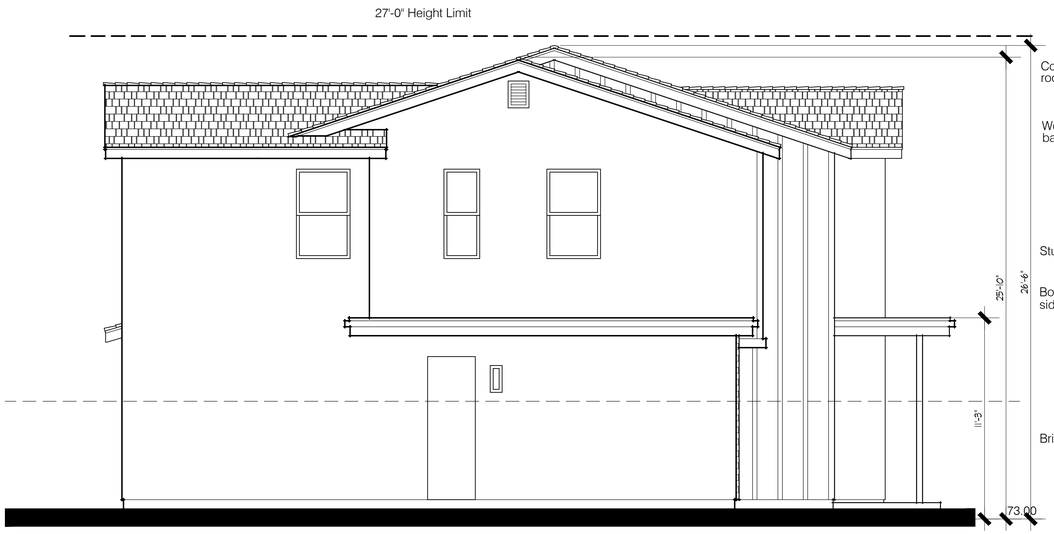
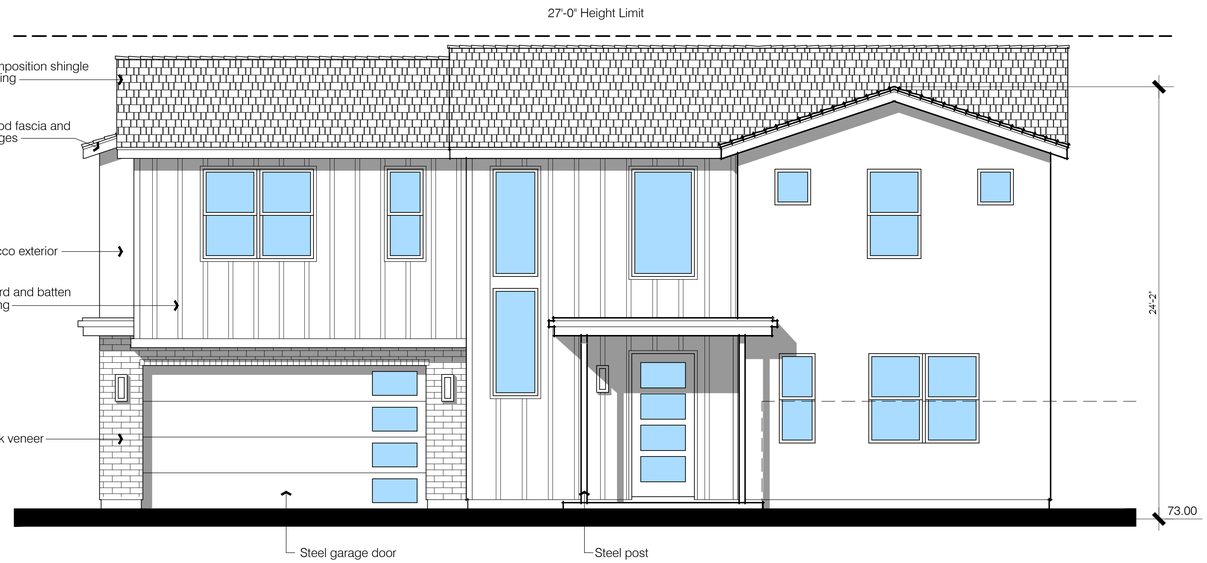
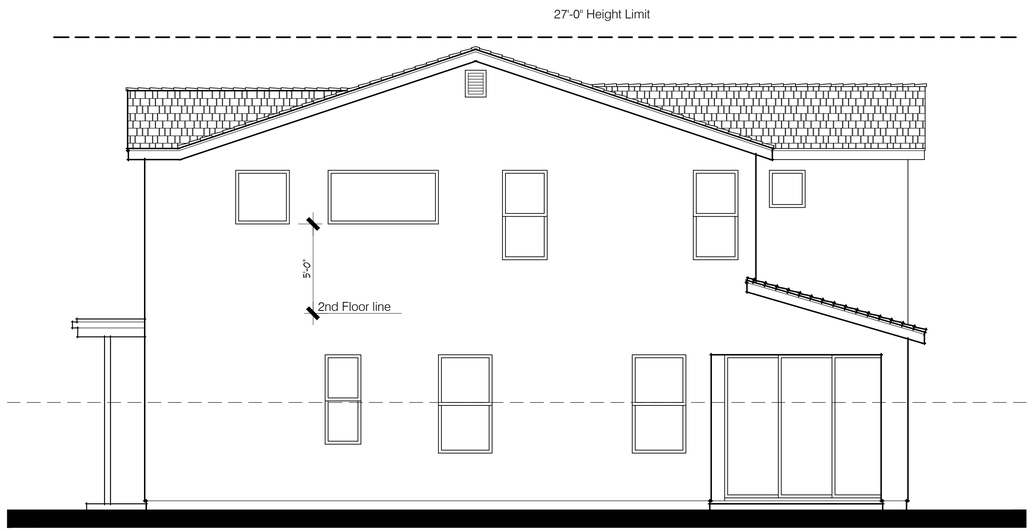


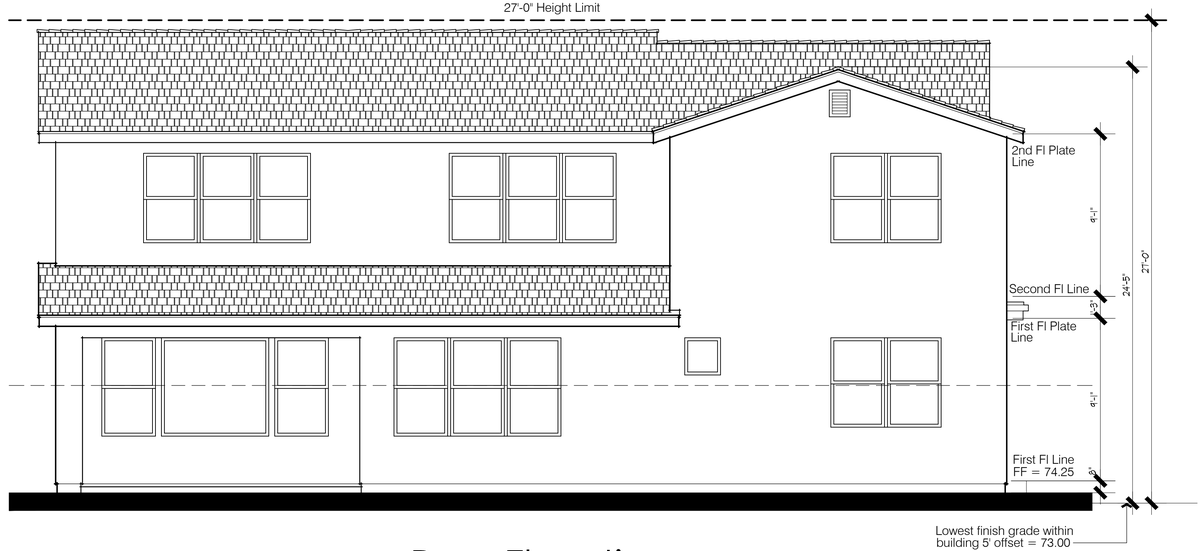
Left Elevation



Front Elevation



Right Elevation



Rear Elevation

Mark Gross & Associates, Inc.
8881 Research Drive, Irvine, California 92618
(949) 387-3800 Fax (949) 387-7800

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Plan 2
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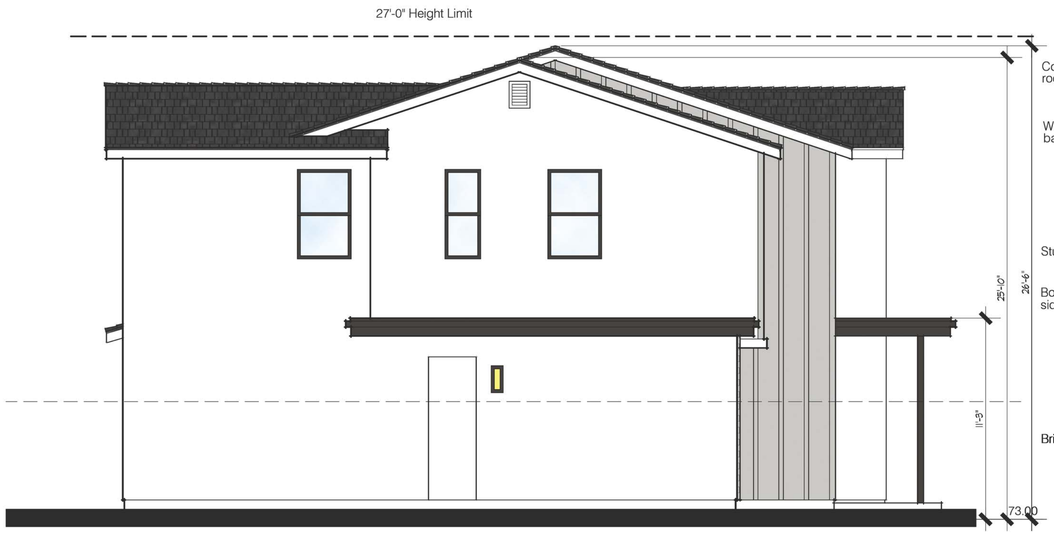
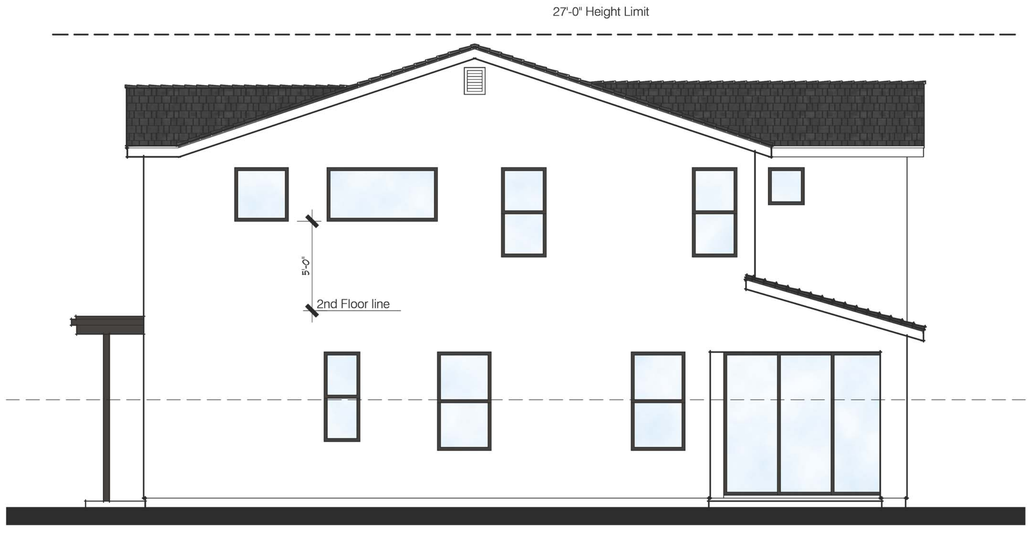


Left Elevation

Front Elevation



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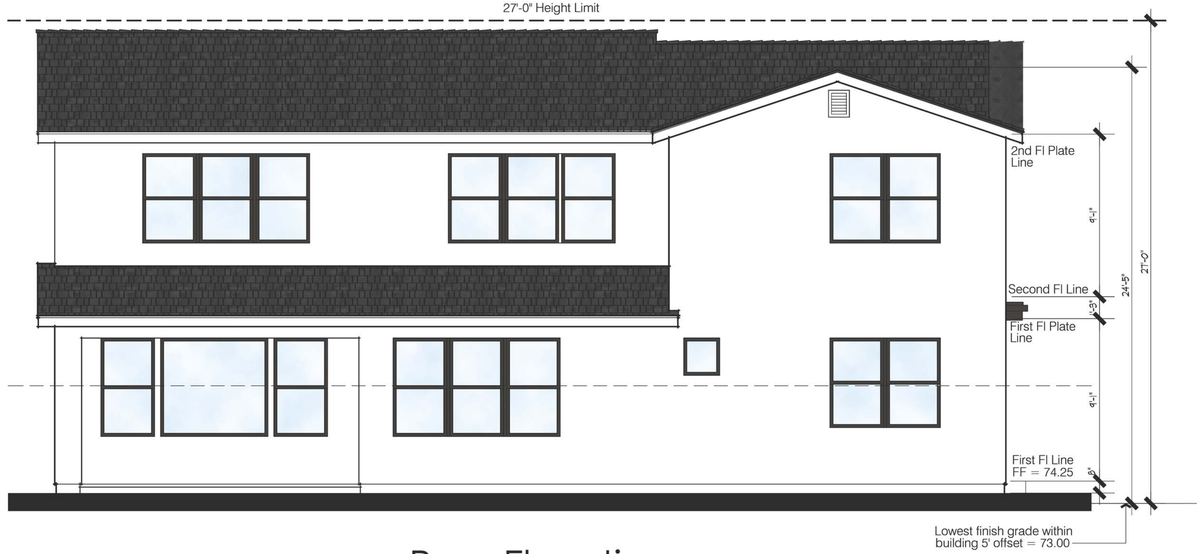

Rear Elevation

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8881 Research Drive, Irvine, California 92618
(949) 387-3800 Fax (949) 387-7800

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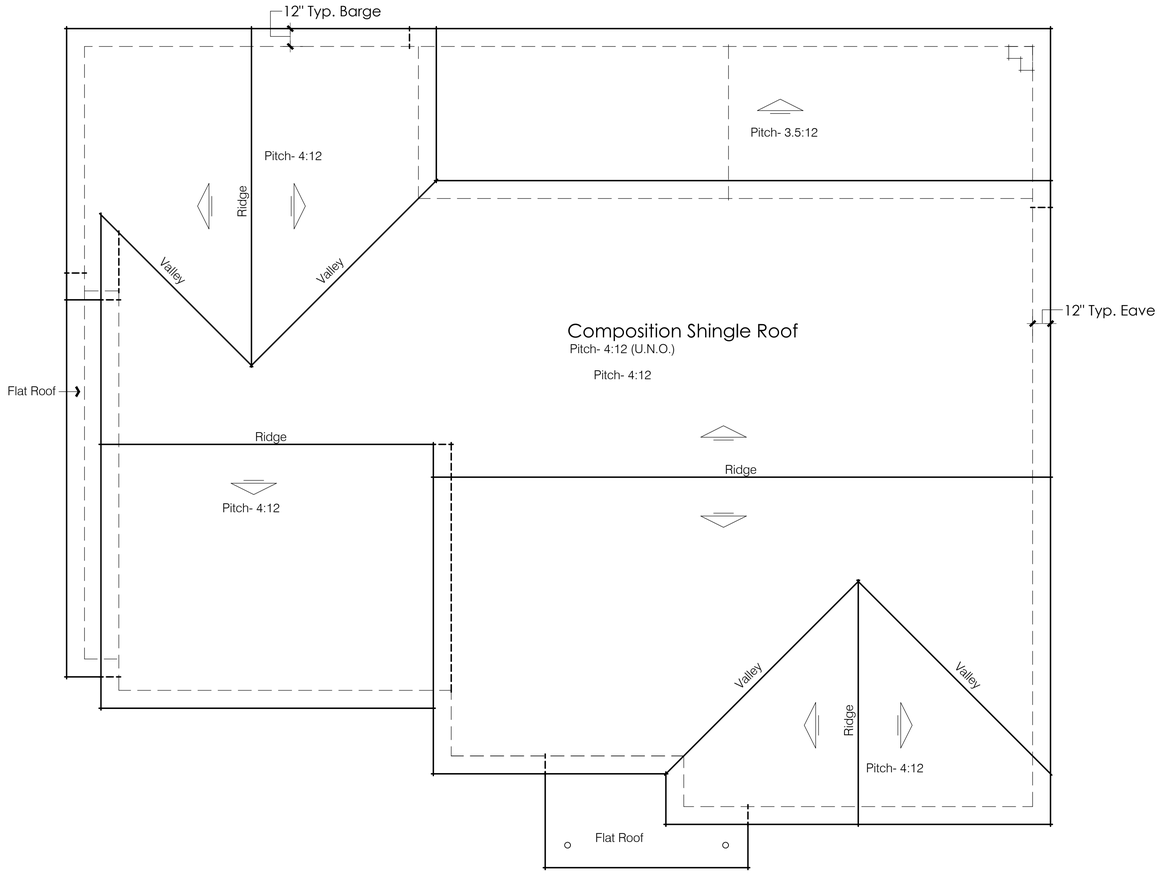
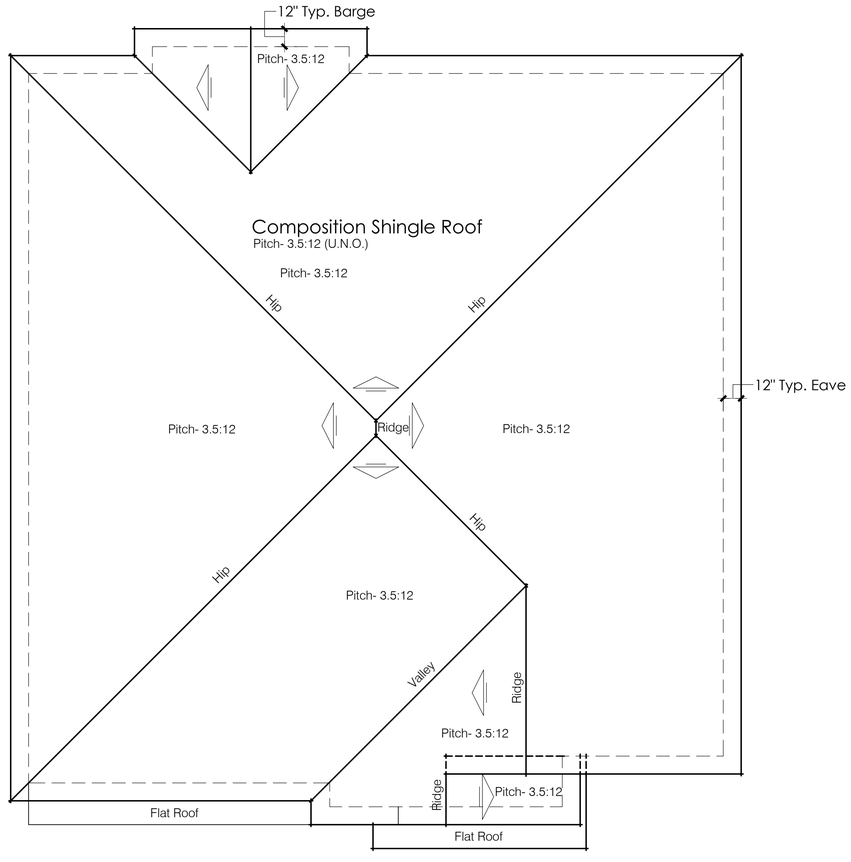


Roof Plan - Plan 2



Roof Plan - Plan 1

Mark Gross & Associates, Inc.
8881 Research Drive, Irvine, California 92618
(949) 387-3800 Fax (949) 387-7800

Eastside Coastal, LLC

2308 Santa Ana Ave, Costa Mesa, CA

Roof Plans

Date
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PRECISE GRADING PLAN

2308 SANTA ANA AVE

COSTA MESA, CA 92627

GENERAL NOTES

1. ALL OFF-SITE WORK EMBRACED HEREIN SHALL BE DONE IN ACCORDANCE WITH "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION EDITION," TOGETHER WITH THE CITY OF COSTA MESA AMENDMENTS TO SAID SPECIFICATIONS, WITH THE AMERICAN PUBLIC WORKS ASSOCIATIONS STANDARD PLANS AND WITH THE CITY OF COSTA MESA STANDARD PLANS: ALL AS MOST RECENTLY ADOPTED BY THE CITY.
2. REMOVAL, ADJUSTMENT OR RELOCATION OF UTILITIES OR ANY WORK ON THE AREA OF THEIR RECORDED EASEMENTS SHALL BE DONE ONLY WITH APPROVAL OF THE UTILITY OWNERS, OBTAINED BEFORE STARTING THE WORK.
3. WITHIN 72 HOURS AFTER FINAL SURFACING IS PLACED, ALL MANHOLES AND VALVE BOX FRAMES AND COVERS SHALL BE ADJUSTED BY THE CONTRACTOR TO FINISH GRADE EXCEPT THOSE OWNED BY THE GAS DEPARTMENT, ALL AT CONTRACTOR'S EXPENSE.
4. GRADING WORK SHALL BE DONE IN ACCORDANCE WITH THE UNIFORM BUILDING CODE AS MOST RECENTLY ADOPTED BY THE CITY OF COSTA MESA.
5. RECOMMENDATIONS FOR PAVEMENT REPLACEMENT SECTIONS WERE PROVIDED BY THE PROJECT CONTRACTOR.
6. THE CONTRACTOR SHALL OBTAIN A PERMIT FROM CALIFORNIA DIVISION OF INDUSTRIAL SAFETY FOR THE CONSTRUCTION OF TRENCHES OR EXCAVATIONS WHICH ARE FIVE FEET OR DEEPER, SHEETING, SHORING, AND BRACING FOR THE TRENCH EXCAVATION SHALL CONFORM TO THE REQUIREMENTS OF "CONSTRUCTION SAFETY ORDERS" TITLE 8, DIVISION OF INDUSTRIAL SAFETY, STATE OF CALIFORNIA.
7. A COPY OF THE GRADING PERMIT AND APPROVED GRADING PLANS MUST BE IN THE POSSESSION OF A RESPONSIBLE PERSON AND AVAILABLE AT THE SITE AT ALL TIMES.
8. ALL PROPERTY CORNERS SHALL BE CLEARLY DELINEATED/FENCED IN THE FIELD PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION/GRADING.
9. DUST SHALL BE CONTROLLED BY WATERING OR OTHER APPROVED METHODS.
10. OFFSITE DISPOSAL OF EXCAVATION MATERIAL IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE INCLUDED IN ITS BID.
11. WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL PROVISIONS OF THE BUILDING CODE (EXCAVATION AND FILLS).
12. FILL PLACEMENT AREAS SHALL BE INSPECTED AND APPROVED BY THE CONSULTANT GEOLOGIST AND SOILS ENGINEER PRIOR TO PLACEMENT OF ANY FILL.
13. GRADING SHALL BE DONE UNDER THE SUPERVISION OF A COMPETENT SOILS ENGINEER WHO SHALL CERTIFY THAT ALL FILL HAS BEEN PROPERLY PLACED AND WHO SHALL SUBMIT A FINAL COMPACTION REPORT FOR ALL FILLS OVER 1 FOOT DEEP.
14. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE FROM BEGINNING TO COMPLETION OF GRADING OPERATION.
15. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE THE OWNER WITH A COMPLETE, CLEAN SET OF REPRODUCIBLE "AS-BUILT" DRAWINGS OF ALL WORK PERFORMED UNDER THIS CONTRACT, AS SHOWN WITHIN THESE CONSTRUCTION DRAWINGS. ALL FIELD CHANGES SHALL BE SHOWN IN DETAIL ON THE "AS-BUILT" DRAWINGS AND SHALL INCORPORATE AS A MINIMUM, NEW ELEVATIONS, GRADES, AND ALIGNMENT OF UNDERGROUND FACILITIES WITH DIMENSIONAL TIES TO BUILDINGS OR OTHER VISIBLE IMPROVEMENTS.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING MONUMENTS AND OTHER SURVEY MARKERS DURING CONSTRUCTION. ALL SUCH MONUMENTS OR MARKERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
17. THE CONTRACTOR SHALL EXCAVATE INSPECTION HOLES (POT HOLES) AND DETERMINE THE LOCATION AND DEPTH OF ALL UNDERGROUND STRUCTURES AND UTILITIES THAT ARE BEING JOINED WITH NEW IMPROVEMENTS, ARE IN THE VICINITY OF, OR THAT MAY BE AFFECTED BY THE PROPOSED WORK. THIS INSPECTION/VERIFICATION SHALL BE PERFORMED PRIOR TO THE START OF ANY CONSTRUCTION WORK WHICH COULD DAMAGE OR CONFLICT WITH SAID STRUCTURES OR UTILITIES.
18. ADJACENT LANDSCAPED AND IRRIGATION AREAS DAMAGED OR DISTURBED BY THE CONTRACTOR AS PART OF THIS PROJECT SHALL BE REPAIRED BY THE CONTRACTOR PRIOR TO PROJECT COMPLETION AT NO EXTRA COST TO THE OWNER.
19. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THE PROJECT.

DIGALERT

DIAL TOLL FREE
1-800-422-4133
AT LEAST TWO DAYS BEFORE YOU DIG

UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

"CAUTION": REMEMBER THAT THE USA CENTER NOTIFIES ONLY THOSE UTILITIES BELONGING TO THE CENTER. THERE COULD BE OTHER UTILITIES PRESENT AT THE WORK SITE. THE CENTER WILL INFORM YOU OF WHOM THEY WILL NOTIFY.

GRADING NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE GRADING CODE OF THE COUNTY OF ORANGE AND ANY SPECIAL REQUIREMENTS OF THE PERMIT. A COPY OF THE GRADING CODE AND MANUAL SHALL BE RETAINED ON THE JOB SITE WHILE WORK IS IN PROGRESS. WHEN REFERENCED ON THE PLANS, A COPY OF PFRD STANDARD PLANS SHALL ALSO BE RETAINED ON THE SITE.
2. GRADING SHALL NOT BE STARTED WITHOUT FIRST NOTIFYING THE DISTRICT GRADING INSPECTOR. A PRE-GRADING MEETING ON THE SITE IS REQUIRED BEFORE START OF GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOIL ENGINEER, ENGINEERING GEOLOGIST, DISTRICT GRADING INSPECTOR AND WHEN REQUIRED THE ARCHAEOLOGIST AND PALENOTOLOGIST.
3. ISSUANCE OF A GRADING PERMIT DOES NOT ELIMINATE THE NEED FOR PERMITS FROM OTHER AGENCIES WITH REGULATORY RESPONSIBILITIES FOR CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE WORK AUTHORIZED ON THIS PLAN.
4. THE GRADING PERMIT AND AN APPROVED COPY OF THE GRADING PLAN SHALL BE ON THE PERMITTED SITE WHILE WORK IS IN PROGRESS.
5. PRELIMINARY SOIL AND GEOLOGY REPORTS AND ALL SUBSEQUENT REPORTS AS APPROVED BY PDSD, GRADING SECTION, ARE CONSIDERED A PART OF THE APPROVED GRADING PLAN.
6. THE SOIL ENGINEER AND ENGINEERING GEOLOGIST SHALL PERFORM SUFFICIENT INSPECTIONS AND BE AVAILABLE DURING GRADING AND CONSTRUCTION TO VERIFY COMPLIANCE WITH THE PLANS, SPECIFICATIONS AND THE CODE WITHIN THEIR PURVIEW.
7. THE CIVIL ENGINEER SHALL BE AVAILABLE DURING GRADING TO VERIFY COMPLIANCE WITH THE PLANS, SPECIFICATIONS, CODE AND ANY SPECIAL CONDITIONS OF THE PERMIT WITHIN THEIR PURVIEW.
8. THE SOIL ENGINEER AND ENGINEERING GEOLOGIST SHALL, AFTER CLEARING AND PRIOR TO THE PLACEMENT OF FILL IN CANYONS, INSPECT EACH, CANYON FOR AREAS OF ADVERSE STABILITY AND TO DETERMINE THE PRESENCE OR ABSENCE OF SUBSURFACE WATER OR SPRING FLOW. IF NEEDED, SUBDRAINS WILL BE DESIGNED AND CONSTRUCTED PRIOR TO THE PLACEMENT OF FILL IN EACH RESPECTIVE CANYON.
9. SUBDRAIN OUTLETS SHALL BE COMPLETED AT THE BEGINNING OF THE SUBDRAIN CONSTRUCTION.
10. THE EXACT LOCATION OF THE SUBDRAINS SHALL BE SURVEYED IN THE FIELD FOR LINE/GRADE AND SHOWN ON AS-GRADED PLANS.
11. AREAS TO RECEIVE FILL SHALL BE PROPERLY PREPARED AND APPROVED IN WRITING BY THE SOIL ENGINEER AND THE BUILDING OFFICIAL PRIOR TO PLACING FILL.
12. FILLS SHALL BE BENCHED INTO COMPETENT MATERIAL PER PFRD STANDARD PLAN NO. 132.
13. ALL EXISTING FILLS SHALL BE APPROVED BY THE BUILDING OFFICIAL OR REMOVED PRIOR TO PLACING ADDITIONAL FILLS.
14. FILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 90% RELATIVE COMPACTION. AGGREGATE BASE FOR ASPHALTIC AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% RELATIVE COMPACTION. MAXIMUM DENSITY SHALL BE DETERMINED BY UNIFORM BUILDING CODE STANDARD NO. 70-1 OR APPROVED EQUIVALENT AND FIELD DENSITY BY UNIFORM BUILDING CODE STANDARD NO. 70-2 OR APPROVED EQUIVALENT
15. CUT AND FILL SLOPES SHALL BE NO STEEPER THAN 2-FOOT HORIZONTAL TO 3-FOOT VERTICAL (2.1) EXCEPT WHERE SPECIFICALLY APPROVED OTHERWISE.
16. ALL CUT SLOPES SHALL BE INVESTIGATED BOTH DURING AND AFTER GRADING BY THE ENGINEERING GEOLOGIST TO DETERMINE IF ANY SLOPE STABILITY PROBLEM EXISTS. SHOULD EXCAVATION DISCLOSE ANY GEOLOGICAL HAZARDS OR POTENTIAL GEOLOGICAL HAZARDS, THE ENGINEERING GEOLOGIST SHALL SUBMIT RECOMMENDED TREATMENT TO THE BUILDING OFFICIAL FOR APPROVAL.
17. WHERE SUPPORT OR BUTTRESSING OF CUT AND NATURAL SLOPES IS DETERMINED TO BE NECESSARY BY THE ENGINEERING GEOLOGIST AND SOIL ENGINEER; THE SOIL ENGINEER SHALL SUBMIT DESIGN, LOCATIONS AND CALCULATIONS TO THE BUILDING OFFICIAL PRIOR TO CONSTRUCTION. THE ENGINEERING GEOLOGIST AND SOIL ENGINEER SHALL INSPECT AND CONTROL THE CONSTRUCTION OF THE BUTTRESSING AND CERTIFY TO THE STABILITY OF THE SLOPE AND ADJACENT STRUCTURES UPON COMPLETION.
18. WHEN CUT PADS ARE BROUGHT TO NEAR GRADE, THE ENGINEERING GEOLOGIST SHALL DETERMINE IF THE BEDROCK IS EXTENSIVELY FRACTURED OR FAULTED AND WILL READILY TRANSMIT WATER. IF CONSIDERED NECESSARY BY THE ENGINEERING GEOLOGIST AND SOIL ENGINEER, A COMPACTED FILL BLANKET WILL BE PLACED.
19. ALL TRENCH BACKFILL SHALL BE TESTED AND APPROVED BY THE SOIL ENGINEER PER THE GRADING CODE.
20. ANY EXISTING IRRIGATION LINES AND CISTERNS SHALL BE REMOVED OR CRUSHED IN PLACE AND APPROVED BY THE BUILDING OFFICIAL AND SOIL ENGINEER.
21. ANY EXISTING WATER WELLS SHALL BE ABANDONED IN COMPLIANCE WITH THE SPECIFICATIONS APPROVED BY ORANGE COUNTY, HEALTH CARE AGENCY, AND DIVISION OF ENVIRONMENTAL HEALTH.
22. ANY EXISTING CESSPOOLS AND SEPTIC TANKS SHALL BE ABANDONED IN COMPLIANCE WITH THE UNIFORM PLUMBING CODE TO THE APPROVAL OF PDSD/BUILDING INSPECTION.
23. STOCKPILING OF EXCESS MATERIAL SHALL BE APPROVED BY THE BUILDING OFFICIAL PRIOR TO EXCAVATION.
24. EXPORT SOIL MUST BE TRANSPORTED TO A LEGAL DUMP OR TO A PERMITTED SITE APPROVED BY THE DISTRICT GRADING INSPECTOR.
25. THE PERMITTEE SHALL COMPLY WITH THE GRADING CODE REQUIREMENTS FOR HAUL ROUTES WHEN AN EXCESS OF 5,000 CUBIC YARDS OF EARTH IS TRANSPORTED TO OR FROM A PERMITTED SITE ON PUBLIC ROADWAYS.
26. THE PEMITTEE IS RESPONSIBLE FOR DUST CONTROL MEASURES.
27. THE PERMITTEE SHALL GIVE REASONABLE NOTICE TO THE OWNER OF ADJOINING LANDS AND BUILDINGS PRIOR TO BEGINNING EXCAVATIONS WHICH MAY AFFECT THE LATERAL AND SUBJACENT SUPPORT OF THE ADJOINING PROPERTY. THE NOTICE SHALL STATE THE INTENDED DEPTH OF EXCAVATION AND WHEN THE EXCAVATION WILL COMMENCE. THE ADJOINING OWNER SHALL BE ALLOWED AT LEAST 30 DAYS AND REASONABLE ACCESS ON THE PERMITTED PROPERTY TO PROTECT HIS STRUCTURE, IF HE SO DESIRES, UNLESS OTHERWISE PROTECTED BY LAW.
28. ALL CONCRETE STRUCTURES THAT COME IN CONTACT WITH THE ON-SITE SOILS SHALL BE CONSTRUCTED WITH TYPE V CEMENT UNLESS DEEMED UNNECESSARY BY SOLUBLE SULFATE-CONTENT TESTS CONDUCTED BY THE SOIL ENGINEER.
29. SLOPES EXCEEDING 5 FEET IN HEIGHT SHALL BE PLANTED WITH AN APPROVED PLANT MATERIAL. IN ADDITION, SLOPES EXCEEDING 15 FEET IN HEIGHT SHALL BE PROVIDED WITH, AN APPROVED IRRIGATION SYSTEM, UNLESS OTHERWISE APPROVED BY THE BUILDING OFFICIAL.
30. ALL EXISTING DRAINAGE COURSES THROUGH THIS-SITE SHALL REMAIN OPEN UNTIL FACILITIES TO HANDLE STORMWATER ARE APPROVED AND FUNCTIONAL; HOWEVER, IN ANY CASE, THE PERMITTEE SHALL BE HELD LIABLE FOR ANY DAMAGE DUE TO OBSTRUCTING NATURAL DRAINAGE PATTERNS.
31. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
32. THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE PERMITTEE.
33. APPROVED PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS SHALL BE USED TO PROTECT ADJOINING PROPERTIES DURING GRADING.
34. GRADING OPERATIONS INCLUDING MAINTENANCE OF EQUIPMENT WITHIN ONE-HALF MILE OF A HUMAN OCCUPANCY SHALL NOT BE CONDUCTED BETWEEN THE HOURS OF 8 P.M. AND 7 A.M. DAILY, ON SUNDAY OR ON A FEDERAL HOLIDAY.
35. GRADING AND EXCAVATION SHALL BE HALTED DURING PERIODS OF HIGH WINDS. ACCORDING TO AQMD MEASURE F-4, HIGH WINDS ARE DEFINED AS 30 MPH OR GREATER. THIS LEVEL OCCURS ONLY UNDER UNUSUALLY EXTREME CONDITIONS, SUCH AS SANTA ANA WIND CONDITIONS.
36. ASPHALT SECTIONS MUST BE PER CODE. PARKING STAGS = 3" A/C OVER 6" A/B, DRIVES 3" A/C OVER 10" (COMM.) 12" (INDUSTRIAL). OR: PRIOR TO ROUGH GRADE RELEASE FOR BUILDING PERMITS BY THE DISTRICT GRADING INSPECTOR, THE SOILS ENGINEER SHALL SUBMIT FOR APPROVAL, PAVEMENT SECTION RECOMMENDATIONS BASED ON 'R' VALUE ANALYSIS OF THE SUB-GRADE SOILS, AND EXPECTED TRAFFIC INDICES.
37. ASPHALT CONCRETE SHALL BE CONSTRUCTED PER THE REQUIREMENTS OF PFRD STANDARD PLAN NO. 1805.
38. AGGREGATE BASE SECTION SHALL BE CONSTRUCTED PER PFRD STANDARD NO. 1804.
39. ROOF GUTTERS SHALL BE INSTALLED TO PREVENT ROOF DRAINAGE FROM FALLING ON MANUFACTURED SLOPES.
40. THE CIVIL ENGINEER, AS A CONDITION OF ROUGH GRADE APPROVAL, SHALL PROVIDE A BLUE TOP WITH ACCOMPANYING WITNESS STAKE, SET AT THE CENTER OF EACH PAD REFLECTING THE PAD ELEVATION FOR PRECISE PERMITS AND A BLUE TOP WITH WITNESS STAKE SET AT THE DRAINAGE SWALE HIGH-POINT REFLECTING THE HIGH POINT ELEVATION FOR PRELIMINARY PERMITS.
41. PRIOR TO FINAL APPROVAL, THE CIVIL ENGINEER SHALL CERTIFY TO, THE BUILDING OFFICIAL THE AMOUNT OF EARTH MOVED DURING THE GRADING OPERATION.
42. THE ENGINEERING GEOLOGIST SHALL PERFORM PERIODIC INSPECTIONS AND SUBMIT A COMPLETE REPORT AND MAP UPON COMPLETION OF THE ROUGH GRADING.
43. THE GRADING CONTRACTOR SHALL SUBMIT A STATEMENT OF COMPLIANCE TO THE APPROVED GRADING PLAN PRIOR TO FINAL APPROVAL.
44. THE COMPACTION REPORT AND APPROVAL FROM THE SOILS ENGINEER SHALL INDICATE THE TYPE OF FIELD TESTING PERFORMED. THE METHOD OF OBTAINING THE IN-PLACE DENSITY SHALL BE IDENTIFIED WHETHER SAND CONE, DRIVE RING, OR NUCLEAR, AND SHALL BE NOTED FOR EACH TEST SUFFICIENT MAXIMUM DENSITY DETERMINATIONS SHALL BE PERFORMED TO VERIFY THE ACCURACY OF THE MAXIMUM DENSITY CURVES USED BY THE FIELD TECHNICIAN.
45. IN THE EVENT THAT SOIL CONTAMINATION IS DISCOVERED DURING EXCAVATION AND REMOVAL OF AN EXISTING TANK, WORK SHALL BE STOPPED UNTIL A SITE ASSESSMENT AND MITIGATION PLAN HAS BEEN PREPARED, SUBMITTED AND APPROVED BY HCA/ENVIRONMENTAL HEALTH AND PDSD/GRADING.

EROSION CONTROL

46. IN THE CASE OF EMERGENCY, CALL: HAMIT MARIFET HOME PHONE: (949) 887-4220 WORK PHONE: (949) 887-4220 47. EQUIPMENT AND WORKS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT
48. EROSION CONTROL DEVICES SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL.
49. ALL REMOVABLE EROSION PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE 5-DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
50. AFTER A RAINSTORM, ALL SILT AND DEBRIS SHALL BE REMOVED FROM STREETS, CHECK BERMS AND BASINS.
51. GRADED AREAS ON THE PERMITTED AREA PERIMETER MUST DRAIN AWAY FROM THE FACE OF SLOPES AT THE CONCLUSION OF EACH WORKING DAY. DRAINAGE IS TO BE DIRECTED TOWARD DESILTING FACILITIES.
52. THE PERMITTEE AND CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATES A HAZARDOUS CONDITION.
53. THE PERMITTEE AND CONTRACTOR SHALL INSPECT THE EROSION CONTROL WORK AND INSURE THAT THE WORK IS IN ACCORDANCE WITH THE APPROVED PLANS.

ENVIRONMENTAL NOTES

54. THE PERMITTEE SHALL NOTIFY ALL GENERAL CONTRACTORS, SUBCONTRACTORS, MATERIAL SUPPLIERS, LESSEES, AND PROPERTY OWNERS THAT DUMPING OF CHEMICALS INTO THE STORM DRAIN SYSTEM OR THE WATERSHED IS PROHIBITED.
SEPARATE APPROVAL AND PERMIT SHALL BE REQUIRED FOR THE FOLLOWING ITEMS:
A: WATER CONNECTION
B: SEWER CONNECTION
55. PERMITTEE SHALL MAINTAIN CONSTRUCTION SITE IN SUCH A CONDITION THAT AN ANTICIPATED STORM DOES NOT CARRY WASTES OR POLUTANTS OFF THE SITE. POTENTIAL POLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS, WASTES FROM PAINTS, STAINS, SEALANTS, GLUES, LIMES, PESTICIDES, HERBICIDES, WOOD PRESERVATIVES AND SOLVENTS; ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS, FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; FERTILIZERS, VEHICLE/EQUIPMENT WASH WATER AND CONCRETE WASH WATER; CONCRETE, DETERGENT OR FLOATABLE WASTES; WASTES FROM ANY ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING AND SUPERCHLORINATED POTABLE WATER LINE FLUSHING. DURING CONSTRUCTION, PERMITTEE SHALL DISPOSE OF SUCH MATERIALS IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE, PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
56. PERMITTEE MAY DISCHARGE MATERIAL OTHER THAN STOMWATER ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND WHERE THEY DO NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD; CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR NUISANCE; OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATIONS 40 CFR PARTS 117 AND 302.
57. DEWATERING OF CONTAMINATED GROUNDWATER, OR DISCHARGING CONTAMINATED SOILS VIA SURFACE EROSION IS PROHIBITED. DEWATERING OF NON-CONTAMINATED GROUNDWATER REQUIRES A NATIONAL POLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.

SPECIAL NOTES

58. "SURVEY MONUMENTS SHALL BE PRESERVED AND REFERENCED BEFORE CONSTRUCTION AND REPLACED AFTER CONSTRUCTION PURSUANT TO SECTION 8771 OF THE BUSINESS AND PROFESSIONS CODE." SURVEYOR OR ENGINEER(LICENSE NO. BELOW 33,966). SHALL MONUMENT PROPERTY CORNER BEFORE STARTING GRADING, EITHER WITH PERMANENT MONUMENTS OR TEMPORARY 1 FT LONG 1/2" DIAMETER METAL RODS DRIVEN INTO THE GROUND TO NEAR FLUSH AND MARKED WITH PAINT."

GEO REPORT RECOMMENDATIONS

THE FOLLOWING SECTIONS DISCUSS THE PRINCIPLE GEOTECHNICAL CONCERNS WHICH SHOULD BE CONSIDERED FOR PROPER SITE RE-DEVELOPMENT.

EARTHWORK
GRADING AND EARTHWORK SHOULD BE PERFORMED IN ACCORDANCE WITH THE FOLLOWING RECOMMENDATIONS AND THE GENERAL EARTHWORK AND GRADING GUIDELINES INCLUDED IN APPENDIX C. IT IS OUR UNDERSTANDING THAT THE MAJORITY OF GRADING WILL BE LIMITED TO THE RE-GRADING OF THE BUILDING PAD FOR THE PROPOSED CONSTRUCTION. IN GENERAL, IT IS ANTICIPATED THAT THE REMOVAL OF THE UPPER 3 FEET WITHIN THE BUILDING FOOTPRINT (SLAB- ON-GRADE PORTION) WILL REQUIRE REMOVAL AND RECOMPACTION TO PREPARE THE SITE FOR CONSTRUCTION. WE RECOMMEND A 5 FT ENVELOPE BE EXCAVATED FOR THE BUILDING PAD, WHERE FEASIBLE. THE REMOVALS SHOULD BE ACCOMPLISHED SO THAT ALL FILL AND BACKFILL EXISTING AS PART OF THE PREVIOUS SITE USE AND DEMOLITION OPERATIONS ARE REMOVED. CARE SHOULD BE TAKEN TO PROTECT THE ADJACENT PROPERTY IMPROVEMENTS. A MINIMUM ONE FOOT THICK FILL BLANKET SHOULD BE PLACED THROUGHOUT THE EXTERIOR IMPROVEMENTS (APPROACHES, PARKING AND PLANTER AREAS). THE FILL BLANKET WILL BE ACHIEVED BY RE WORKING (SCARIFYING) THE UPPER 12 INCHES OF THE EXISTING GRADE.

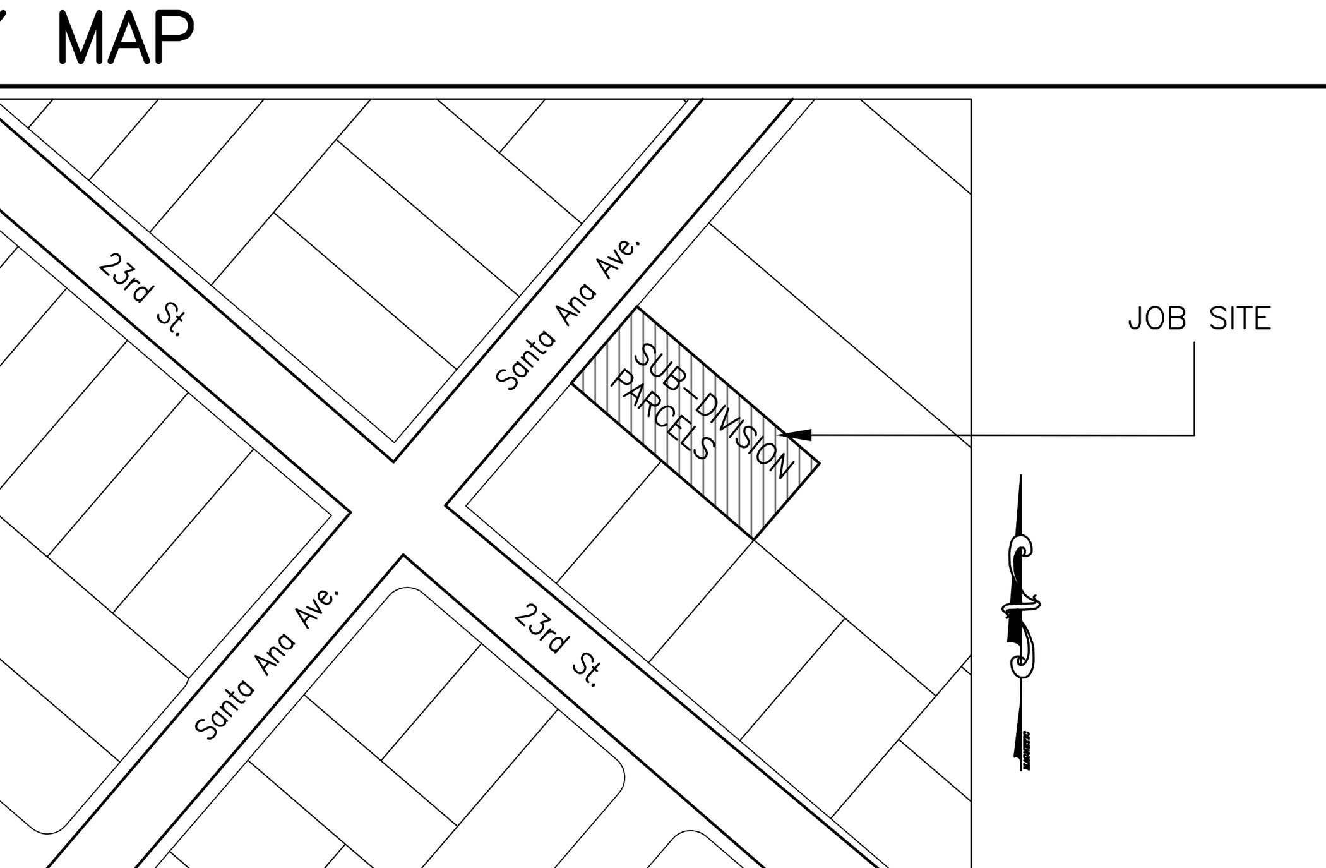
SITE PREPARATION
PRIOR TO EARTHWORK OR CONSTRUCTION OPERATIONS, THE SITE SHOULD BE CLEARED OF SURFACE STRUCTURES AND SUBSURFACE OBSTRUCTIONS AND STRIPPED OF ANY VEGETATION IN THE AREAS PROPOSED FOR DEVELOPMENT. REMOVED VEGETATION AND DEBRIS SHOULD THEN BE DISPOSED OF OFF-SITE.
A MINIMUM OF 3 FEET OF THE SOILS BELOW EXISTING GRADE WILL REQUIRE REMOVAL AND RECOMPACTION IN THE AREAS TO RECEIVE BUILDING PAD FILL. FOLLOWING REMOVAL, THE EXCAVATED SURFACE SHOULD BE INSPECTED BY THE SOILS ENGINEER OR HIS DESIGNATED REPRESENTATIVE PRIOR TO THE PLACEMENT OF ANY FILL IN FOOTING TRENCHES. HOLES OR POCKETS OF UNDOCUMENTED FILL RESULTING FROM REMOVAL OF BURIED OBSTRUCTIONS DISCOVERED DURING THIS INSPECTION SHOULD BE FILLED WITH SUITABLE COMPACTED FILL.

FILLS
THE ON-SITE SOILS ARE SUITABLE FOR REUSE AS COMPACTED FILL, PROVIDED THEY ARE FREE OF ORGANIC MATERIALS, DEBRIS, AND MATERIALS LARGER THAN FOUR (4) INCHES IN DIAMETER. AFTER REMOVAL OF ANY LOOSE, COMPRESSIBLE SOILS, ALL AREAS TO RECEIVE FILL AND/OR OTHER SURFACE IMPROVEMENTS SHOULD BE SCARIFIED TO A MINIMUM DEPTH OF 12 INCHES, BROUGHT TO AT LEAST 2 PERCENT OVER OPTIMUM MOISTURE CONDITIONS AND COMPACTED TO AT LEAST 90 PERCENT RELATIVE COMPACTION (BASED ON ASTM: D 1557). IF NECESSARY, IMPORT SOILS FOR NEAR-SURFACE FILLS SHOULD BE PREDOMINATELY GRANULAR, POSSESS A LOW OR VERY LOW EXPANSION POTENTIAL, AND BE APPROVED BY THE GEOTECHNICAL ENGINEER.
LIFT THICKNESSES WILL BE DEPENDENT ON THE SIZE AND TYPE OF EQUIPMENT USED. IN GENERAL, FILL SHOULD BE PLACED IN UNIFORM LIFTS NOT EXCEEDING 8 INCHES. PLACEMENT AND COMPACTION OF FILL SHOULD BE IN ACCORDANCE WITH LOCAL GRADING ORDINANCES UNDER THE OBSERVATION AND TESTING OF THE GEOTECHNICAL CONSULTANT. WE RECOMMEND THAT FILL SOILS BE PLACED AT MOISTURE CONTENTS AT LEAST 2 PERCENT OVER OPTIMUM (BASED ON ASTM: D 1557).
WE RECOMMEND THAT OVERSIZE MATERIALS (MATERIALS OVER 4 INCHES) SHOULD THEY BE ENCOUNTERED, BE STOCKPILED AND REMOVED FROM THE SITE.

TRENCH EXCAVATIONS AND BACKFILL
SHALLOW EXCAVATIONS TO 10 FEET AT THE PROJECT SITE CAN BE EXCA/ATED WITH A MODERATE EFFORT USING CONVENTIONAL CONSTRUCTION EQUIPMENT IN GOOD OPERATING CONDITION. BASED UPON THE WEATHERED NATURE OF THE SUBSURFACE SOILS AND TO SATISFY OSHA REQUIREMENTS FOR WORKMEN'S SAFETY, IT WILL BE NECESSARY TO SHORE EXCAVATIONS DEEPER THAN 5 FEET, OR SLOPE BACK THE SIDES OF THE EXCAVATION AT AN INCLINATION OF 1:1 (HORIZONTAL TO VERTICAL) IF WORKERS ARE TO ENTER SUCH EXCAVATIONS. THE GEOTECHNICAL CONSULTANT SHOULD BE PRESENT DURING THE EXCAVATION PHASE OF THE PROJECT TO OBSERVE THE SOIL CONDITIONS AND MAKE ADDITIONAL RECOMMENDATIONS IF NECESSARY.

THE ON-SITE SOILS MAY BE USED AS TRENCH BACKFILL PROVIDED THEY ARE SCREENED OF ROCK SIZES OVER 6 INCHES IN DIMENSION AND ORGANIC MATTER. TRENCH BACKFILL SHOULD BE COMPACTED IN UNIFORM LIFTS (NOT EXCEEDING 8 INCHES IN COMPACTED THICKNESS) BY MECHANICAL MEANS TO AT LEAST 90 PERCENT RELATIVE COMPACTION (ASTM: D 1557).

VICINITY MAP



PLANNING DEPARTMENT NOTES

1. EXCEPT AS NECESSARY FOR DRAINAGE, EXISTING GRADES AT PROPERTY LINES SHALL BE MAINTAINED.
2. PRIOR TO THE ISSUANCE OF PERMITS, THE DEVELOPER SHALL VERIFY THAT THERE ARE NO EASEMENTS (I.E., WATER, SEWER, OR UTILITY) OR OTHER ENCUMBRANCES WHICH AFFECT OR RESTRICT THE LOCATION OF THE BUILDING OR OTHER IMPROVEMENTS AS SHOWN ON THE PROPOSED PLANS.
3. MAINTAIN THE PUBLIC RIGHT OF WAY IN A "WET-DOWN" CONDITION TO PREVENT EXCESSIVE DUST AND PROMPTLY REMOVE ANY SPILLAGE FROM THE PUBLIC RIGHT OF WAY BY SWEEPING OR SPRINKLING.
4. ALL ON SITE UTILITY SERVICES SHALL BE INSTALLED UNDERGROUND.
5. LIGHTING SHALL COMPLY WITH ALL REQUIREMENTS OF COSTA MESA MUNICIPAL CODE SECTION 13-93(D). ALL EXTERIOR LIGHTING SHALL BE SHIELDED AND/OR DIRECTED AWAY FROM THE ADJACENT MOBILE HOME PARK.
6. CONSTRUCTION, GRADING, MATERIALS DELIVERY, EQUIPMENT OPERATION, AND OTHER NOISE-GENERATING CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE HOURS OF 7 A.M. TO 8 P.M. MONDAY THROUGH FRIDAY, AND 8 A.M. TO 7 P.M. SATURDAY, SUNDAY, AND FEDERAL HOLIDAYS. EXCEPTIONS MAY BE MADE FOR ACTIVITIES THAT WILL NOT GENERATE NOISE AUDIBLE FROM OFF-SITE, SUCH AS PAINTING AND OTHER QUITE INTERIOR WORK.

NPDES REQUIREMENTS

NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS:

1. OWNER SHALL KEEP CONSTRUCTION AREA SUFFICIENTLY DAMPENED TO CONTROL DUST CAUSED BY GRADING AND CONSTRUCTION. OWNER SHALL AT ALL TIMES, PROVIDE REASONABLE CONTROL OF DUST CAUSED BY WIND.
2. THE EXPORT OR IMPORT MATERIAL IN EACH TRUCKLOAD SHALL BE KEPT LOW ENOUGH TO PREVENT SPILLAGE AND SHALL BE SUFFICIENTLY WET DOWN TO PREVENT DUST.
3. A STAGING AREA SHALL BE DESIGNATED WHERE EACH TRUCK IS PREPARED FOR LOAD TRAVEL AND ALL LOOSE MATERIAL REMOVED. ANY SUBSTANCE TO DROP OR FALL FROM THE BODY, TIRES, OR WHEELS OF THE VEHICLE UPON THE PUBLIC RIGHT OF WAY SHALL BE REMOVED IMMEDIATELY.
4. EROSION CONTROL MEASURES SHALL BE IN PLACE FROM NOVEMBER 15 THROUGH APRIL 15.

CODE COMPLIANCE

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES:
2022 CBC
2022 CPC
2022 CMC
2022 CEC
COSTA MESA MUNICIPAL CODE

PLAN INDEX SHEET

	SHEET
NOTES, GENERAL INFORMATION, AND VICINITY MAP	C 1
TOPO AND DEMOLITION PLAN, DETAILS AND LEGEND	C 2
GRADING PLAN	C 3
UTILITY PLAN	C 4

LEGAL DESCRIPTION

THE SOUTHWESTERLY 63 FEET OF THE NORTHEASTERLY 530 FEET OF THE NORTHWESTERLY 150 FEET OF LOT 102 OF TRACT NO. 300, IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 14, PAGES 11 AND 12 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

ASSESSOR'S PARCEL NUMBER:

119-332-08

SITE ADDRESS:

2308 SANTA ANA AVE.
COSTA MESA, CA 92627

OWNER/SUBDIVIDER:

EASTSIDE COASTAL LLC, A CALIFORNIA LIMITED LIABILITY COMPANY
1024 BAYSIDE DRIVE, SUITE 340
NEWPORT BEACH, CA 92660
ATTENTION: ALI SEDGHI

AREA SUMMARY:

EXISTING PARCEL: 9450 S.F. (0.2169 ACRES)

PROPOSED PARCELS:

PARCEL 1: 3908.56 S.F. (0.0897 ACRES)
PARCEL 2: 5541.44 S.F. (0.1272 ACRES)

EXISTING LAND USE:

ONE PARCEL OF SINGLE STORY HOUSE AND DETACHED GARAGE

PROPOSED LAND USE

SMALL LOT SUBDIVISION - SINGLE FAMILY RESIDENTIAL

WATER RESOURCES:

FEMA FIRM FLOOD ZONE = X, MAP NUMBER 06059C0269K
EFFECTIVE DATE, 03/21/2019

NOTES:

1. ALL ON-SITE PLUMBING SHALL COMPLY WITH 2022 CPC.
2. CONSTRUCTION/ IMPROVEMENTS THAT ENCROACH WITHIN PUBLIC UTILITY EASEMENTS SHALL REQUIRE WRITTEN APPROVALS FROM THE UTILITY COMPANIES ASSOCIATED WITH THAT EASEMENT

REVISION	BY	DATE	APP'D. BY	APP'D. DATE
△				
△				
△				

PREPARED BY:
COAST ENGINEERING DESIGNS, INC.
1500 ADAMS AVE., SUITE 303
COSTA MESA, CA 92626
PH. (714) 593-0337
CIVIL AND STRUCTURAL ENGINEERS
J.N. 08-2023

Coast Engineering Designs Inc. — Civil and Structural Engineers

REGISTERED PROFESSIONAL ENGINEER — FARHAD REZAI — No. 39868 — 12.31.2025 — CIVIL ENGINEER — STATE OF CALIFORNIA
4/30/2025

OWNER INFORMATION:
ALI SEDGHI
1024 BAYSIDE DR. STE. 340
NEWPORT BEACH, CA 92660
949-636-2666

PREPARED UNDER SUPERVISION OF FARHAD REZAI R.C.E. 39868		DATE 4/30/2025
DRAWN:		
CHECKED BY		
RECOMMENDED:		
APPROVED ____________________		

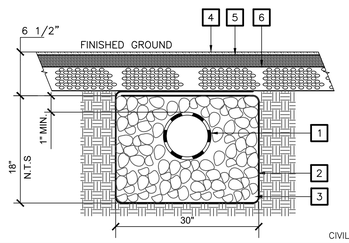
2308 SANTA ANA AVE
COSTA MESA, CA 92627

GENERAL NOTES

C-1

SHEET OF

1. 4" DIAMETER PERFORATED PIPE CLASS SDR35 OR SCH. 40 PVC PIPE SURROUNDED BY GRAVEL AND GEOTEXTILE FABRIC. PERFORATED DOWN (BOTTOM).
2. ¾" CRUSHED ROCK
3. FILTER CLOTH LAP 12" @ TOP
4. 1/2" WEAR COURSE
5. 2" SHOCK COURSE
5. 4" 90%-95% COMPACTED AGGREGATE



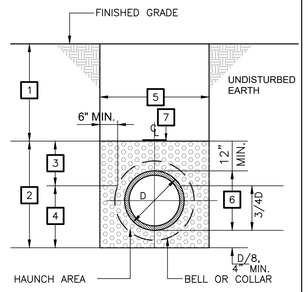
CIVIL/CB191

GROUND INFILTRATION / PIPE DETAIL

SCALE: NONE | 2

1. BACKFILL TYPE "C" MATERIAL
2. BEDDING
3. TYPE "A" MATERIAL
4. TYPE "B" MATERIAL
5. TRENCH WIDTH
6. SPRING LINE
7. 2" WIDE WARNING ID TAPE

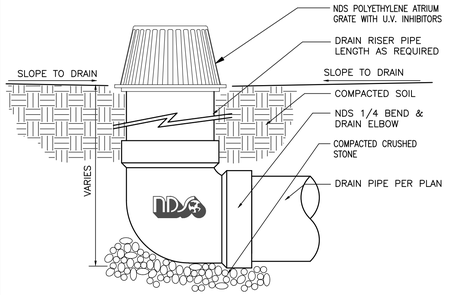
MATERIAL NOTES:
1. TYPE "A" MATERIAL - 3/4" CRUSHED ROCK.
2. TYPE "B" MATERIAL SHALL BE PLACED IN A MANNER SUCH AS SLICING, SHOVEL- SPADING, OR SHOVEL RODDING TO INSURE COMPLETE FILLING OF THE "HAUNCH AREAS" BELOW THE PIPE.
3. TYPE "C" CLASS II AT 95% RELATIVE COMPACTION MIN. OR SAND SLURRY BACKFILL, 60-E-1 (100-E-100) OR COMPACT NATIVE MATERIAL AT 95% RELATIVE COMPACTION



CIVIL/ABS

SDR AND PVC BEDDING DETAIL

SCALE: NONE | 5

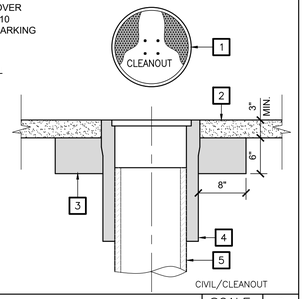


\NDS23

NDS ATRIUM GRATE

SCALE: NONE | 3

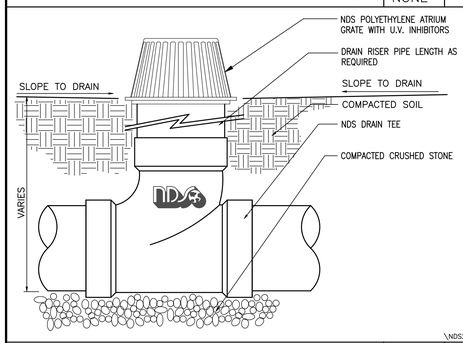
1. CAST IRON COVER
2. A/C PAVEMENT WHERE OCCURS
3. CLASS "B" CONCRETE COLLAR
4. VALVE BOX AND CAST IRON COVER (J&R CONCRETE OR EQUAL) H-10 LOADING IN DRIVE LANE AND PARKING LOT
5. SAME DIAMETER AND MATERIAL AS THE HORIZONTAL PIPE TO BE CLEANED.



CIVIL/CLEANOUT

STANDARD CLEAN-OUT

SCALE: NONE | 6

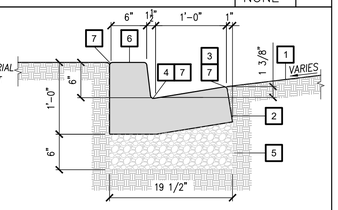


\NDS24

NDS ATRIUM GRATE

SCALE: NONE | 4

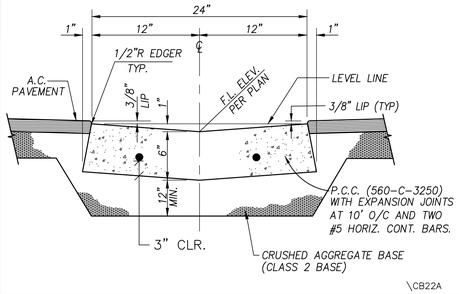
1. FINISHED GRADE
2. *P.C.C. (3250 PSI) WITH WEAKENED JOINTS (3/16" PRE-MOLDED JOINT MATERIAL OR 1/8" SAWED JOINT) AT 10' O/C.*
3. *LIP OF GUTTER*
4. F.L. ELEV. PER PLAN
5. *P.C.C. AGG. BASE*
6. *TC ELEV. PER PLAN*
7. *1/2" RAD. (TYP. U.N.)*



\CB83

6" CONC. C & G DETAIL AT L.S.

SCALE: NONE | 7



\CB22A

24" WIDE VALLEY GUTTER DETAIL

SCALE: NONE | 8

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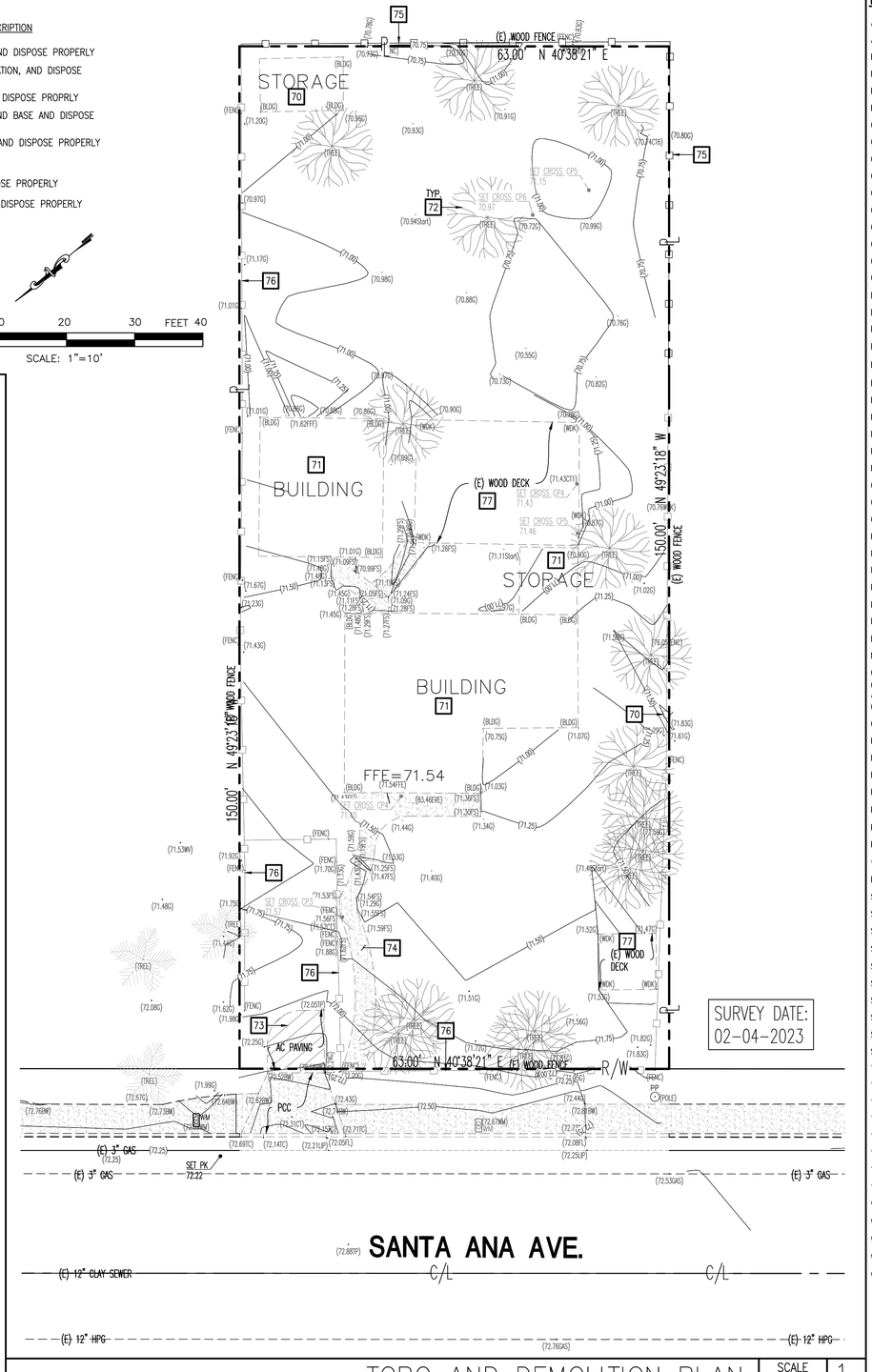
DEMOLITION NOTES:

	DESCRIPTION
70	REMOVE STORAGE SHED AND DISPOSE PROPERLY
71	REMOVE BUILDING, FOUNDATION, AND DISPOSE PROPERLY
72	REMOVE TREE, ROOT, AND DISPOSE PROPRLY
73	REMOVE A/C PAVEMENT AND BASE AND DISPOSE PROPERLY
74	REMOVE CONCRETE WALK AND DISPOSE PROPERLY
75	PROTECT IN PLACE
76	REMOVE FENCE AND DISPOSE PROPERLY
77	REMOVE WOOD DECK AND DISPOSE PROPERLY

0 10 20 30 FEET 40

SCALE: 1"=10'



TOPO AND DEMOLITION PLAN

SCALE: 1"=10'-0" | 1

LEGEND

AMERICAN PUBLIC WORKS ASSOCIATION	APWA
ASPHALT CONCRETE	AC
BACK OF WALK	BW
BLOCK WALL	
BOTTOM	BOT.
BUILDING	BLDG.
CATCH BASIN	C.B., CBSIN
CHAIN LINK FENCE	—o—o—
COMMUNICATION BOX	COM. BX.
COMMUNICATION VAULT	COM. VLT.
CONCRETE	CONC.
CONSTRUCT	CONST.
CORNER BUILDING	CB
CORNER CONCRETE	CC
CRUSHED AGGREGATE BASE	CAB
CURB FACE, CURB BACK	CF, CB
DOUBLE DETECTOR CHECK VALVE	DDCV
DOWN SPOUT	DS
ELECTRICAL BOX, ELECTRICAL CABINET	ELEC BOX, ELEC CAB
EXISTING	EX, EXIST.
EXISTING CONTOUR	(XX.XX)
EXISTING DRIVEWAY APPROACH	
EXISTING ELEVATION	(71.5)
FIRE HYDRANT	FH, FHY
FINISH FLOOR ELEVATION	FFE
FINISH GRADE	FG
FINISH SURFACE	FS
GAS LINE	G
GOLDEN STATE WATER COMPANY	-
GRADE BREAK	GB
HIGH POINT	HP
INVERT	INV
IRRIGATION BOX, IRRIGATION VALVE	IRRBX, IRRVLV
LANDSCAPING, PLANTER AREA	L.S., P.A.
LIGHT POLE	LIPOLE
LIP OF GUTTER, GUTTER EDGE	LIP
LOW POINT	LP
NEW CONTOUR	XX.XX
ON CENTER	O/C, O.C.
ORANGE COUNTY ENVIRONMENTAL MANAGEMENT AGENCY	OCEMA
ORANGE COUNTY FIRE AUTHORITY	OCFA
OVER HEAD LINES	OHL
PLANTING AREA	PA
PORTLAND CEMENT CONCRETE	PCC
POWER POLE	PP
PRESSURE TREATED	PT
PROPERTY LINE	
PROPOSED ELEVATION	72.0
PULL BOX	PBX
QUANTITY	QTY.
ROOF DOWN SPOUTS AND SPLASH BLOCK RD	SP
SANITARY SEWER	S
SANITARY SEWER HOUSE CONNECTION	S
SANITARY SEWER MANHOLE	SSMH
SEWER CLEANOUT	SCO
SITE LIGHT BASE	
STORM DRAIN	SD
STORM DRAIN MAN HOLE	SDMH
STREET	ST.
STREET LIGHT	STLT
STREET LIGHT PULL BOX	SLPB
TELEPHONE BOX	TBX
TOP OF BRICK	TB
TOP OF CONCRETE	FS
TOP OF CURB, FLOW LINE	TC, FL
TOP OF GRATE	TG
TOP OF PAVING	TP
TOP OF WALL, TOP OF FOOTING	TW, TF
TRAFFIC SIGNAL PULL BOX	TSPB
VITRIFIED CLAY PIPE	V.C.P.
WATER LINE	W
WATER METER	WM
WATER SERVICE LINE	W
WATER VALVE	WV

REVISION		BY	DATE	APP'D. BY	APP'D. DATE
1					
2					
3					

PREPARED BY:
COAST ENGINEERING DESIGNS, INC.
1500 ADAMS AVE., SUITE 303
COSTA MESA, CA 92626
PH. (714) 593-0337
CIVIL AND STRUCTURAL ENGINEERS

J.N. 08-2023

Coast Engineering Designs Inc. CEDI Civil and Structural Engineers

REGISTERED PROFESSIONAL ENGINEER FARHAD REZAI No. 39868 12-31-2026 CIVIL ENGINEER STATE OF CALIFORNIA

4/30/2025

OWNER INFORMATION:
ALI SEDGHI
1024 BAYSIDE DR. STE. 340
NEWPORT BEACH, CA 92660
949-636-2666

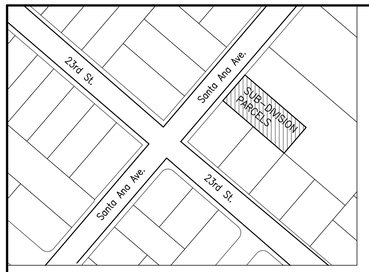
		DATE
PREPARED UNDER SUPERVISION OF FARHAD REZAI R.C.E. 39868		4/30/2025
DRAWN:		
CHECKED BY		
RECOMMENDED:		
APPROVED		

2308 SANTA ANA AVE
COSTA MESA, CA 92627

TOPO & DEMOLITION PLAN, LEGEND, AND DETAILS

C-2

SHEET OF



VICINITY MAP
N.T.S.

EASEMENTS:

1. AN EASEMENT RECORDED SEPTEMBER 13, 1922 IN BOOK 437, PAGE 231, DEEDS (NON PLOTTABLE)
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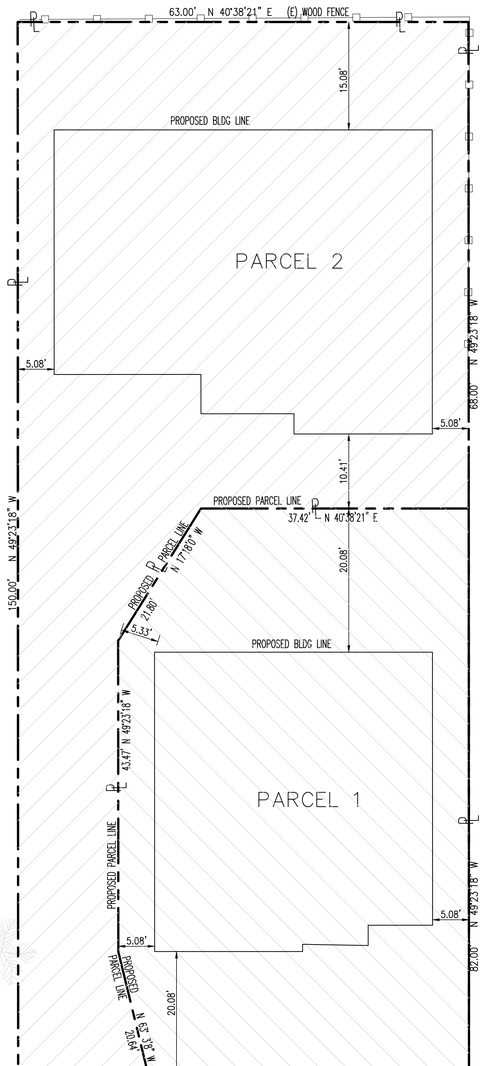


LEGAL DESCRIPTION

THE SOUTHWESTERLY 63 FEET OF THE NORTHEASTERLY 530 FEET OF THE NORTHWESTERLY 150 FEET OF LOT 102 OF TRACT NO. 300, IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 14, PAGES 11 AND 12 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

ASSESSOR'S PARCEL NUMBER:

119-332-08

SITE ADDRESS:

2308 SANTA ANA AVE.
COSTA MESA, CA 92627

OWNER/SUBDIVIDER:

EASTSIDE COASTAL LLC, A CALIFORNIA LIMITED LIABILITY COMPANY
1024 BAYSIDE DRIVE, SUITE 340
NEWPORT BEACH, CA 92660
ATTENTION: ALI SEDGHI

AREA SUMMARY:

EXISTING PARCEL: 9450 S.F. (0.217 ACRES)

PROPOSED PARCELS:

PARCEL 1: 3862 S.F. (0.089 ACRES)
PARCEL 2: 5588 S.F. (0.128 ACRES)

EXISTING LAND USE:

ONE PARCEL OF SINGLE STORY HOUSE AND DETACHED GARAGE

EXISTING SURROUNDING PROPERTY LAND USE:

REAR: R2 - MD MULTI-FAMILY RESIDENTIAL
FRONT: R2 - MD MULTI-FAMILY RESIDENTIAL
LEFT: R2 - MD MULTI-FAMILY RESIDENTIAL
RIGHT: R2 - MD MULTI-FAMILY RESIDENTIAL

PROPOSED LAND USE

SMALL LOT SUBDIVISION - SINGLE FAMILY RESIDENTIAL

WATER RESOURCES:

THERE ARE NO WATERCOURSE CROSSING THE SITE OR ADJOINING PROPERTIES, LAND IS NOT SUBJECT TO OVERFLOW.

WATER RESOURCES:

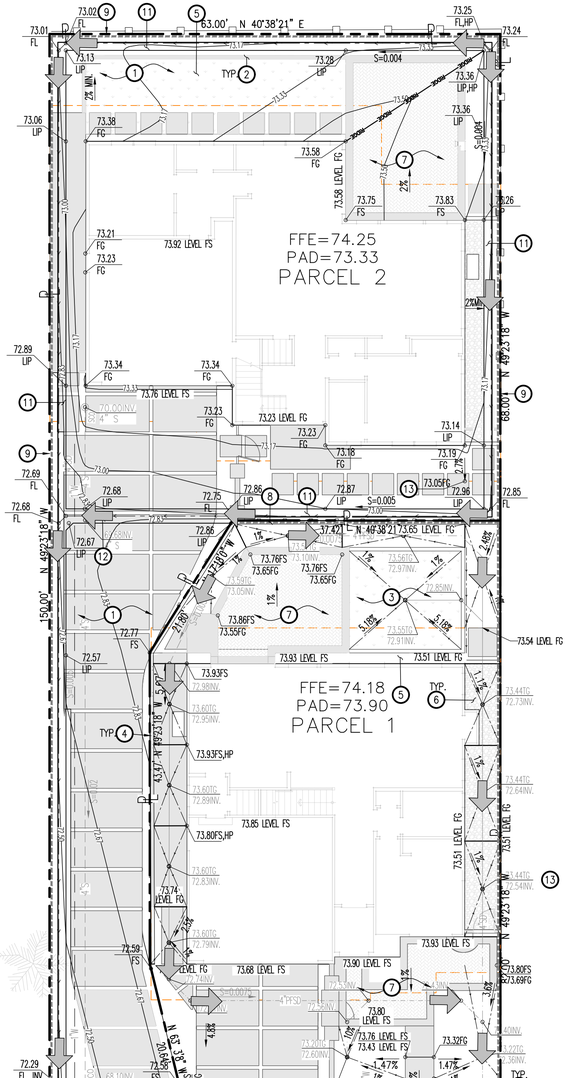
FEMA FIRM FLOOD ZONE = X, MAP NUMBER 06059C0269K
EFFECTIVE DATE, 03/21/2019

LEGEND

SITE SETBACK
CURB
PROPERTY LINE

0 10 20 30 FEET 40

SCALE: 1"=10'



ON SITE CONSTRUCTION NOTES:

	DESCRIPTION
1	CONSTRUCT CONCRETE WALK PER LANDSCAPING PLANS
2	CONC. MOW STRIP PER LANDSCAPING PLAN
3	CONSTRUCT TURF PER LANDSCAPING PLANS
4	CONSTRUCT FENCE PER LANDSCAPING PLANS
5	PLANTER PER LANDSCAPING PLANS
6	GRAVEL PER LANDSCAPING PLANS
7	CONSTRUCT PAVER PER LANDSCAPING PLANS
8	CONCRETE CURB RETAINING WALL WITH FENCE ON TOP PER LANDSCAPING PLANS (BY SEPARATE PERMIT)
9	RETAINING WALL AND FENCE ON TOP PER LANDSCAPING PLANS (BY SEPARATE PERMIT)
10	CONSTRUCT DECORATIVE WALL PER LANDSCAPING PLANS (BY SEPARATE PERMIT)
11	CONSTRUCT CONC. CURB & GUTTER PER DETAIL 7/C-2
12	CONSTRUCT CONC. V-GUTTER PER DETAIL 8/C-2
13	LOWEST FINISH GRADE WITHIN 5' BUILDING LINE

BUILDING CODE SEC. 1808.7.4
TOP OF EXTERIOR FOUNDATION = FFE-5 INCH SLAB THICKNESS TOP OF EXT. FOUNDATION FRONT BUILDING = 74.18-0.42=73.76 >73.27
TOP OF EXT. FOUNDATION REAR BUILDING = 74.25-0.42=73.83 >73.27
STREET GUTTER ELEVATION AT POINT OF DISCHARGE = 72.07
72.07+1+0.02(10') = 73.27

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PRECISE GRADING PLAN | SCALE 1"=10'-0" | 1

REVISION	BY	DATE	APP'D. BY	APP'D. DATE
△				
△				
△				

PREPARED BY:
COAST ENGINEERING DESIGNS, INC.
1500 ADAMS AVE., SUITE 303
COSTA MESA, CA 92626
PH. (714) 593-0337
CIVIL AND STRUCTURAL ENGINEERS

J.N. 08-2023

Coast Engineering Designs Inc. Civil and Structural Engineers

REGISTERED PROFESSIONAL ENGINEER FARHAD REZAI No. 39868 12.31.2026 CIVIL ENGINEER STATE OF CALIFORNIA

4/30/2025

OWNER INFORMATION:
ALI SEDGHI
1024 BAYSIDE DR. STE. 340
NEWPORT BEACH, CA 92660
949-636-2666

PREPARED UNDER SUPERVISION OF FARHAD REZAI R.C.E. 39868	DATE 4/30/2025
DRAWN:	
CHECKED BY	
RECOMMENDED:	
APPROVED	

2308 SANTA ANA AVE
COSTA MESA, CA 92627

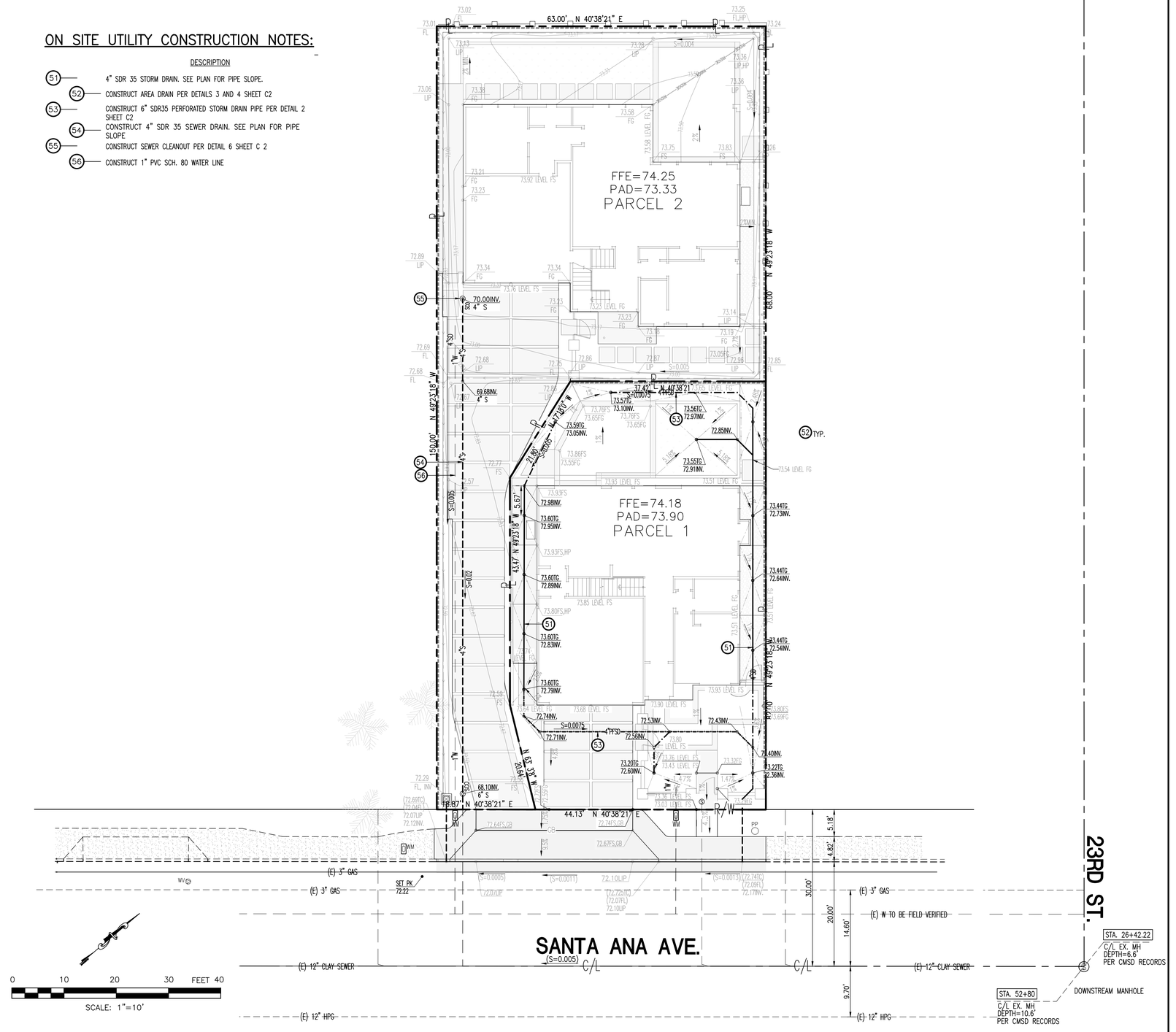
PRECISE GRADING PLAN

C-3

SHEET OF

ON SITE UTILITY CONSTRUCTION NOTES:

	DESCRIPTION
51	4" SDR 35 STORM DRAIN. SEE PLAN FOR PIPE SLOPE.
52	CONSTRUCT AREA DRAIN PER DETAILS 3 AND 4 SHEET C2
53	CONSTRUCT 6" SDR35 PERFORATED STORM DRAIN PIPE PER DETAIL 2 SHEET C2
54	CONSTRUCT 4" SDR 35 SEWER DRAIN. SEE PLAN FOR PIPE SLOPE
55	CONSTRUCT SEWER CLEANOUT PER DETAIL 6 SHEET C 2
56	CONSTRUCT 1" PVC SCH. 80 WATER LINE



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UTILITY PLAN | SCALE 1"=10'-0" | 1

REVISION	BY	DATE	APP'D. BY	APP'D. DATE
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1024 BAYSIDE DR. STE. 340
NEWPORT BEACH, CA 92660
949-636-2666

PREPARED UNDER SUPERVISION OF	DATE
FARHAD REZAI R.C.E. 39868	4/30/2025
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CHECKED BY	
RECOMMENDED:	
APPROVED	

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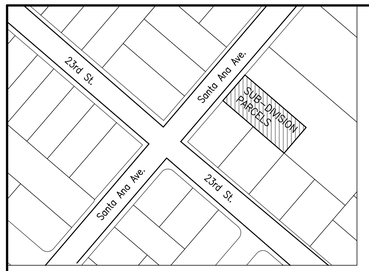
UTILITY PLAN

C-4

SHEET OF



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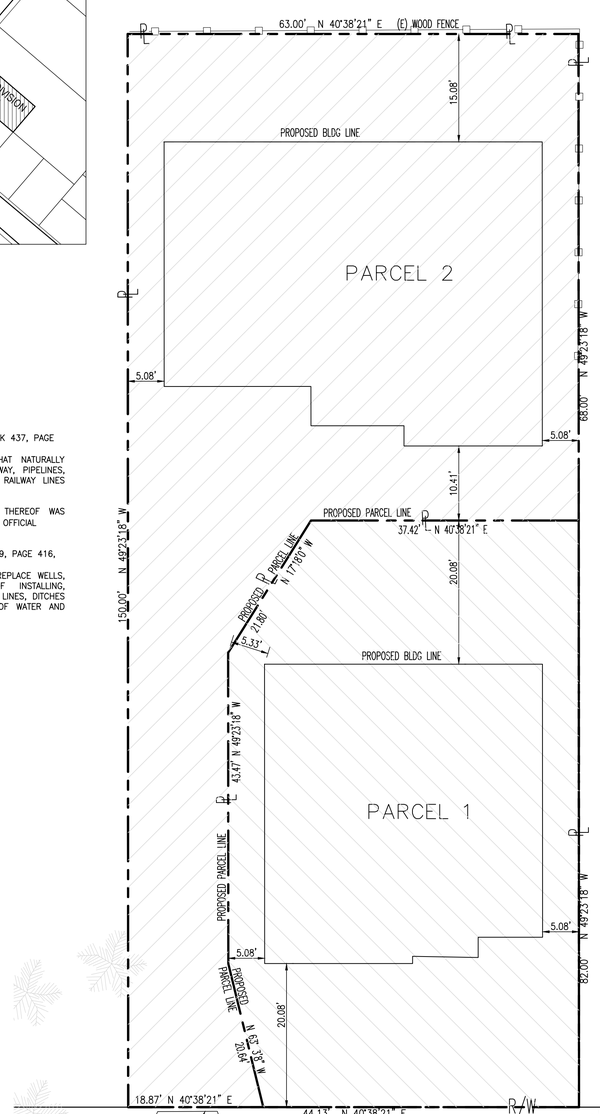

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ASSESSOR'S PARCEL NUMBER:

119-332-08

SITE ADDRESS:

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COSTA MESA, CA 92627

OWNER/SUBDIVIDER:

EASTSIDE COASTAL LLC, A CALIFORNIA LIMITED LIABILITY COMPANY
1024 BAYSIDE DRIVE, SUITE 340
NEWPORT BEACH, CA 92660
ATTENTION: ALI SEDGHI

AREA SUMMARY:

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PARCEL 2: 5588 S.F. (0.128 ACRES)

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ONE PARCEL OF SINGLE STORY HOUSE AND DETACHED GARAGE

EXISTING SURROUNDING PROPERTY LAND USE:

REAR: R2 - MD MULTI-FAMILY RESIDENTIAL
FRONT: R2 - MD MULTI-FAMILY RESIDENTIAL
LEFT: R2 - MD MULTI-FAMILY RESIDENTIAL
RIGHT: R2 - MD MULTI-FAMILY RESIDENTIAL

PROPOSED LAND USE

SMALL LOT SUBDIVISION - SINGLE FAMILY RESIDENTIAL

WATER RESOURCES:

THERE ARE NO WATERCOURSE CROSSING THE SITE OR ADJOINING PROPERTIES, LAND IS NOT SUBJECT TO OVERFLOW.

WATER RESOURCES:

FEMA FIRM FLOOD ZONE = X, MAP NUMBER 06059C0269K
EFFECTIVE DATE, 03/21/2019

LEGEND

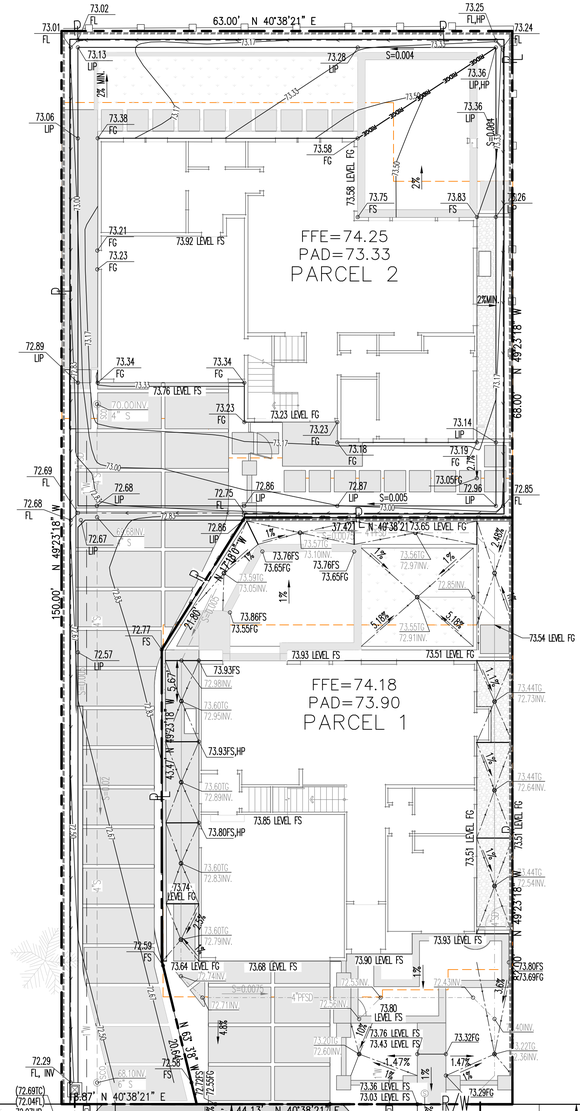
SITE SETBACK
CURB
PROPERTY LINE

0 10 20 30 FEET 40

SCALE: 1"=10'

PROFESSIONAL LAND SURVEYOR
DONALD M BARRIE
No. 4856
EXP. 09/30/26
Donald M. Barrie
STATE OF CALIFORNIA

4/30/2025



BUILDING CODE SEC. 1808.7.4
TOP OF EXTERIOR FOUNDATION = FFE-6 INCH SLAB THICKNESS TOP OF EXT.
FOUNDATION FRONT BUILDING = 74.18-0.42=73.76 >73.27
TOP OF EXT. FOUNDATION REAR BUILDING = 74.25-0.42=73.83 >73.27
STREET GUTTER ELEVATION AT POINT OF DISCHARGE = 72.07
72.07+1+0.02(10') = 73.27

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TENTATIVE PM | SCALE 1"=10'-0" | 1

REVISION	BY	DATE	APP'D. BY	APP'D. DATE
△				
△				
△				

PREPARED BY:
COAST ENGINEERING DESIGNS, INC.
1500 ADAMS AVE., SUITE 303
COSTA MESA, CA 92626
PH. (714) 593-0337
CIVIL AND STRUCTURAL ENGINEERS

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12.31.2025
CIVIL ENGINEER
STATE OF CALIFORNIA

4/30/2025

OWNER INFORMATION:
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1024 BAYSIDE DR. STE. 340
NEWPORT BEACH, CA 92660
949-636-2666

PREPARED UNDER SUPERVISION OF	DATE
FARHAD REZAI R.C.E. 39868	4/30/2025
DRAWN:	
CHECKED BY	
RECOMMENDED:	
APPROVED	

2308 SANTA ANA AVE
COSTA MESA, CA 92627

TENTATIVE PARCEL MAP NO 2023-117

SHEET 2 OF

LEGEND

- REMOVE A/C PAVING
- EXISTING P.C.C.
- REMOVE P.C.C.
- NEW PATCH AC
- NEW P.C.C. PAVING

OFF SITE CONSTRUCTION NOTES:

NOTES:
1. SEPARATE PUBLIC WORKS DEPARTMENT ENCROACHMENT PERMITS ARE REQUIRED IN PUBLIC RIGHT OF WAY.
2. ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE DONE PER CITY STANDARDS.

(20) REMOVE EXISTING CURB AND GUTTER BY SAWCUTTING THE EDGE, SIDEWALK, AND CONSTRUCT TYPE I DRIVEWAY APPROACH PER CITY OF COSTA MESA STANDARD DRAWING NO. 513 OVER 6" CMB AND MODIFIED THIS DRAWING TO COMPLY WITH A.D.A. REGULATIONS. W=32.50', X=5' AND REPLACE C&G (TYPE C-8) AND SIDEWALK PER CITY STANDARDS 312 AND 412.

(21) REMOVE 3' MIN. A/C FOR MATCH-UP PAVING TO NEW GUTTER

(22) MATCH-UP PAVING TO NEW GUTTER

(23) REMOVE EXISTING DRIVEWAY

(24) CONSTRUCT PARKWAY DRAIN PER CITY OF COSTA MESA STANDARD DRAWING NO. 418. CASE 1 INLET. (1) 4" PIPES.

(25)

COSTA MESA SANITARY DISTRICT SEWER CONSTRUCTION NOTES:

(30) FURNISH AND INSTALL 6" V.C.P. SEWER LATERAL TYPE "C" PER DRAWING S-104-C

(32) CONTRACTOR TO CCTV INTERIOR OF EXIST 6" VCP SEWER LATERAL AND PROVIDE VIDEO TO CMSD PRIOR TO RE-USE OF LATERAL. ANY DEFICIENCES IN LATERAL SHALL BE REPAIRED.

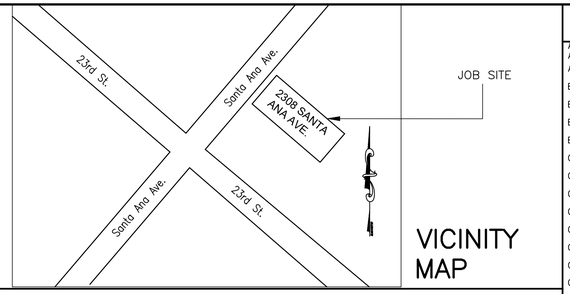
(32) CONST. C.O. PER CMSD STD S-107 AND 4" PVC SDR 35 SEWER LATERAL PER CMSD STDS. TO NEW RESIDENCE.

IRWD WATER CONSTRUCTION NOTES:

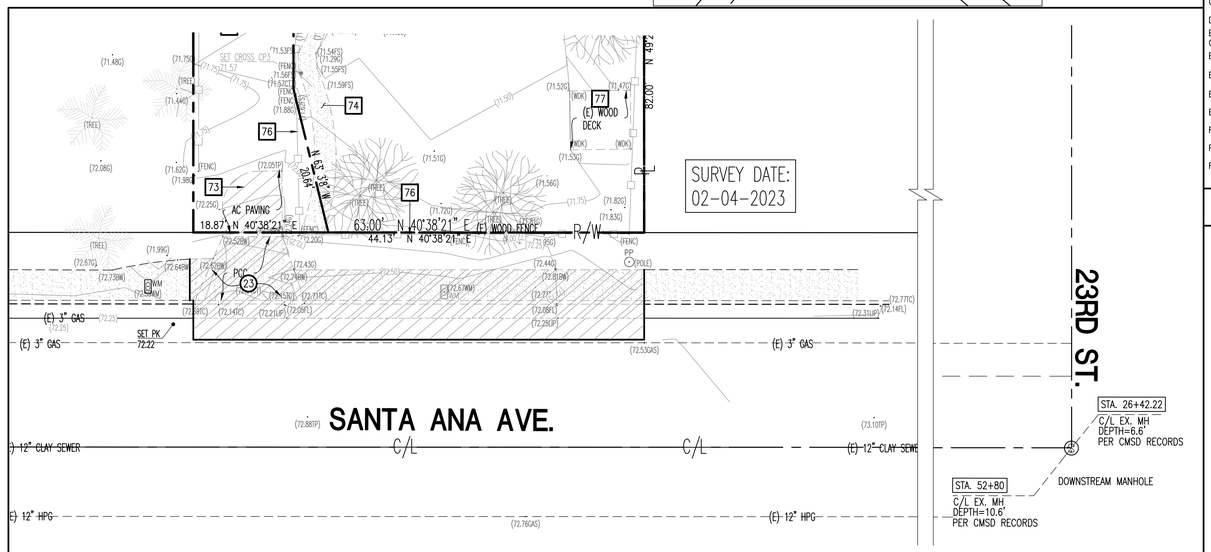
(41) EXISTING 1" SERVICE LINE. UPGRADE WATER METER TO ONE INCH

(42) INSTALL 1" WATER SERVICE AND 1" METER PER IRWD STANDARD DRAWING W-4

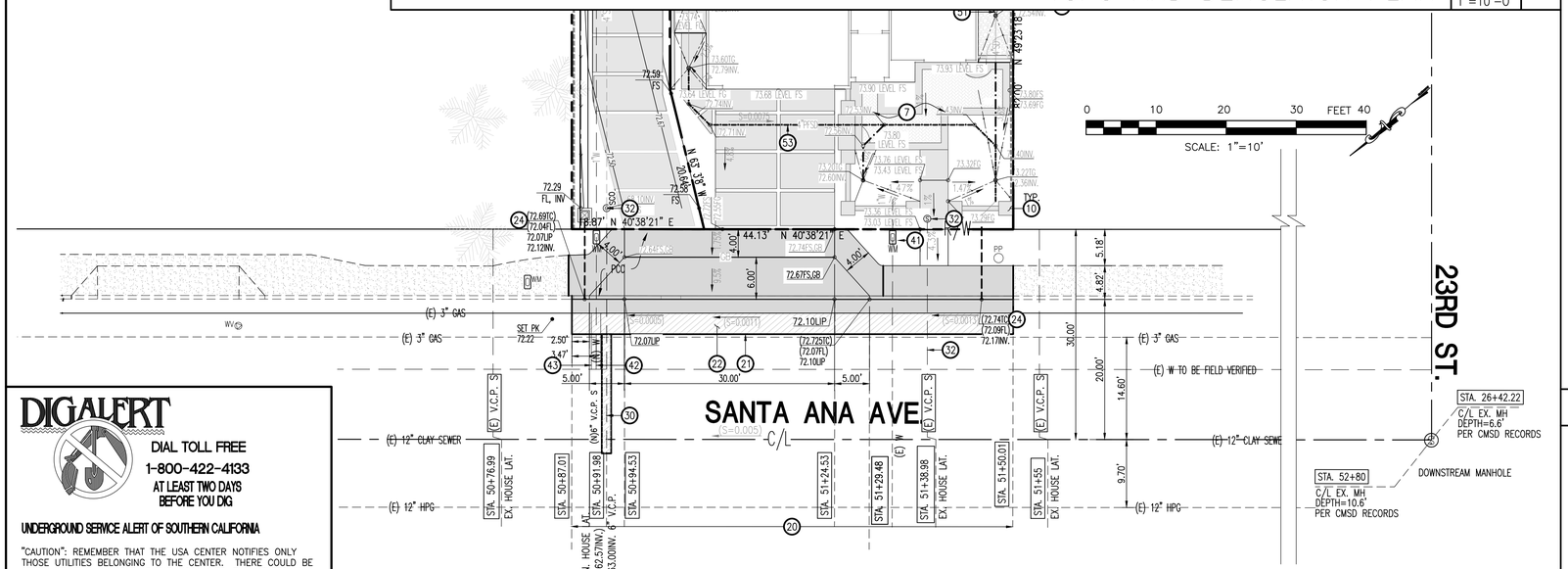
(43) WATER TRENCH LINE PER IRWD STANDARD DRAWING W-17



VICINITY MAP



TOPO AND DEMOLITION PLAN — SCALE 1"=10'-0" — 2



STREET IMPROVEMENT PLAN — SCALE 1"=10'-0" — 1

LEGEND

AMERICAN PUBLIC WORKS ASSOCIATION	APWA
ASPHALT CONCRETE	AC
BACK OF WALK	BW
BLOCK WALL	
BOTTOM	BOT.
BUILDING	BLDG.
CATCH BASIN	C.B., CBSIN
CHAIN LINK FENCE	
CONCRETE	CONC.
CONSTRUCT	CONST.
CORNER BUILDING	CB
CORNER CONCRETE	CC
CRUSHED AGGREGATE BASE	CAB
CURB FACE, CURB BACK	CF, CB
DOWN SPOUT	DS
ELECTRICAL BOX, ELECTRICAL CABINET	ELEC BOX, ELEC CAB
EXISTING	EX, EXIST.
EXISTING CONTOUR	(XX.XX)
EXISTING DRIVEWAY APPROACH	
EXISTING ELEVATION	(71.5)
FIRE HYDRANT	FH, FHY
FINISH FLOOR ELEVATION	FFE
FINISH GRADE	FG
FINISH SURFACE	FS
GAS LINE	G
GRADE BREAK	GB
HIGH POINT	HP
INVERT	INV
LANDSCAPING, PLANTER AREA	L.S., P.A.
LIGHT POLE	LIPOLE
LIP OF GUTTER, GUTTER EDGE	LIP
LOW POINT	LP
NEW CONTOUR	XX.XX
ON CENTER	O/C, O.C.
ORANGE COUNTY ENVIRONMENTAL MANAGEMENT AGENCY	OCEMA
ORANGE COUNTY FIRE AUTHORITY	OCFA
OVER HEAD LINES	OHL
PLANTING AREA	PA
PORTLAND CEMENT CONCRETE	PCC
POWER POLE	PP
PRESSURE TREATED	PT
PROPERTY LINE	
PROPOSED ELEVATION	72.0
PULL BOX	PBX
ROOF DOWN SPOUTS AND SPLASH BLOCK RD	SP
SANITARY SEWER	S
SANITARY SEWER HOUSE CONNECTION	S
SANITARY SEWER MANHOLE	SSMH
SEWER CLEANOUT	SCO
SITE LIGHT BASE	
STORM DRAIN	SD
STORM DRAIN MAN HOLE	SDMH
STREET	ST.
STREET LIGHT	STLT
STREET LIGHT PULL BOX	SLPB
TELEPHONE BOX	TBX
TOP OF BRICK	TB
TOP OF CONCRETE	FS
TOP OF CURB, FLOW LINE	TC, FL
TOP OF GRATE	TG
TOP OF PAVING	TP
TOP OF WALL, TOP OF FOOTING	TW, TF
VITRIFIED CLAY PIPE	V.C.P.
WATER LINE	W
WATER METER	WM
WATER SERVICE LINE	W
WATER VALVE	WV

GENERAL NOTES FOR OFFSITE/STREET IMPROVEMENT PLAN

1. ALL WORK AND MATERIALS WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF COSTA MESA STANDARD DRAWINGS.
2. ALL WORK SHALL BE PERFORMED AND ALL MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF COSTA MESA STANDARD DRAWINGS AND THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, (GREEN BOOK) CURRENT EDITION.
3. CONTRACTOR SHALL FURNISH AND INSTALL ALL SIGNS, LIGHTS, BARRICADES, FLASHING ARROW BOARD AND ANY OTHER TRAFFIC CONTROL OR WARNING DEVICES, INCLUDING FLAGMEN, AS MAY BE REQUIRED BY THE CITY ENGINEER. ALL ITEMS MENTIONED SHALL BE IN CONFORMANCE WITH THE CURRENT REQUIREMENTS AS SPECIFIED IN THE LATEST EDITION OF THE "CONSTRUCTION SAFETY ORDERS," AND W.A.T.C.H. FAILURE TO SO WILL BE CITED UNDER APPLICABLE SECTION OF THE C.V.C. AND CORRECTIVE COSTS TO THE CITY WILL BE CHARGED.
4. LANE CLOSURES: ARTERIALS - NO LANE CLOSURES ALLOWED DURING HOLIDAY PERIOD STARTING THE WEEK OF THANKSGIVING THROUGH THE WEEK OF NEW YEARS UNLESS BY SPECIAL PERMISSION FROM THE PUBLIC SERVICES DIRECTOR. LOCALS - NO LANE CLOSURES ALLOWED DURING WEEKS OF THANKSGIVING, CHRISTMAS, OR NEW YEARS UNLESS BY SPECIAL PERMISSION FROM THE PUBLIC SERVICES DIRECTOR.
5. CONTRACTOR SHALL OBTAIN A PUBLIC SERVICES DEPARTMENT CONSTRUCTION ACCESS AND ENCROACHMENT PERMITS PRIOR TO THE START OF ANY ON-SITE CONSTRUCTION OR WITHIN PUBLIC RIGHT-OF-WAY AND REQUEST INSPECTION 24 HOURS IN ADVANCE OF PERFORMING ANY WORK. TELEPHONE (714) 754-5025. THE CONTRACTOR SHALL MAINTAIN A COPY OF PERMITS AND SIGNED PLANS ON THE JOB SITE.
6. PERMITS WILL BE REQUIRED FROM MESA CONSOLIDATED WATER DISTRICT, IRVINE RANCH WATER DISTRICT, ORANGE COUNTY WATER DISTRICT, ORANGE COUNTY SANITATION DISTRICT, OR COSTA MESA SANITARY DISTRICT FOR CONSTRUCTION OR MODIFICATION OF WATER AND SEWER IMPROVEMENTS TO THEIR FACILITIES. THE CONTRACTOR SHALL NOTIFY EACH 48 HOURS PRIOR TO BEGINNING CONSTRUCTION. CONSTRUCTION WITHIN CAL-TRANS RIGHT-OF-WAY, WILL REQUIRE PERMITS AND PLAN APPROVAL FROM CAL-TRANS AS WELL AS THE CITY OF COSTA MESA. LOCATE AND PROTECT ALL EXISTING UTILITIES IN PLACE.
7. PLANS APPROVED BY SOUTHERN CALIFORNIA EDISON, PACIFIC BELL, OR SOUTHERN CALIFORNIA GAS COMPANY IS REQUIRED PRIOR TO ISSUANCE OF ENCROACHMENT PERMITS RELATED TO THEIR FACILITIES.
8. THE CONTRACTOR SHALL PAY FOR ALL SOIL AND MATERIALS TESTS DEEMED NECESSARY AS DETERMINED BY THE CITY ENGINEER.
9. PAVEMENT AND BASE THICKNESS AS SHOWN ARE BASED ON A PRELIMINARY "R" VALUE. DURING CONSTRUCTION A SOILS TEST MAY BE REQUESTED BY THE CITY TO DETERMINE THE ACTUAL "R" VALUE AND THE THICKNESS WILL BE ADJUSTED ACCORDINGLY. TESTS SHALL BE MADE BY A LICENSED SOILS ENGINEER AND APPROVED BY THE CITY ENGINEER.
10. ALL EXISTING DRAINAGE COURSES ON THE PROJECT MUST CONTINUE TO FUNCTION, ESPECIALLY DURING STORM CONDITIONS, AND APPROVED PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS MUST BE USED TO PROTECT ADJOINING PROPERTIES DURING THE GRADING PROJECT. IN ALL CASES, THE CONTRACTOR AND/OR DEVELOPER SHALL BE HELD LIABLE FOR ANY DAMAGES DUE TO OBSTRUCTION OF NATURAL DRAINAGE PATTERNS. IF THE FOREGOING CANNOT BE COMPLIED WITH, A FULLY EXECUTED, NOTARIZED, AND RECORDED AGREEMENT BETWEEN THE AFFECTED PARTIES WILL BE REQUIRED. ALL HAUL ROUTES MUST BE APPROVED BY THE MANAGER OF TRANSPORTATION SERVICES.
11. THE PROJECT SITE SHALL BE MAINTAINED IN A "WET-DOWN" CONDITION TO PREVENT EXCESSIVE DUST. SPILLAGE AND DUST SHALL BE REMOVED FROM THE PUBLIC RIGHT-OF-WAY BY SWEEPING OR SPRINKLING; HOWEVER, WATERING, THAT RESULTS IN MUD ON PUBLIC STREETS IS NOT PERMITTED AS A SUBSTITUTE FOR OTHER CLEANING METHODS.
12. ALL UTILITY TRENCH BACKFILL, MATERIAL, AND COMPACTION SHALL CONFORM TO CITY OF COSTA MESA STANDARD DRAWING NO. 813. BORE UNDER EXISTING IMPROVEMENTS-TUNNELING IS NOT ALLOWED. NO OPEN EXCAVATIONS WILL BE ALLOWED OVERNIGHT-BACKFILL OR PLATE.
13. ALL PCC AND AC TO BE JOINED SHALL BE SAWCUT IN A CLEAN, STRAIGHT LINE AS APPROVED BY THE CITY ENGINEER.
14. ALL OBSTRUCTIONS, WITHIN THE PUBLIC SIDEWALK SUCH AS POWER HOLES, STREET LIGHTS, FIRE HYDRANTS UTILITY PEDESTALS, MAILBOXES, AND STREET SIGNS SHALL HAVE MINIMUM OF 4' OF CLEAR SIDEWALK PLACED BEHIND THEM.
15. IF REQUESTED, "AS BUILT" DRAWINGS SHALL BE SUBMITTED TO THE CITY ENGINEERING DIVISION UPON COMPLETION OF IMPROVEMENTS AS SHOWN ON THE APPROVED PLANS.
16. NO REMOVAL OF TREES FROM THE PUBLIC RIGHT-OF-WAY WILL BE PERMITTED WITHOUT SPECIFIC APPROVAL FROM THE PARKS AND RECREATION COMMISSION AND COMPLIANCE WITH MITIGATION MEASURES AS DETERMINED BY THE COMMISSION TO RELOCATE THE TREES AND/OR TO COMPENSATE THE CITY FOR THE LOSS OF TREES FROM THE PUBLIC RIGHT-OF-WAY. CONDITIONS OF THE PARKS AND RECREATION COMMISSION MUST BE INCORPORATED ONTO THESE PLANS PRIOR TO PLAN APPROVAL.
17. PLANTING OF PARKWAY TREES AND INSTALLATION OF IRRIGATION LINES INSTALLED, INCLUDING RISERS, HEADS, VALVES, AND METERS AS DIRECTED AND IN ACCORDANCE WITH THE REQUIREMENTS OF THE PUBLIC SERVICES DEPARTMENT.
18. ALL CONSTRUCTION STAKING SHALL BE DONE BY A LICENSED LAND SURVEYOR OR ENGINEER, CERTIFIED IN WRITING AS TO LINE AND GRADE PER APPROVED PLANS, AND SUBMITTED TO THE CITY ENGINEER.
19. NO WORK SHALL BE DONE ON ADJACENT PROPERTIES OR ADJACENT OWNERS IMPROVEMENTS WITHOUT OBTAINING WRITTEN PERMISSION FROM THE OWNERS OF THE ADJACENT PROPERTIES, AND SUBMITTING A COPY THEREOF TO CITY ENGINEERING DIVISION.
20. WORK, ONCE BEGAN, SHALL BE PROCEED TO COMPLETION IMMEDIATELY TO PROVIDE MINIMUM INCONVENIENCE TO ADJACENT PROPERTY OWNERS AND THE TRAVELING PUBLIC.
21. ALL STREET STATIONING REFERS TO THE CENTER LINE OF THE STREET AND CURB DATA REFERS TO THE FACE OF CURB.
22. FOR ALL ASPHALT CONCRETE MATERIAL TO BE PLACED WITHIN THE PUBLIC RIGHT-OF WAY, PRIOR TO THE START OF THE PAVING OPERATION, PERMITTEE SHALL SUBMIT A MIX DESIGN TO THE CITY FOR APPROVAL. THE PAVING OPERATION SHALL NOT START UNTIL THE MIX DESIGN HAD BEEN APPROVED BY THE CITY ENGINEER.
23. ALL UNDERGROUND WORK SHALL BE COMPLETE PRIOR TO ANY SURFACE WORK IN THE PUBLIC RIGHT-OF-WAY.
24. WHERE DRIVEWAY DEPRESSIONS ARE CONSTRUCTED, THE DRIVEWAY APPROACHES SHALL BE CONSTRUCTED TO PROPERTY LINE PER CITY OF COSTA MESA STANDARD PLANS. LOCATION, TYPE AND WIDTH ARE TO BE APPROVED BY THE CITY TRANSPORTATION SERVICE MANAGER.
25. CRUSH MISCELLANEOUS BASE MAY BE USED UNDER WALKS, CURBS, AND GUTTERS IN LIEU OF CRUSHED AGGREGATE BASE.
26. ANY LOT CORNER OR COUNTY OF ORANGE BENCH MARK, MONUMENT, OR TIE DESTROYED OR DISPLACED SHALL BE RESTORED TO ITS ORIGINAL POSITION BY A LICENSED ENGINEER OR SURVEYOR. ANY CHANGE IN LOCATION OR ELEVATION SHALL BE REPORTED TO THE CITY ENGINEER AND COUNTY OF ORANGE. COMPLY WITH ALL CITY AND COUNTY REQUIREMENTS FOR REPLACEMENT.
27. GEOLOGIC AND/OR SOILS REPORTS PREPARED BY APPLIED GEOTECHNICAL, INC. AND DATED FEBRUARY 9, 2011, HAVE BEEN REVIEWED AND APPROVED BY THE BUILDING OFFICIAL INCLUDING ALL SUPPLEMENTS, ADDENDA, AND AMENDMENTS THERETO ARE INCLUDED BY REFERENCE. COPIES OF THESE REPORTS ARE ON FILE AT THE BUILDING DIVISION. ALL RECOMMENDATIONS CONTAINED THEREIN MUST BE FOLLOWED.

CMSD STANDARD SEWER NOTES

1. THE SEWER SYSTEM SHALL CONFORM TO THE STANDARDS OF THE COSTA MESA SANITARY DISTRICT.
2. CONTRACTOR SHALL REQUEST INSPECTION FROM THE OFFICE OF THE DISTRICT ENGINEER 48 HOURS PRIOR TO COMMENCEMENT OF WORK. TELEPHONE: (949) 631-1731.
3. ANY WORK PERFORMED WITHOUT INSPECTION FROM THE DISTRICT SHALL BE CONSIDERED UNACCEPTABLE.
4. CONTRACTOR SHALL OBTAIN CMSD SEWER PERMIT PRIOR TO COMMENCEMENT OF WORK FROM THE COSTA MESA SANITARY DISTRICT. TELEPHONE: (949) 645-8400 EXT. 229.
5. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS THAT MAY BE REQUIRED BY THE LOCAL GOVERNING AGENCY.
6. CLAY PIPE JOINTS SHALL BE TYPE "G" MECHANICAL COMPRESSION JOINTS FOR MAIN LINE SEWER. TYPE "D" JOINTS, BAND-SEAL OF APPROVED EQUAL, ARE APPROVED FOR LATERALS AND REPAIR WORK ONLY.
7. ALL TRENCH EXCAVATION AND PIPE BEDDING SHALL BE DONE PER STD. DWG. NO. S-112.

NOTE: ALL ON-SITE PLUMBING SHALL COMPLY WITH 2022 CPC.

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UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

"CAUTION": REMEMBER THAT THE USA CENTER NOTIFIES ONLY THOSE UTILITIES BELONGING TO THE CENTER. THERE COULD BE OTHER UTILITIES PRESENT AT THE WORK SITE. THE CENTER WILL INFORM YOU OF WHOM THEY WILL NOTIFY.

REVISION	BY	DATE	APP'D. BY	APP'D. DATE
△				
△				
△				

PREPARED BY:
COAST ENGINEERING DESIGNS, INC.
1500 ADAMS AVE., SUITE 303
COSTA MESA, CA 92626
PH. (714) 593-0337
CIVIL AND STRUCTURAL ENGINEERS

J.N. 08-2023

Coast Engineering Designs Inc. CEDI Civil and Structural Engineers

REGISTERED PROFESSIONAL ENGINEER FARHAD REZAI No. 39868 12-31-2026 CIVIL ENGINEER STATE OF CALIFORNIA

4/30/2025

OWNER INFORMATION:
ALI SEDGHI
1024 BAYSIDE DR. STE. 340
NEWPORT BEACH, CA 92660
949-636-2666

PREPARED UNDER SUPERVISION OF
FARHAD REZAI R.C.E. 39868 — DATE 4/30/2025

DRAWN:
CHECKED BY
RECOMMENDED:
APPROVED

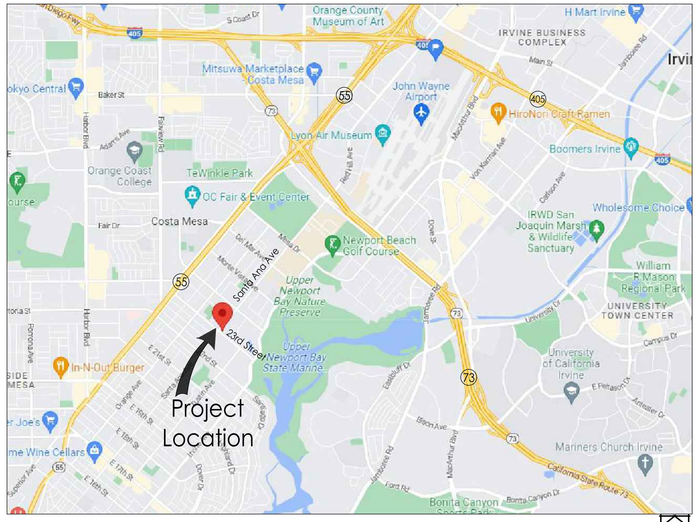
2308 SANTA ANA AVE
COSTA MESA, CA 92627

STREET IMPROVEMENT AND OFFSITE UTILITY PLAN

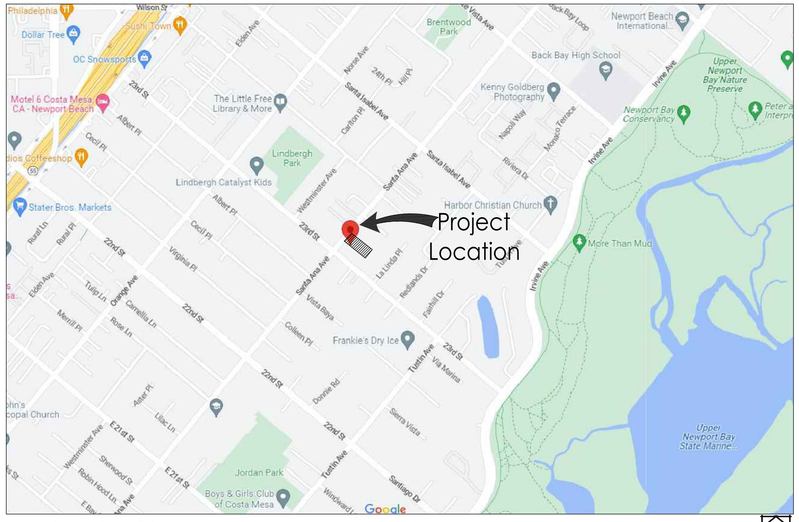
SHEET 1 OF 1

Landscape Plans

Eastside Coastal, LLC
2308 Santa Ana Avenue
Costa Mesa, CA 92627



VICINITY MAP NOT TO SCALE



PROJECT SITE NOT TO SCALE

Project Information:
Type: New Landscape Installation
Irrigation Water Source: Potable

Total Landscape Area - 2,428 S.F.

Applicant:
Landscape Dynamics, Greg Zoll
(951) 264-8195
gregzoll@landscapedynamics.net

Owner:
Eastside Coastal, LLC

Sheet List Table

Sheet No.	Sheet Title
L1	Coversheet
L2	Fence and Wall Conceptual Plan
L3	Irrigation Plan
L4	Hydrozone Plan
L5	Irrigation Details
L6	Irrigation Details
L7	Planting Plan
L8	Planting Details

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LandscapeDynamics.net
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A division of Landscape Dynamics
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Water Management - Certified Arboriculture
(951) 264-4839

DESIGN PROJECT MANAGER
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Landscape Architectural Plans
Eastside Coastal, LLC
2308 Santa Ana Avenue. Costa Mesa Ca 92627

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LICENSED LANDSCAPE ARCHITECT
Gregory Paul Zoll
5204
April 30, 2026
Renewal Date
April 28,2025
Date
STATE OF CALIFORNIA

COVER SHEET

April 28, 2025
DESCRIPTION
JOB NO. 582
L1
SHEET
1 of 8

PLOT DATE: 4/28/2025 12:35 PM

CITY DIRECTED SITE WALL CONSTRUCTION REQUIREMENTS

1. All exterior property lines of the master development lot shall have solid masonry walls that conform to the city's walls, fences and landscaping standards in respect to height and location as well as the following standards. The final review authority shall approve the wall location, height, masonry materials, and finish.

(i) Only one type of wall design with the appropriate mix of masonry materials and finishes shall be permitted for the development lot.

(ii) Wall materials such as uncolored cinder block shall be treated with a decorative finish that complements and enhances the project and surrounding neighborhood.

(iii) Exceptions to the requirements stated in subsections (2)(i) through (2)(ii) may be approved by the final review authority. These exceptions may include, but are not limited to, combination masonry walls with vinyl fencing, stained/treated wood, wrought iron fencing, green wall, and green sustainable composite materials.

(iv) The development services director shall review and approve any future additions to the exterior walls, after project completion, which shall be constructed of materials which are either identical and/or compatible with the original wall.

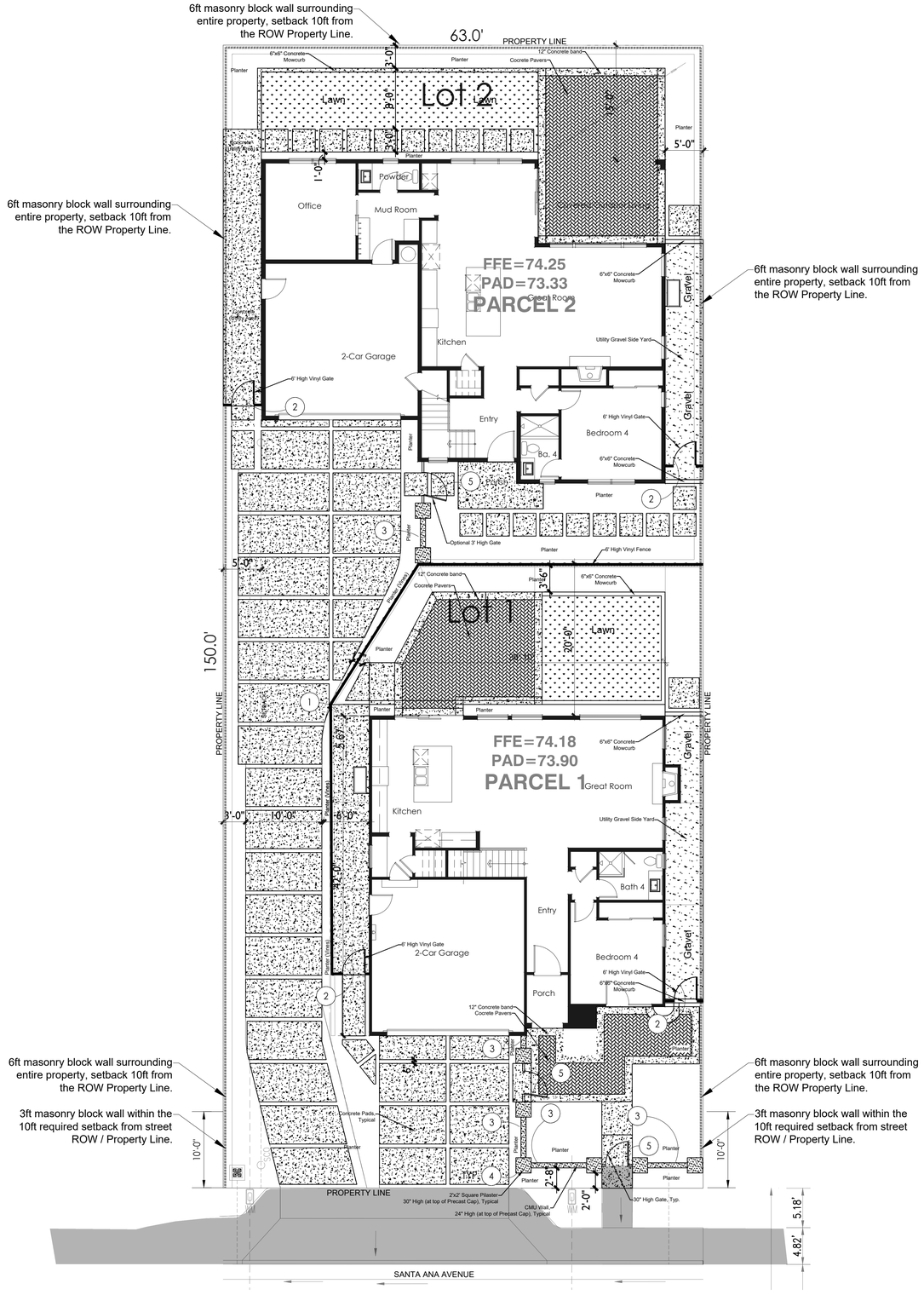
HARDSCAPE LEGEND

Symbol	Description
1	6' High Vinyl Fence, Color: White
2	6' High x 3' Wide Vinyl Gate
3	2' High CMU Wall with Precast Concrete Cap & Stucco Finish
4	30" High(Max.) x 2' Square CMU Pilaster with Precast Concrete Cap. Finish shall be ledger stone or stucco per owners direction.
5	28" High x 36" Wide Wrought Iron Gate. Color and design to match existing residence amenities.

Exterior Wall on Exterior Property Line Notes
1. Masonry block walls finish to be in either stucco or a decorative split face block on the interior side of property. Where block wall is visible from street, both the exterior and interior side will be finished in either stucco or use of a decorative split face block.

Vinyl Fence with Gate

Pilaster with Low Wall
Pilasters and Gate
(No Lights or Planters on Top)



FENCE AND WALL CONCEPTUAL PLAN

0' 8'
SCALE: 1"=8'

north

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FENCE AND WALL CONCEPTUAL PLAN

April 28, 2025

DESCRIPTION: L2
JOB NO.: 582
SHEET: 2 of 8

PLOT DATE: 4/28/2025 12:35 PM

IRRIGATION EQUIPMENT LEGEND

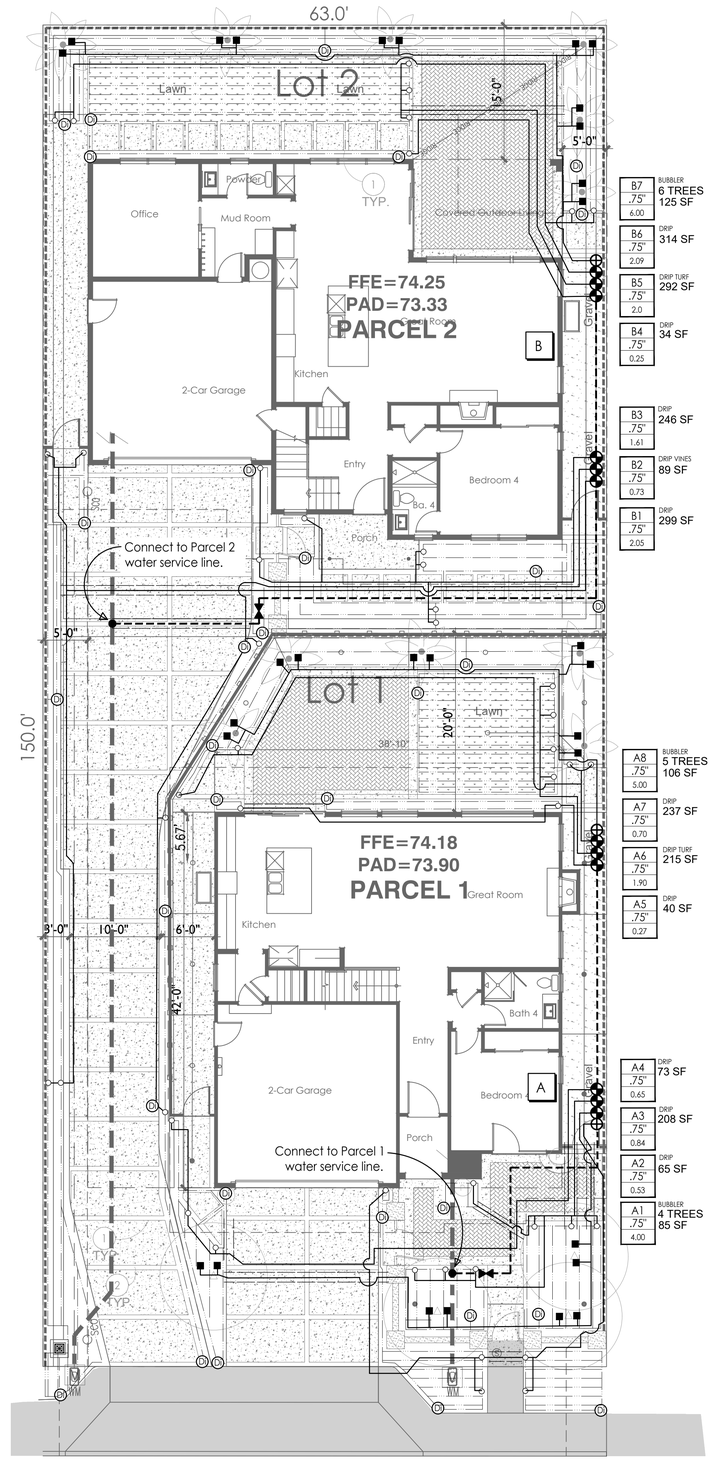
SYM.	MANF.	DESCRIPTION
A B	Rainbird	12 station Rainbird Controller with Rain Sensor and Wifi Remote Control Module Model: TM2-12 , LNKWIFI, WR2-48
M		Assumed Water Meter Location
	Nibco	Line Size Brass ball valve T580-A Installed in 10" Round Box
	RainBird	3/4" Anti-Siphon Drip Irrigation control valve with Pressure Regulating Filter (For Drip Areas) Model: 075-ASVF with PRF-075-RBY
	RainBird	3/4" Anti-Siphon Drip Irrigation control valve (For Tree Bubblers) Model: 075-ASVF

VALVE LEGEND

Valve Label — Zone Description
79 SF
DRIP
A2 | .75" | 2.00
Valve Size
GPM

SYM.	MANF.	DESCRIPTION
	Netafim (Turf)	Techline CV Dripperline .60 gph emitters spaced at 12" O.C. & lines spaced at 12". Model: TLCV6-12 Bury dripline evenly 4" below grade throughout entire zone.
	Netafim (Shrubs)	Techline CV Dripperline .90 gph emitters spaced at 18" O.C. & lines spaced at 18". Model: TLCV6-18 Install on-grade in planters and place mulch over dripline.
	Netafim	PVC Thread to Drip Tubing Connection (3/4" or 1/2") TL050MA
D	RainBird	Drip System Operation Indicator Model: OPERIND (with yellow cap)
■	RainBird	Root Water System - 0.5 GPM PER RWS Model: RWS-B-C-1402 with RWS-SOCK & RWSGRATE

	Exsting Water Supply Feed to Residence
	Irrigation Mainline to be SCH 40, Size 1"
	Laterals SCH 40 pvc pipe, Size 3/4" (all Laterals)
	SCH 40 PVC Sleeve. All pipes that cross under pavement and structures are installed in a SCH 40 sleeve 2 times the pipe diameter.



IRRIGATION PLAN

north

0' 8'

SCALE: 1"=8'

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IRRIGATION PLAN

April 28, 2025

DESCRIPTION L3
JOB NO. 582
SHEET 3 of 8

PLOT DATE: 4/28/2025 12:35 PM

Water Efficient Landscape Worksheet

Reference Evapotranspiration (ETo): 45.6

Hydrozone # /Planting Description[a]	Plant Factor (PF)	Irrigation Method[b]	Irrigation Efficiency (IE)[c]	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)[d]
Regular Landscape Areas							
A1-TREES	0.4	DRIP	0.81	0.49	85	42	1,187
A2-FRONTAGE	0.2	DRIP	0.81	0.25	148	37	1,033
A3-COURTYARD	0.4	DRIP	0.81	0.49	208	103	2,904
A4-HEDGE	0.4	DRIP	0.81	0.49	73	36	1,019
A5-FOUNDATION	0.2	DRIP	0.81	0.25	40	10	279
A6-TURF	0.7	DRIP	0.81	0.86	215	186	5,253
A7-PLANTER	0.4	DRIP	0.81	0.49	237	117	3,309
A8-PALM	0.4	DRIP	0.81	0.49	106	52	1,480
B1-FRONTAGE	0.2	DRIP	0.81	0.25	305	75	2,129
B2-FENCELINE	0.2	DRIP	0.81	0.25	89	22	621
B3-FRONT DOOR	0.4	DRIP	0.81	0.49	246	121	3,435
B4-FOUNDATION	0.2	DRIP	0.81	0.25	34	8	237
B5-TURF	0.7	DRIP	0.81	0.86	292	252	7,134
B6-PLANTER	0.4	DRIP	0.81	0.49	314	155	4,384
B7-PALMS	0.4	DRIP	0.81	0.49	125	62	1,745
				Totals	(A) 2,517	(B) 1,279	
						ETWU Total	36,150
						Maximum Allowed Water Allowance (MAWA)[e]	37,894

[a]Hydrozone #/Planting Description
E.g.
1.) front lawn
2.) low water use plantings
3.) medium water use planting

[b]Irrigation Method
Overhead spray, drip or bubbler

[c]Irrigation Efficiency
0.75 for spray head
0.81 for drip, bubbler

[d]ETWU (Annual Gallons Required) = Eto x 0.62 x ETAF x Area
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year. Complete ETWU for each hydrozone.

[e]MAWA (Annual Gallons Allowed) =
(Eto) (0.62) [(ETAF x TLA) + ((1-ETAF) x SLA)]
where 0.62 is a conversion factor, TLA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

ETAF Calculations

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

Regular Landscape Areas

Total ETAF x Area	(B)	1,279
Total Area	(A)	2,517
Average ETAF	**B ÷ A**	0.51

All Landscape Areas

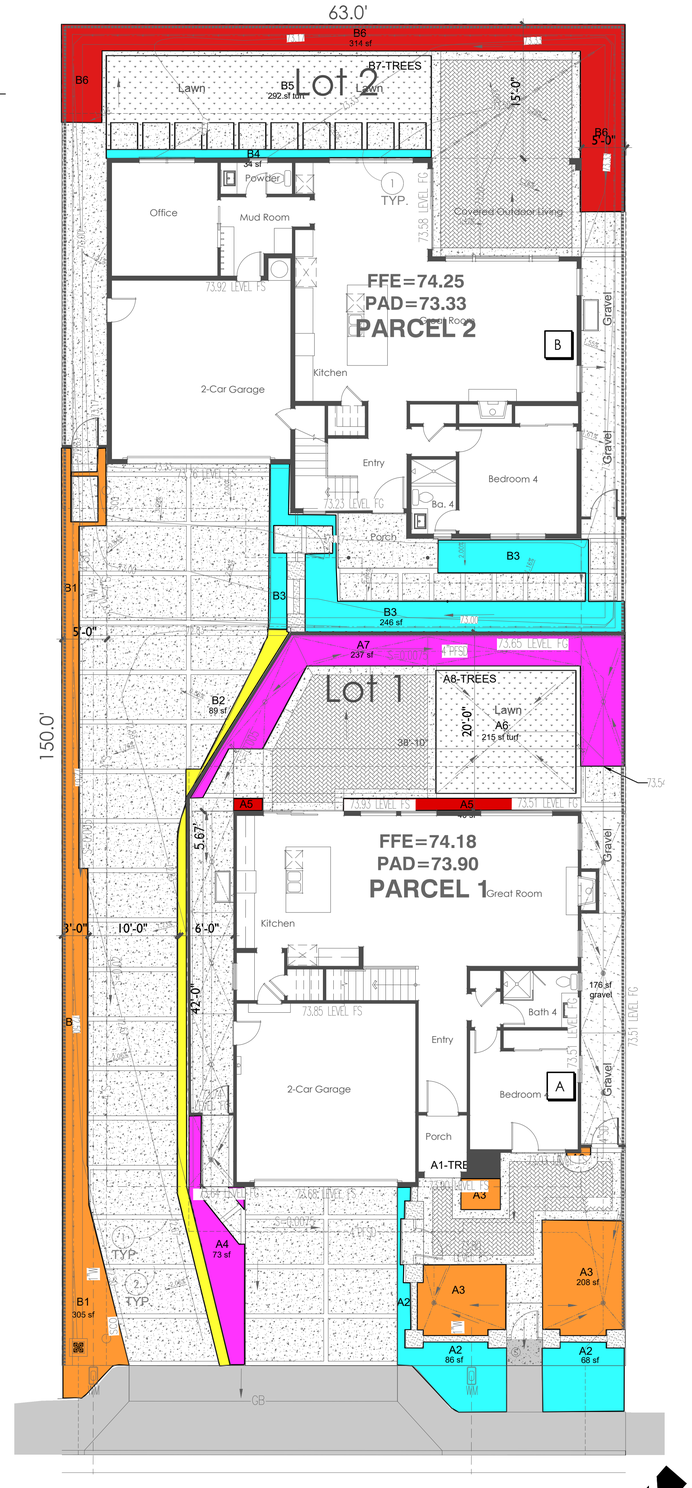
Total ETAF x Area	(B+D)	1,279
Total Area	(A+C)	2,517
Site wide ETAF	**(B+D) ÷ (A+C)**	0.51

Hydrozone Descriptions

Total Landscape Area - 2,437 sf

Lot 1
Controller A
Front Yard
A1 - 4 Trees - Moderate, 85 sf
A2 - Frontange and Dianella - Low, 148 sf
A3- Roses in Courtyard - Moderate, 208 sf
A4 - Frontage - Low, 73 sf
Backyard -
A5 - Foundation Sansevieria - Low, 40 sf
A6 - Turf - High, 215 sf
A7- Planter - Moderate, 237 sf
A8 - (5) Palm Trees - Moderate, 106 sf

Lot 2
Controller B
Front Yard
B1 - Hedge at Property & Frontage - Low, 305 sf
B2 - Vines on Fence - Low, 89 sf
B3- Roses at Front Door - Moderate, 246 sf
Backyard
B4- Foundation Sansevieria - Low, 34 sf
B5- Turf - High, 292 sf
B6 - Planter - Moderate, 314 sf
B7- (6) Palm Trees - Moderate, 125 sf



HYDROZONE PLAN

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gregzoll@landscapedynamics.net
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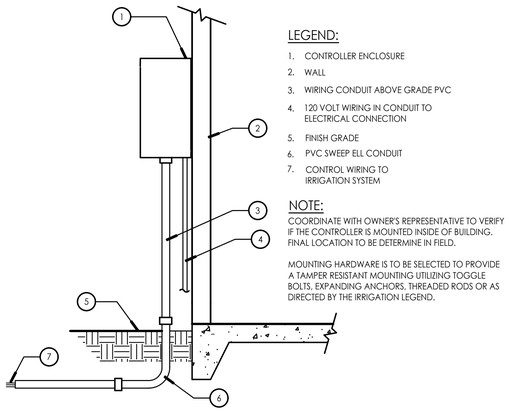
LICENSED LANDSCAPE ARCHITECT
GREGORY PAUL ZOLL
5204
April 30, 2026
Renewal Date
April 28,2025
Date
STATE OF CALIFORNIA

HYDROZONE PLAN

April 28, 2025

DESCRIPTION: L4
JOB NO.: 582
SHEET: 4 of 8

PLOT DATE: 4/28/2025 12:35 PM



LEGEND:

1. CONTROLLER ENCLOSURE
2. WALL
3. WIRING CONDUIT ABOVE GRADE PVC
4. 120 VOLT WIRING IN CONDUIT TO ELECTRICAL CONNECTION
5. FINISH GRADE
6. PVC SWEEP ELL CONDUIT
7. CONTROL WIRING TO IRRIGATION SYSTEM

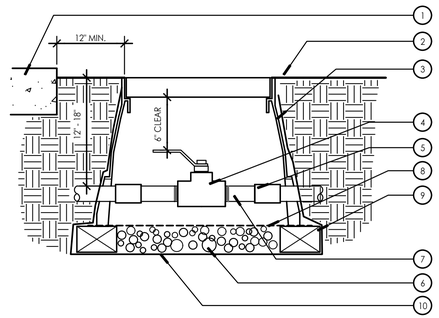
NOTE:

COORDINATE WITH OWNER'S REPRESENTATIVE TO VERIFY IF THE CONTROLLER IS MOUNTED INSIDE OF BUILDING. FINAL LOCATION TO BE DETERMINE IN FIELD.

MOUNTING HARDWARE IS TO BE SELECTED TO PROVIDE A TAMPER RESISTANT MOUNTING UTILIZING TOGGLE BOLTS, EXPANDING ANCHORS, THREADED RODS OR AS DIRECTED BY THE IRRIGATION LEGEND.

IRRIGATION CONTROLLER

1



LEGEND:

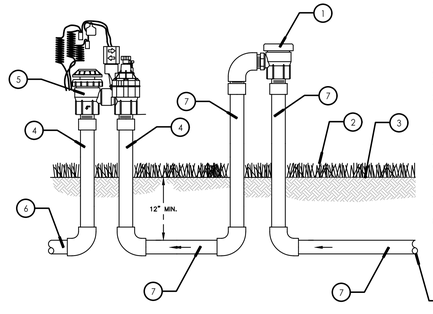
1. CURB, SIDEWALK, ETC.
2. FINISH GRADE
3. ROUND PLASTIC VALVE BOX W/ LOCKING TOP, HEAT BRAND "BV" ON LID IN 2" LETTERS.
4. BALL VALVE (REFER TO LEGEND), LINE SIZE BALL VALVE.
5. SxS SCH.40 FITTING (TYP.)
6. 3" DEPTH 3/4" CRUSHED ROCK SUMP
7. SCH. 80 PVC NIPPLE 6" MIN. (TOE)
8. 20 GAUGE, 3/4" WIRE SPACING, DOUBLE GALVANIZED WIRE MESH
9. BRICK CONT. (TYP.)(1 OF 4)
10. HEAVY DUTY LANDSCAPE FABRIC

NOTE:

ALL VALVES TO BE INSTALLED IN PLANTER AREAS WHERE POSSIBLE

BALL VALVE

2

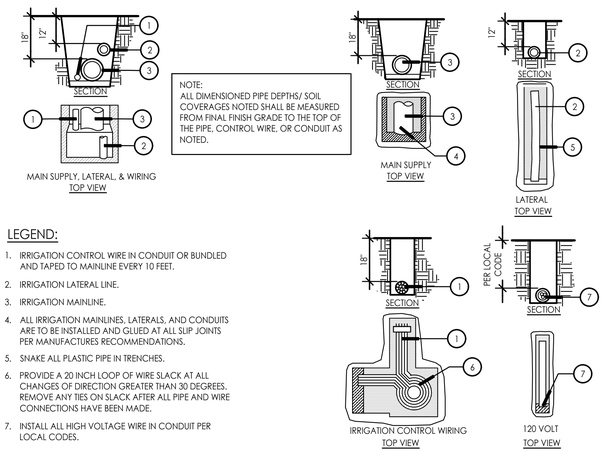


LEGEND:

1. CHAMPION ANTI-SIPHON VALVE. INSTALL 6-INCH MIN. ABOVE HIGHEST POINT OF DISCHARGE
2. TOP OF MULCH
3. FINISH GRADE
4. 1" SCH 80 PVC NIPPLE
5. REMOTE CONTROL VALVES
6. SCH 40 PVC INTERMITTENT PRESSURE LATERALS
7. SCH 80 PVC NIPPLE
8. MAINLINE TO SHUTOFF BALL VALVE AT POINT OF CONNECTION

RESIDENTAIL BACKFLOW DEVICE

3



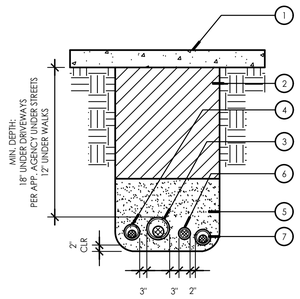
NOTE:
ALL DIMENSIONED PIPE DEPTHS/ SOIL COVERAGES NOTED SHALL BE MEASURED FROM FINAL FINISH GRADE TO THE TOP OF THE PIPE, CONTROL WIRE, OR CONDUIT AS NOTED.

LEGEND:

1. IRRIGATION CONTROL WIRE IN CONDUIT OR BUNDLED AND TAPED TO MAINLINE EVERY 10 FEET.
2. IRRIGATION LATERAL LINE.
3. IRRIGATION MAINLINE.
4. ALL IRRIGATION MAINLINES, LATERALS, AND CONDUITS ARE TO BE INSTALLED AND GLUED AT ALL SLIP JOINTS PER MANUFACTURES RECOMMENDATIONS.
5. SNAKE ALL PLASTIC PIPE IN TRENCHES.
6. PROVIDE A 20 INCH LOOP OF WIRE SLACK AT ALL CHANGES OF DIRECTION GREATER THAN 30 DEGREES. REMOVE ANY TIES ON SLACK AFTER ALL PIPE AND WIRE CONNECTIONS HAVE BEEN MADE.
7. INSTALL ALL HIGH VOLTAGE WIRE IN CONDUIT PER LOCAL CODES.

TRENCHING

4



LEGEND:

1. HARDSCAPE SURFACE
2. SLURRY OR CLEAN BACKFILL TO DEPTHS AS REQUIRED. REFER TO SPECIFICATIONS OR APPLICABLE AGENCY REGULATIONS FOR SPECIFIC BACKFILL MATERIAL AND COMPACTION REQUIREMENTS. SOIL BACKFILL IN SLEEVE TRENCHES IS TO BE APPLIED IN 6 INCH LIFTS.
3. IRRIGATION LATERAL LINE IN SLEEVE.
4. IRRIGATION LATERAL LINE IN SLEEVE.
5. SLURRY, SAND, OR APPROVED CLEAN BACKFILL.
6. IRRIGATION CONTROL AND LOW VOLTAGE WIRE SLEEVE OR CONDUIT.
7. HIGH WIRE IN CONDUIT.

NOTES:

A. ALL SLEEVES ARE TO BE SCH 40 PVC WITH ALL CONNECTIONS GLUED TO PIPE AND FITTING MANUFACTURES SPECIFICATIONS FOR PRESSURIZED CONNECTIONS. CHANGES IN DIRECTION OR BENDS IN SLEEVES ARE NOT PERMITTED UNLESS APPROVED BY THE LANDSCAPE ARCHITECT.

B. SLEEVES ARE TO BE SIZED TO BE TWICE THE DIAMETER OF THE PIPE CONTAINED IN THE SLEEVE. MULTIPLE PIPES MAY BE CONTAINED WITHIN ONE SLEEVE WITH APPROVAL OF THE LANDSCAPE ARCHITECT. WHEN MULTIPLE PIPES ARE CONTAINED WITHIN IN ONE SLEEVE THE SLEEVE SHALL BE SIZED TO ALLOW THE FREE MOVEMENT OR REMOVAL OF ANY SINGLE PIPE WITHIN THE SLEEVE.

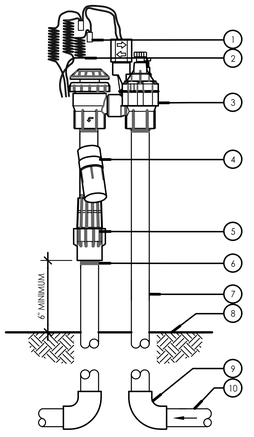
C. ALL SLEEVES ARE TO EXTEND A MINIMUM OF 12 INCHES BEYOND ALL EDGES OF PAVING UNLESS OTHERWISE APPROVED.

D. ALL HIGH VOLTAGE WIRE IS TO BE IN AN INDEPENDENT CONDUIT INSTALLED AT DEPTH APPROVED BY LOCAL APPLICABLE CODES.

SCALE: 1"=1'-0"

SLEEVING

5



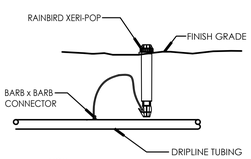
LEGEND

1. WATERPROOF CONNECTION: RAIN BIRD SPLICE-1 (1 OF 2)
2. 30-INCH LINEAR LENGTH OF WIRE, COILED
3. ANTI-SIPHON VALVE
4. IN-LINE FILTER (IF SPECIFIED ON LEGEND)
5. IN-LINE PRESSURE REGULATOR (IF SPECIFIED ON LEGEND)
6. INSTALL 6-INCH MIN. ABOVE HIGHEST POINT OF DISCHARGE
7. UV RADIATION RESISTANT PVC SCH 40 PIPE (1 OF 2)
8. FINISH GRADE/TOP OF MULCH
9. PVC SCH 40 ELL (1 OF 2)
10. PVC LATERAL PIPE (1 OF 2)

SCALE: 3"=1'-0"

ANTI SIPHON VALVE DRIP CONTROL ZONE

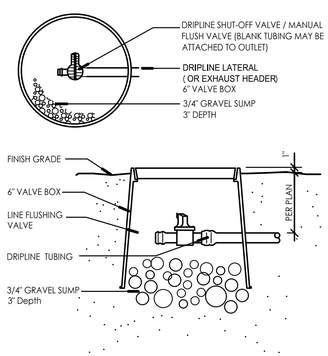
6



NOTE:
LOCATE INDICATOR POPUP AT THE FARTHEST AND/OR HIGHEST POINT ON THE ZONE.

POP-UP SPRAY HEAD / DRIP ZONE INDICATOR SPRAY

7



MANUAL FLUSH VALVE

8

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Gregory Paul Zoll
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April 30, 2026
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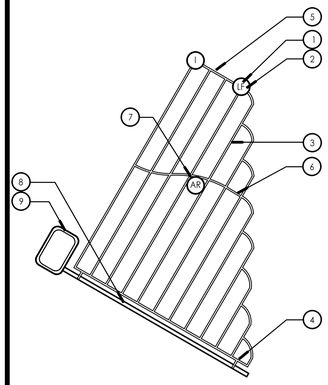
IRRIGATION DETAILS

April 28, 2025

DESCRIPTION: L5
JOB NO.: 592
SHEET: 5 of 8



1. LINE FLUSHING VALVE CONNECTED TO DRIPLINE TUBING
2. AREA PERIMETER
3. DRIP TUBING
4. DRIP TUBING START CONNECTION MALE ADAPTER
5. EXHAUST HEADER
6. BLANK TUBING CENTERED ON MOUND OR BERM.
7. AIR/VACUUM RELIEF VALVE (IF REQUIRED) (PLUMBED TO DRIP TUBING AT EACH HIGH POINT)
8. PVC SUPPLY HEADER
9. REMOTE CONTROL VALVE ASSEMBLY PER IRRIGATION PLAN LEGEND

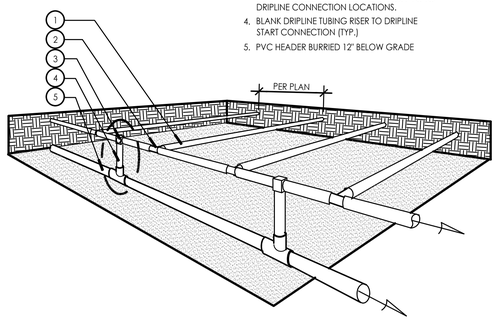
TYPICAL DRIPPER LINE ZONE LAYOUT

1

NOTE:

SECURE DRIP TUBING WITH 6" STAPLES (3) FT ON CENTER.

SEE PLANS & LEGEND FOR DRIP TUBING LATERAL SPACING.

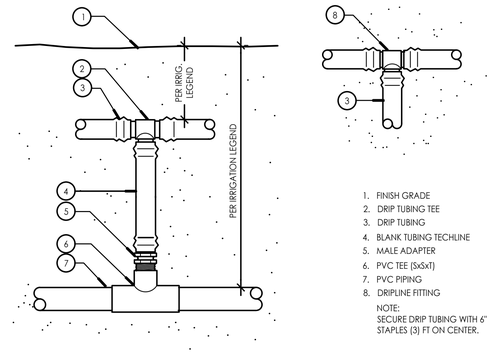


LEGEND:

1. DRIPLINE TUBING
2. DRIPLINE TEE (TYP.)
3. DRIPLINE START CONNECTION (TYP.) PLACEMENT OF PVC TO DRIPLINE CONNECTIONS MAY VARY. SEE IRRIGATION PLAN FOR PVC TO DRIPLINE CONNECTION LOCATIONS.
4. BLANK DRIPLINE TUBING RISER TO DRIPLINE START CONNECTION (TYP.)
5. PVC HEADER BURRIED 12" BELOW GRADE

TYPICAL DRIPPER LINE ZONE DIAGRAM AND LAYOUT

2



1. FINISH GRADE
2. DRIP TUBING TEE
3. DRIP TUBING
4. BLANK TUBING TECHLINE
5. MALE ADAPTER
6. PVC TEE (SxSxT)
7. PVC PIPING
8. DRIPLINE FITTING

NOTE:
SECURE DRIP TUBING WITH 6" STAPLES (3) FT ON CENTER.

TYPICAL DRIPPER LINE FITTING INSTALLATION / PVC CONNECTION

3

IRRIGATION NOTES

General

1. IT IS THE INTENT OF THESE DRAWINGS TO INDICATE A COMPLETE AND OPERATIONAL IRRIGATION SYSTEM GIVING FULL COVERAGE AND READY FOR USE BY THE OWNER. THE DRAWINGS ARE BASED ON LANDSCAPE AND GRADING DRAWINGS IN EFFECT AT THE TIME THESE DRAWINGS WERE MADE. ANY DISCREPANCIES, OMISSIONS, ERRORS, ETC. ON THESE DRAWINGS OR ON SITE CHANGES, DO NOT AND SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PROVIDE A COMPLETE SYSTEM AS SHOWN. IF NECESSARY, THE CONTRACTOR MAY, WHERE CHANGES OCCUR, ADD OR DELETE SPRINKLERS, REROUTE PIPE, ETC. TO ASSURE ADEQUATE AND FULL COVERAGE.
2. IRRIGATION SYSTEM SHALL CONFORM TO STATE AND LOCAL CODES.
3. THE SYSTEM SHALL BE FULLY GUARANTEED FOR A PERIOD OF ONE YEAR. ANY DEFECTIVE MATERIAL OR POOR WORKMANSHIP SHALL BE REPLACED OR CORRECTED BY THE IRRIGATION CONTRACTOR AT NO COST TO THE OWNER.
4. IRRIGATION SYSTEM IS STRICTLY DIAGRAMMATIC. THEREFORE, CONTRACTOR MUST MAKE ADJUSTMENTS IN THE FIELD TO INSURE ADEQUATE COVERAGE.
5. LOCATE ALL VALVES IN PLANTING AREAS WHEN PRACTICALLY POSSIBLE.
6. FINAL LOCATION OF AUTOMATIC CONTROLLER AND THE BACKFLOW PREVENTER SHALL BE DETERMINED BY OWNER'S AUTHORIZED REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT.

Existing Site Conditions

1. IRRIGATION CONTRACTOR SHALL VERIFY ALL PRESSURES ON SITE PRIOR TO CONSTRUCTION.
2. LOCATION OF P.O.C. IS ONLY DIAGRAMMATIC. LOCATION MUST BE VERIFIED IN FIELD.
3. DO NOT WILLFULLY INSTALL THE SYSTEM AS DESIGNED WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS OR GRADE DIFFERENCES EXIST THAT WERE NOT KNOWN DURING THE DESIGN PROCESS. SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE; OTHERWISE, THE IRRIGATION CONTRACTOR MUST ASSUME FULL RESPONSIBILITY FOR ANY AND ALL NECESSARY REVISIONS.
4. FIELD ADJUST IRRIGATION SYSTEM WHEN VERTICAL OBSTRUCTIONS (FIRE HYDRANT, STREET LIGHTS, TREES, SIGNAGE, ETC.) INTERFERE WITH THE IRRIGATION SPRAY PATTERN. THE CONTRACTOR SHALL INSTALL QUARTER OR HALF CIRCLE ON EACH SIDE OF THE OBSTRUCTION TO PROVIDE PROPER IRRIGATION COVERAGE. ALL ADJUSTMENT SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER, TYPICAL.

Controller Power / Controller Wiring

1. 120 VOLT ELECTRICAL POWER OUTLET FOR CONTROLLERS SHALL BE PROVIDED AS NOTED. IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HOOK-UP FROM OUTLET / JUNCTION BOX TO CONTROLLER.
2. ALL WIRE FROM CONTROLLER TO ELECTRIC CONTROL VALVES SHALL BE COPPER UF #14 DIRECT BURIAL. USE BLACK FOR PILOT, WHITE FOR COMMON. COMMON WIRE SHALL BE 12 GAUGE WIRE. INSTALL IN COMMON TRENCH WITH MAIN LINE PIPING WHERE POSSIBLE.
3. THE CONTRACTOR SHALL STUB OUT A MINIMUM OF 2 (TWO) EXTRA SPARE VALVE WIRES (OR AS SHOWN ON IRRIGATION PLANS) AND 1 (ONE) COMMON WIRE FROM IRRIGATION CONTROLLER(S) TO EACH END OF MAINLINE RUN. THE SPARE WIRES SHALL BE STUB OUT INSIDE THE FARTHEST VALVE BOX AT EACH END OF MAINLINE RUN.

Irrigation Piping

1. PROVIDE MINIMUM 18" COVER OVER ALL PRESSURE MAIN LINE PIPING, AND 12" OVER ALL NON-PRESSURE LATERAL LINE PIPING. ALL PIPE UNDER PAVED VEHICULAR TRAFFIC AREAS ARE TO BE INSTALLED IN A PVC SCH. 40 SLEEVE WITH 36" MIN. COVER. SLEEVE LOCATIONS TO BE AS SHOWN ON PLANS. CITY DEPTH REQUIREMENTS FOR PIPE SUPERSEDE ALL THE ABOVE DIMENSIONS.
2. MAINLINE FEEDER BETWEEN POINT OF CONNECTION, METER AND BACKFLOW PREVENTER TO BE OF MATERIAL AS REQUIRED BY CURRENT WATER DISTRICT.
3. POLYETHYLENE PIPE TO BE BURIED NO DEEPER THAN 4" BELOW SURFACE.
4. IN ADDITION TO THE SLEEVES SHOWN ON THE PLAN, THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ADDITIONAL SLEEVES OF SUFFICIENT SIZE UNDER ALL PAVED AREAS PRIOR TO PAVING UPON APPROVAL OF THE OWNER'S REPRESENTATIVE, IF REQUIRED TO OPERATE SYSTEMS.
5. ALL SLEEVES ARE TO TERMINATE 6" BEYOND PAVING EDGES. CONNECTIONS TO SLEEVED PIPING AND CONDUIT ARE TO BE MADE 12" FROM END OF SLEEVE. CONNECTIONS TO MULTIPLE PIPES AND CONDUIT ARE TO MADE IN SUCH AWAY SO THAT WORK AND REPAIRS CAN BE MADE ON THE SYSTEM AND CONNECTIONS WITHOUT REMOVING MULTIPLE FITTINGS. MULTIPLE PIPES OR CONDUIT CAN BE PLACED WITHIN ONE SLEEVE IF EACH PIPE IS CAPABLE OF MOVING FREELY WITHOUT THE REMOVAL OR MOVEMENT OF OTHER PIPES OR CONDUIT IN THE SLEEVE.

Dripline Layout

1. PVC TO DRIPLINE PRESSURE SIDE CONNECTIONS SHOULD BE MADE AT THE HIGHEST ELEVATION OF THE DRIP-ZONE AS PRACTICALLY POSSIBLE
2. FINAL DRIPLINE CONNECTIONS SHOULD BE MADE UNDER PRESSURE TO ENSURE PROPER FLUSHING OF THE SYSTEM
3. INSTALL TUBING STAKES PER DETAIL AT A MINIMUM. WHERE TUBING SURGES TO SOIL SURFACE DURING NORMAL OPERATION, ADDITIONAL STAKES ARE REQUIRED.
4. ALL PVC TO DRIPLINE CONNECTIONS MUST BE MADE 6" BELOW THE SOIL SURFACE

Final Field Adjustments

1. FLUSH AND ADJUST ALL SPRINKLER HEADS FOR OPTIMUM PERFORMANCE AND TO PREVENT OVERSPRAY ONTO SIDEWALKS, WALLS/FENCES, ELECTRIC/CABLE BOXES, ETC. AS MUCH AS POSSIBLE.
2. CONTRACTOR SHALL INSTALL CHECK VALVES IN ALL HEADS IN WHICH LOW HEAD DRAINAGE OCCURS.

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IRRIGATION DETAILS

April 28, 2025

DESCRIPTION: L6
JOB NO.: 582
SHEET: 6 of 8

PLOT DATE: 4/28/2025 12:35 PM

Synthetic Turf

Symbol	Description
1	Install synthetic turf edging per turf contractor and manufacturer's recommendations. *Select turf color to match 'Santa Ana' natural turf planed per this plan.
2	Install synthetic turf between concrete pads. Total - 190 S.F.

Note: All synthetic turf at edges of driveway shall be tucked under at edge per manufacturer's recommendations or use an edging specific for synthetic turf. .

Trees

Podocarpus elongatus 'Monmal'
ICEE BLUE PODOCARPUS

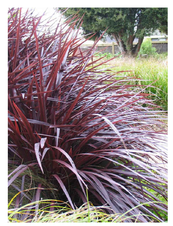
Magnolia 'Litte Gem'
LITTLE GEM MAGNOLIA

Trachycarpus fortunei
WINDMILL PALM

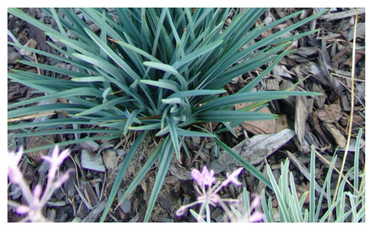
Shrubs and Groundcovers

Buxus microphylla 'Green Beauty'
B GREEN BEAUTY BOXWOOD

Callistemon viminalis 'CV01' PP #24,444
Cal SLIM BOTTLE BRUSH

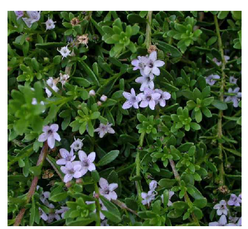


Cordyline x 'JURred'
C FESTIVAL BURGUNDY CORDYLINE



Dianella revoluta 'Baby Bliss'
Dia BABY BLISS FLAX LILY

Lavandula stoechas 'Otto Quast'
L SPANISH LAVENDER



Myoporum parvifolium 'Pink'
My PINK AUSTRALIAN RACER

Rosa 'Iceberg'
R ICEBERG ROSE

Sansevieria trifasciata 'Laurentii'
S Striped Mother-in Law's Tongue

Distictis 'Rivers'
D ROYAL TRUMPET VINE

PLANTING LEGEND

TREES

Total Trees Required	15
Total Trees on Plan	16.5

*(2) Palms = 1 Tree

Symbol	Botanical / Common Name	Container	Kc	Qty	Height / Width
	Magnolia 'Litte Gem' LITTLE GEM MAGNOLIA	24" Box	0.5	4	20'-25' / 10'-15'
	Trachycarpus fortunei WINDMILL PALM	24" Box	0.5	11	25'-30' / 8'-10'
P	Podocarpus elongatus 'Monmal' ICEE BLUE PODOCARPUS	15 Gallon	0.5	7	

SHRUBS

Total Srubs	305
(Required) 60% 5 Gallon	183
Total 5 Gallons on Plan	194

Note: All planters shall receive a 3" layer of shredded bark mulch or Mexican Beach Pebbles per owner's approval.

Symbol	Botanical / Common Name	Container	Kc	Qty	Height / Width
B	Buxus microphylla 'Green Beauty' GREEN BEAUTY BOXWOOD (@ 18" On Center)	5 Gallon	0.5	31	4'-6' (Hedged)
Cal	Callistemon viminalis 'CV01' PP #24,444 SLIM BOTTLE BRUSH	5 Gallon	0.3	39	8'-10' / 3'-4'
C	Cordyline x 'JURred' FESTIVAL BURGUNDY CORDYLINE	5 Gallon	0.5	9	3' / 3'
Dia	Dianella revoluta 'Baby Bliss' BABY BLISS FLAX LILY	1 gallon	0.3	81	1'-2' / 1'-2'
L	Lavandula stoechas 'Otto Quast' SPANISH LAVENDER	1 gallon	0.3	32	2' / 2'
R	Rosa 'Iceberg' ICEBERG ROSE	5 Gallon	0.5	50	3' / 4'
S	Sansevieria trifasciata 'Laurentii' Striped Mother-in Law's Tongue	5 Gallon	0.5	43	3'-4' / Clumping

VINES

Symbol	Botanical / Common Name	Container	Kc	Qty	Height / Width
D	Distictis 'Rivers' ROYAL TRUMPET VINE	5 Gallon	0.3	11	25'-30' long

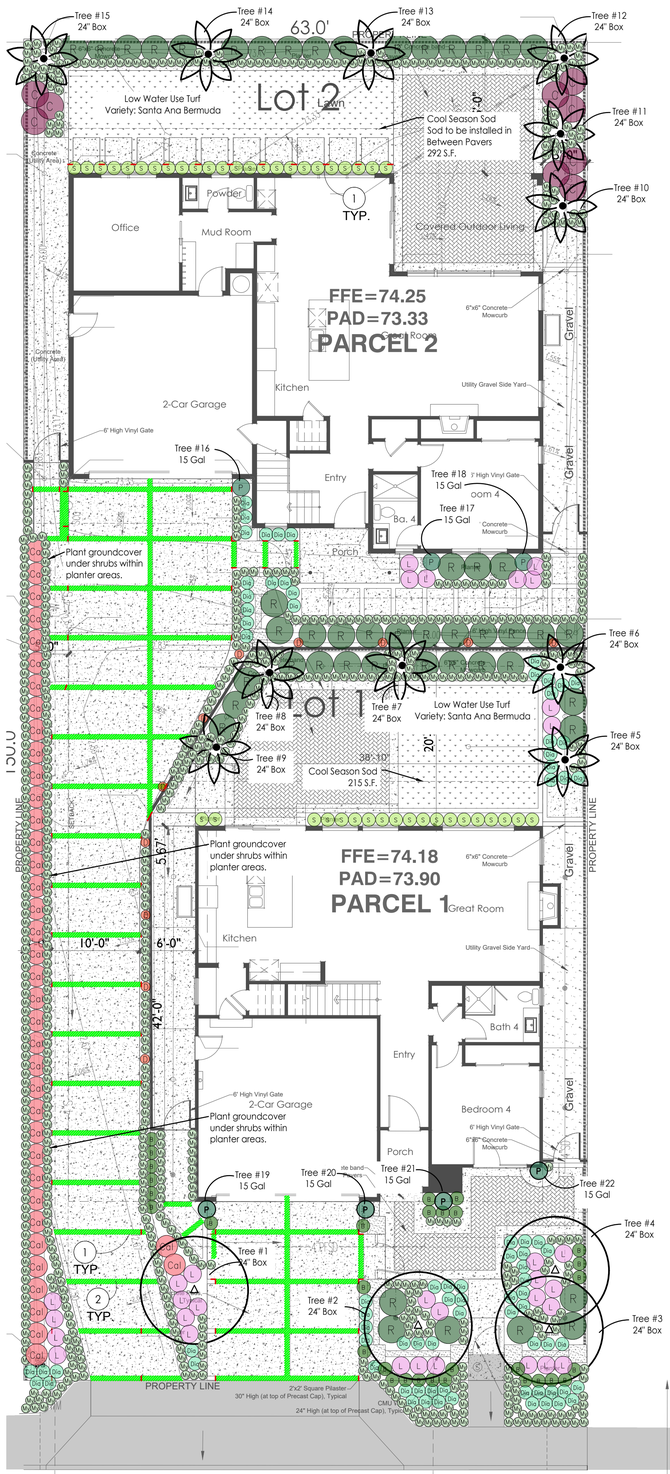
GROUNDCOVER

Symbol	Botanical / Common Name	Container	Kc	Qty	Height / Width
My	Myoporum parvifolium 'Pink' Pink Australian Racer	Rooted Cuttings From Flats	0.3	727	Less than 12" / 6'

Groundcover 70% Coverage Note:
Additional Myoporum rooted cuttings (groundcover) are to be installed as required by the city landscape inspector to achieve the targeted 70% under-planting in shrub areas. Groundcovers shall be installed where the stem and canopy height of the primary shrub plant material allows such installations and where the installation of groundcover will not be detrimental the the health and growth of the primary shrub plant material. Understory groundcover planting of shrub areas shall be completed to achieve 70% groundcover coverage.

Turf Grass

Symbol		Container	Kc	Qty	
	Supplier: West Cost Turf Variety: Santa Ana Drought tolerant water saving Bermudagrass sod cultivated for warmer areas.	Sod	0.6	507 SF	



PLANTING PLAN

0' 8'
SCALE: 1"=8'
north

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LICENSED LANDSCAPE ARCHITECT
Gregory Paul Zoll
5204
April 30, 2026
Renewal Date
April 28,2025
Date
STATE OF CALIFORNIA

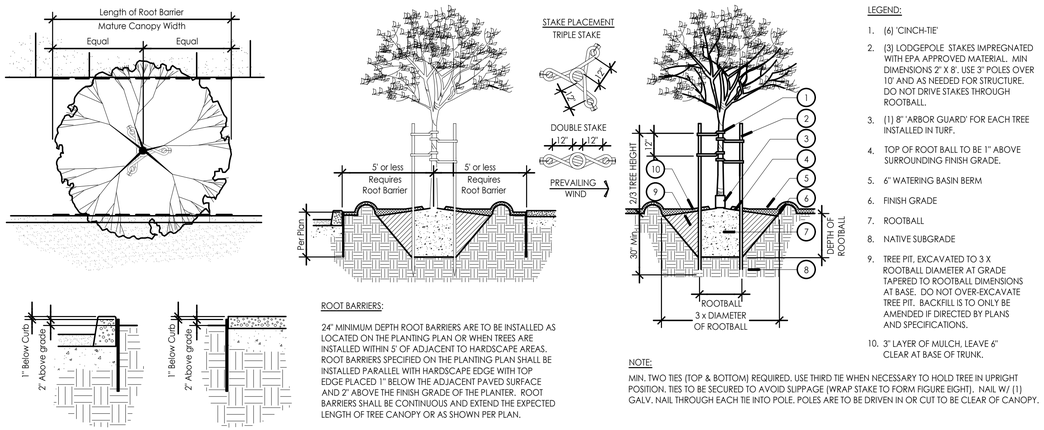
PLANTING PLAN

April 28, 2025

DESCRIPTION	JOB NO.
L7	582

SHEET
7 of 8

PLOT DATE: 4/28/2025 12:35 PM



SCALE: 1/4"=1'-0"

ROOT BARRIERS:

24" MINIMUM DEPTH ROOT BARRIERS ARE TO BE INSTALLED AS LOCATED ON THE PLANTING PLAN OR WHEN TREES ARE INSTALLED WITHIN 5' OF ADJACENT TO HARDSCAPE AREAS. ROOT BARRIERS SPECIFIED ON THE PLANTING PLAN SHALL BE INSTALLED PARALLEL WITH HARDSCAPE EDGE WITH TOP EDGE PLACED 1" BELOW THE ADJACENT PAVED SURFACE AND 2" ABOVE THE FINISH GRADE OF THE PLANTER. ROOT BARRIERS SHALL BE CONTINUOUS AND EXTEND THE EXPECTED LENGTH OF TREE CANOPY OR AS SHOWN PER PLAN.

LEGEND:

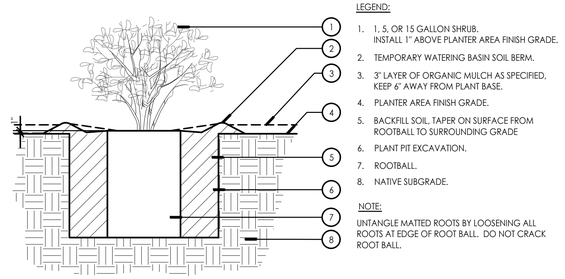
1. (6) 'CINCH-TIE'
2. (3) LODGEPOLE STAKES IMPREGNATED WITH EPA APPROVED MATERIAL. MIN DIMENSIONS 2" X 8". USE 3" POLES OVER 10' AND AS NEEDED FOR STRUCTURE. DO NOT DRIVE STAKES THROUGH ROOTBALL.
3. (1) 8" 'ARBOR GUARD' FOR EACH TREE INSTALLED IN TURF.
4. TOP OF ROOT BALL TO BE 1" ABOVE SURROUNDING FINISH GRADE.
5. 6" WATERING BASIN BERM
6. FINISH GRADE
7. ROOTBALL
8. NATIVE SUBGRADE
9. TREE PIT, EXCAVATED TO 3 X ROOTBALL DIAMETER AT GRADE TAPERED TO ROOTBALL DIMENSIONS AT BASE. DO NOT OVER-EXCAVATE TREE PIT. BACKFILL IS TO ONLY BE AMENDED IF DIRECTED BY PLANS AND SPECIFICATIONS.
10. 3" LAYER OF MULCH, LEAVE 6" CLEAR AT BASE OF TRUNK.

NOTE:

MIN. TWO TIES (TOP & BOTTOM) REQUIRED. USE THIRD TIE WHEN NECESSARY TO HOLD TREE IN UPRIGHT POSITION. TIES TO BE SECURED TO AVOID SLIPPAGE (WRAP STAKE TO FORM FIGURE EIGHT). NAIL W/ (1) GALV. NAIL THROUGH EACH TIE INTO POLE. POLES ARE TO BE DRIVEN IN OR CUT TO BE CLEAR OF CANOPY.

TREE PLANTING, ROOT BARRIER INSTALLATION, AND STAKING

1



SCALE: 1/2"=1'-0"

LEGEND:

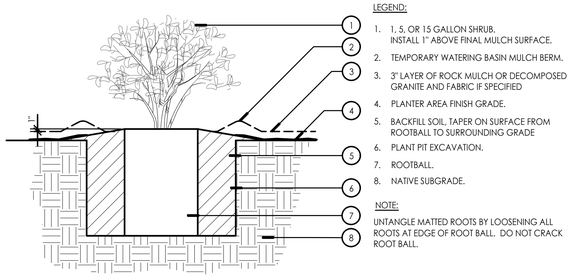
1. 1, 5, OR 15 GALLON SHRUB. INSTALL 1" ABOVE PLANTER AREA FINISH GRADE.
2. TEMPORARY WATERING BASIN SOIL BERM.
3. 3" LAYER OF ORGANIC MULCH AS SPECIFIED, KEEP 6" AWAY FROM PLANT BASE.
4. PLANTER AREA FINISH GRADE.
5. BACKFILL SOIL, TAPER ON SURFACE FROM ROOTBALL TO SURROUNDING GRADE
6. PLANT PIT EXCAVATION.
7. ROOTBALL.
8. NATIVE SUBGRADE.

NOTE:

UNTANGLE MATTED ROOTS BY LOOSENING ALL ROOTS AT EDGE OF ROOT BALL. DO NOT CRACK ROOT BALL.

CONTAINER PLANTING IN ORGANIC MULCH AREA

2



SCALE: 1/2"=1'-0"

LEGEND:

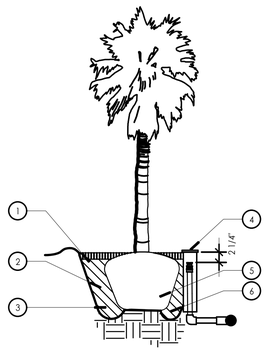
1. 1, 5, OR 15 GALLON SHRUB. INSTALL 1" ABOVE FINAL MULCH SURFACE.
2. TEMPORARY WATERING BASIN MULCH BERM.
3. 3" LAYER OF ROCK MULCH OR DECOMPOSED GRANITE AND FABRIC IF SPECIFIED
4. PLANTER AREA FINISH GRADE.
5. BACKFILL SOIL, TAPER ON SURFACE FROM ROOTBALL TO SURROUNDING GRADE
6. PLANT PIT EXCAVATION.
7. ROOTBALL.
8. NATIVE SUBGRADE.

NOTE:

UNTANGLE MATTED ROOTS BY LOOSENING ALL ROOTS AT EDGE OF ROOT BALL. DO NOT CRACK ROOT BALL.

CONTAINER PLANTING IN ROCK MULCH AREAS

3



SCALE: 3/4"=1'-0"

LEGEND:

1. PRE-MOISTEN HOLE PRIOR TO SETTING ROOT BALL WATER BASIN BERM - TYPICAL ON BOTH SIDES
2. BACKFILL
3. JET SOIL AFTER BACKFILLING TO ELIMINATE AIR POCKETS
4. 4" PERFORATED PIPE- FILL WITH PEA GRAVEL (2 LOCATIONS PER TREE) PIPE SHALL BE 24" LONG
5. ROOTBALL
6. FIRM SOIL PRIOR TO SETTING ROOTBALL TO PREVENT SETTLING

NOTE:

A. MEXICAN FAN PALMS SHALL BE SKINNED

B. BACKFILL TO THE 20% SAND AND 80% ON-SITE NATIVE SOIL COMPACT TO 85%

C. BACKFILL AFTER SETTLING OCCURS

D. DO NOT BLEND ORGANIC MIX IN PALM TREE BACKFILL

E. INSTALL EMITTERS AT APPROXIMATELY 18" FROM THE ROOT BALL

F. COVER WITH NDS 4" ROUND GRATE PART NO. 13S (SAND) - AVAILABLE FROM O'CONNOR SALES INC. (562) 403-3848

PALM TREE PLANTING

4

FINE GRADING AND MULCHING NOTES

1. All planters shall receive a 2-3 inch layer of Mexican Beach Pebble mulch.
2. Contractor shall excavate and remove the required soil from the site for plant and mulch installation and dispose of the soil at an approved off-site location.

PLANTING SPECIFIC NOTES

PLANT QUALITY REQUIREMENTS
All plant materials shall be full vigorous & healthy nursery stock - including the top of plant and the root system. All plant materials shall meet the current American Standard For Nursery Stock (ANSI Z60.1-2004) the Landscape Architect must be contacted regarding all plant materials as they arrive on-site, prior to their installation. The plant material supplier and/or landscape contractor shall provide guaranteed evidence to the landscape inspector that all plant material is consistent with the approved plant legend considering genus, species, cultivars, and size specified. All plant material not consistent with the plant legend may be rejected. The Landscape Architect shall approve plant materials for installation on-site or shall be sent representative photographs of same. The Landscape Architect reserves the right to reject unacceptable plant materials.

UNACCEPTABLE CONDITIONS FOR PLANTS IN GENERAL:
Plant materials that are the incorrect species.
Plants materials with apparent fungal disease (mildew, rust, black-spot, etc.). Plants that are defoliated due to stress or disease. Foliage that is chlorotic, wind or frost burned, or in any other way damaged.

UNACCEPTABLE CONDITIONS FOR ROOT SYSTEMS:
Plants with exposed roots, girdled roots, overgrown or undersized root systems will be considered unacceptable.

TREE SELECTION:
Trees are required to stand on their own without the support of the nursery stake. Trees must also be free of disease, infestations, signs of heavy pruning within the canopy, broken primary limbs or leaders, and damage. New trees planted within the project area are to be installed per the detail below. The tree pit is to be excavated to measure 3 x root ball at the finish grade surface and be tapered to root ball width at pit bottom. Do not over-excavate the tree pit depth. After tree placement the tree pit is to be backfilled with clean native soil only. Trees are to be triple stake as shown on details.

ROOT BARRIER:
Use Lineal Root Barrier when tree is within 5' min. distance adjacent to hardscape areas. Root Barriers shall be installed in sheets parallel with hardscape w/ top edge placed 1" below grade. Root Barrier shall extend the expected length of tree canopy as shown per plan. barriers shall be placed at a slight angle (75º) with base of barrier directed under hardscape & away from tree.

SOIL MANAGEMENT PLAN:
When mass grading is complete, landscape contractor shall submit soils samples to a laboratory for analysis and recommendations. Results shall be provided to landscape architect for certificate of compliance. Laboratory procedures shall account for adequate depth for the intended plants.

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PLANTING DETAILS

April 28, 2025

DESCRIPTION
JOB NO. 592
L8

SHEET
8 of 8

PLOT DATE: 4/28/2025 12:35 PM

PRIVACY EXHIBIT
03.14.2025

2310 SANTA ANA AVE.

2310 SANTA ANA AVE.

53'±

12'±

27'±

63.00' N 40°38'21" E (E) WOOD FENCE

63.00' N 40°38'21" E

FFE=74.25
PAD=73.33
PARCEL 2

29'±

40'±

308 23TH ST.

5'
WINDOW
SILL
HEIGHT

88.00' N 49°23'18" W

14'±

35'±

37.42' N 40°38'21" E

N 17°18'0" W

21.80'

150.00' N 49°23'18" W

34'±

2310 SANTA ANA AVE.

33'±

38'±

43.47' N 49°23'18" W

FFE=74.18
PAD=73.90
PARCEL 1

5'4" WINDOW
SILL HEIGHT

EGRESS WINDOW PER CBC.
44" SILL HEIGHT,
20" CLEAR OPENING,
24" HIGH,
5.7 SF FREE OPEN AREA.

300 23TH ST.

82.00' N 49°23'18" W

N 63°38'21" W
20.64'

18.87' N 40°38'21" E

63.00' N 40°38'21" E
44.13' N 40°38'21" E

R/W

PP

WM

PCC

(E) 3" GAS

WV

SET PK
72.22

(E) 3" GAS

(E) 3" GAS

(E) W TO BE FIELD VERIFIED

SANTA ANA AVE.

C/L

(E) 12" CLAY SEWER

C/L

C/L

(E) 12" CLAY SEWER

(E) 12" HPG

(E) 12" HPG