

# Playa Mesa

## CONDITIONAL USE PERMIT - VALET PARKING

428 17TH STREET  
COSTA MESA, CA 92627

**r h a**  
robinson hill architecture, inc.  
A California Corporation  
3195-B Airport Loop, Dr.  
Costa Mesa, CA 92626  
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Michael David Robinson: C-20731  
John Steven Hill: C-23553

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Owner  
Lounge Group  
434 E. 17th Street  
Costa Mesa, CA 92627

Consultant

**GENERAL NOTES**

**INTERPRETATION OF THE DOCUMENTS**

DISCREPANCIES IN AND OMISSIONS FROM THE PLANS, SPECIFICATIONS, OR OTHER CONTRACT DOCUMENTS, OR QUESTIONS AS TO THEIR MEANING SHALL, AT ONCE, BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. ANY INTERPRETATION OF THE DOCUMENTS WILL BE MADE ONLY BY ADDENDA DULY ISSUED AND A COPY OF SUCH ADDENDA WILL BE MAILED OR DELIVERED TO EACH GENERAL CONTRACTOR BIDDER RECEIVING A SET OF SUCH DOCUMENTS. THE OWNER WILL NOT BE RESPONSIBLE FOR ANY OTHER EXPLANATIONS OR INTERPRETATIONS. SHOULD ANYTHING IN THE SCOPE OF WORK OR ANY OF THE SECTIONS OF THE SPECIFICATIONS BE FOUND TO BE IN ERROR, HAVE CONFLICTS OR DISCREPANCIES, SUCH INFORMATION SHALL BE PROMPTLY BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING DURING THE BID PROCESS, UPON WHICH, THE ARCHITECT WILL ISSUE A BID CLARIFICATION BY ADDENDA. QUESTIONS RECEIVED LESS THAN 48 HOURS BEFORE THE BID OPENING CANNOT BE ANSWERED. NOTWITHSTANDING THAT DRAWINGS AND SPECIFICATIONS MAY BE INCOMPLETE IN CERTAIN DETAILS, IT IS UNDERSTOOD BY CONTRACTOR THAT ANY WORK NOT EXPLICITLY SHOWN OR EXPLICITLY SPECIFIED THEREIN, BUT NONETHELESS REQUIRED TO COMPLY WITH THE AGREED CONTRACTUAL INTENT OF PROVIDING A COMPLETE JOB, SHALL BE INCLUDED IN THE WORK.

**PROJECT SCOPE**

NO CHANGES TO EXISTING FLOOR PLAN, FOR REFERENCE ONLY. <sup>△</sup>

(N) VALET PARKING PROPOSAL AT EXISTING RESTAURANT. NO PROPOSED CHANGES TO EXISTING SITE.

**PROJECT INFORMATION**

**GOVERNING CODES**

CAL. BUILDING CODE 2022 EDITION (2021 IBC)  
CAL. MECHANICAL CODE 2022 EDITION (2021 CMC)  
CAL. PLUMBING CODE 2022 EDITION (2021 CPC)  
CAL. ELECTRICAL CODE 2022 EDITION (2021 NEC)  
TITLE 24 ENERGY STANDARDS 2022 EDITION  
CAL GREEN BUILDING CODE 2022 EDITION (CGBC)

**PROJECT INFORMATION & CODE ANALYSIS**

ZONE: C1 <sup>△</sup>

GENERAL PLAN DESIGNATION: GC

APN:  
428 E 17TH STREET 117-321-27  
424 E 17TH STREET 117-321-30

OCCUPANCY TYPE: A2

NO. OF STORIES: (1) ONE <sup>△</sup>

BUILDING HEIGHT: TOP OF HEIGHTS PARAPET-20'-5" <sup>△</sup>

FIRE SPRINKLERS: YES

FIRE ALARM: YES

CONSTRUCTION TYPE: TYPE V-B

EXTERIOR WALLS PROTECTION: [CBC TABLE 602] 1-HOUR REQUIRED EAST EXTERIOR WALL. PROVIDED: 1-HOUR RATED AT EAST EXTERIOR WALL. <sup>△</sup>

**LOT SIZE:**

428 E 17TH STREET 117-321-27 : 14,007.5 AREA SQ. FT.  
424 E 17TH STREET 117-321-30 : 23,812.75 AREA SQ. FT.

**FAR:**

428 E 17TH STREET 4,759 SQ. FT. / 14,007.5 = 2.94%  
424 E 17TH STREET 1,449 SQ. FT. / 23,812.75 = 16.43%

**SETBACKS**

	REQUIRED	PROVIDED
FRONT	20'	20'
SIDE	15' ON SIDE & 0 ON THE OTHER SIDE	1' & 0
REAR	41'*	155'-2"

\* EXCEPTION: IF THE REAR PROPERTY IS ADJACENT TO A RESIDENTIAL ZONE, ALL BUILDINGS SHALL MAINTAIN A REAR SETBACK FROM THE RESIDENTIAL PROPERTY LINE OF 2 TIMES THE BUILDING HEIGHT AT ALL LOCATIONS

**PLAYA MESA**

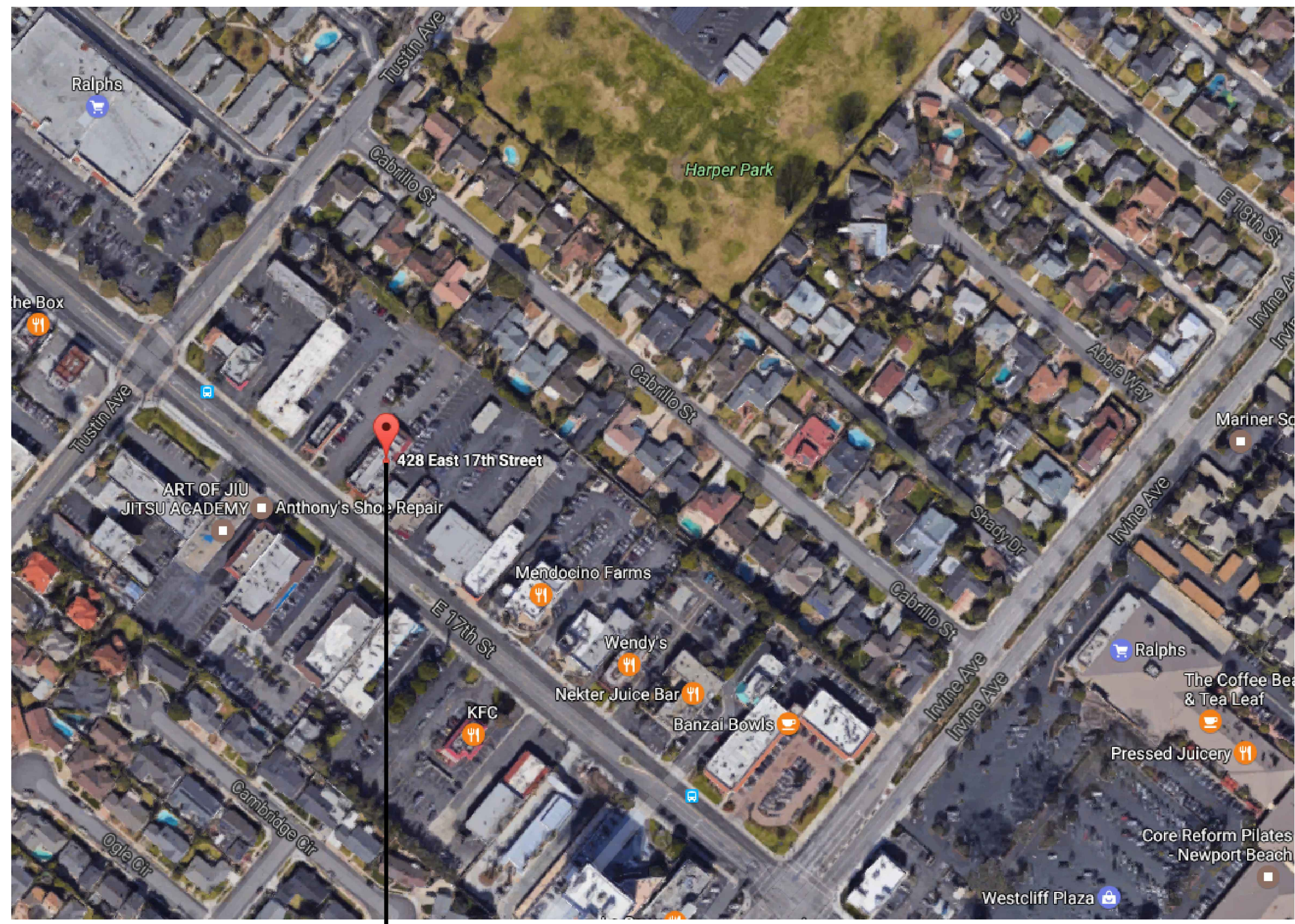
(E) BUILDING	4,759 S.F. (428 E 17T ST.)
(E) PATIOS	815 S.F.
(E) SWITCH GR COVR	64 S.F.
TOTAL	5,638 S.F.

**PETE'S COFFEE**

(E) BUILDING	1,449 S.F. (424 E 17T ST.)
(E) PATIOS	700 S.F.
TOTAL	2,149 S.F.

TOTAL ON-SITE PARKING: 69 SPACES  
BIKE RACK: 10 SPACES <sup>△</sup>

**VICINITY MAP**



PROJECT SITE  
428 17TH ST.  
COSTA MESA, CA 92627

**PROJECT TEAM**

PROJECT ADDRESS	OWNER	ARCHITECT
428 EAST 17TH STREET COSTA MESA, CA 92627	LOUNGE GROUP 434 E. 17TH STREET COSTA MESA, CA 92627 CONTACT: MARIO MAROVIC	RHA - ROBINSON HILL ARCHITECTURE 3195-B AIRPORT LOOP DRIVE COSTA MESA, CA 92626 PHONE: 714-825-8888 CONTACT: ALEX ARIE

**PROJECT DIRECTORY**

**ARCHITECTURAL GENERAL**

CURRENT DWG. ISSUE	DWG. NUMBER	SHEET TITLE	DATE OF ISSUE	REVISION DATE	REV #
●	TO.1	TITLE SHEET - PROJ. INFO.	-	05.08.24	4
●	ST1.0	EXISTING SITE PLAN	-	05.08.24	4
●	ST1.1	PROPOSED VALET SITE PLAN	-	05.08.24	4
●	A1.0	EXISTING FLOOR PLAN FOR REFERENCE ONLY	-	09.12.23	1

Stamp

Submittal Dates  
Planning Dept CUP

Rev.	Description	Date
△	RESUBMITTAL	09.12.23
△	RESUBMITTAL	05.08.24

Project Type

Playa Mesa - CUP Submittal  
428 17TH STREET  
COSTA MESA, CA 92627

Sheet Title

TITLE SHEET - PROJECT INFO

Job Number:  
23RHAI128  
Date:  
04.11.23  
Sheet No.:





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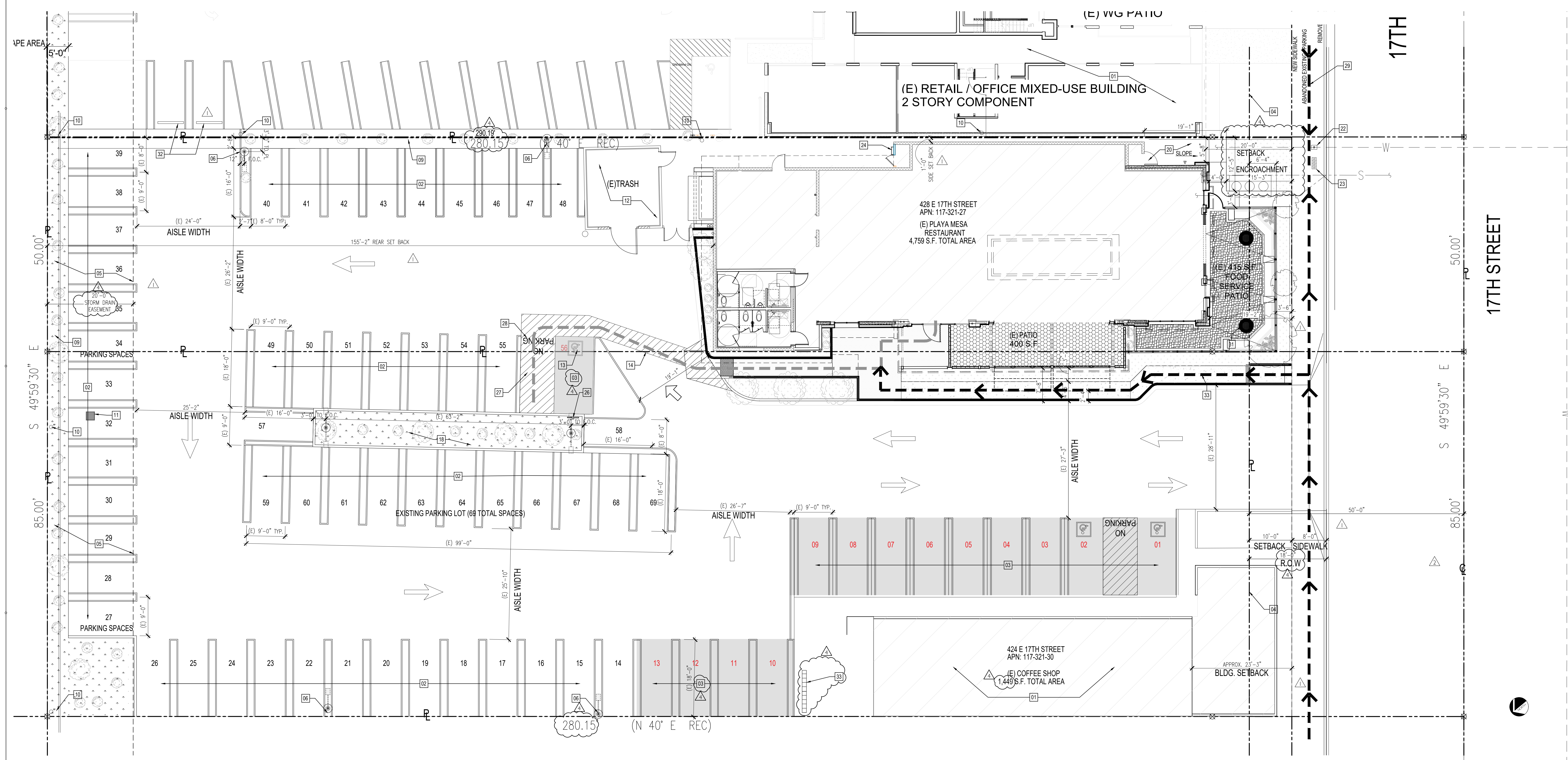
Submission Dates

Rev.	Description	Date
△	RESUBMITTAL	09.12.23
△	RESUBMITTAL	01.24.24
△	RESUBMITTAL	05.08.24

Project	Type
Playa Mesa	428 17TH STREET COSTA MESA, CA 92627

Playa Mesa  
428 17TH STREET  
COSTA MESA, CA 92627

Sheet Title



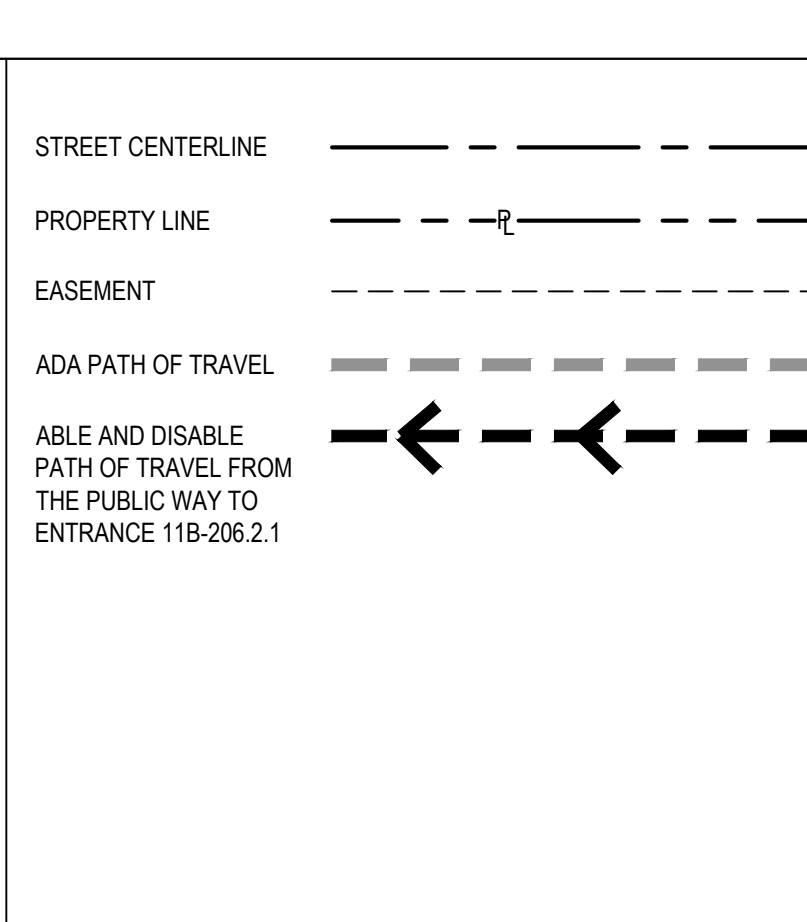
**FIRE DEPARTMENT NOTES**  
1. THE INSTALLATION OF AUTOMATIC FIRE SPRINKLER SYSTEMS SHALL COMPLY WITH THE NFPA 13, 2016 EDITION, INSTALLATION UNDER SEPARATE PERMIT.  
2. PROVIDE ONE PORTABLE FIRE EXTINGUISHER WHICH HAS A CLASSIFICATION OF TYPE K FIRE EXTINGUISHER TO SUPPORT THE HOOD AND DUCT SYSTEM AND A 2A:10BC TYPE EXTINGUISHER FOR THE REMAINDER OF THE KITCHEN PER THE REQUIREMENTS OF CFC 906, TABLES 903.6.1 AND 903.6.2 AND TITLE 19 FIRE EXTINGUISHER REQUIREMENTS.  
3. ALL DECORATIVE MATERIALS SHALL BE MAINTAINED IN A FLAME RETARDANT CONDITION.  
4. BUILDING OCCUPANT SHALL SECURE PERMITS REQUIRED BY THE FIRE DEPARTMENT FROM THE FIRE PREVENTION BUREAU PRIOR TO OCCUPANCY THIS BUILDING.  
5. THE CONSTRUCTION, REMODEL, OR DEMOLITION OF A BUILDING SHALL COMPLY WITH CFC CHAPTER 33.  
6. PROVIDED OCCUPANT LOAD SIGNS AS REQUIRED BY CBC 1004.3.

**GRADING NOTES**  
1. MINIMUM 5% GRADE (2% FOR CONCRETE SURFACES FOR 10' FROM EXTERIOR WALL TO DRAIN WATER AWAY FROM EXTERIOR FOOTING.  
2. EXISTING SITE: (E) SITE FULLY COMPLIES WITH T24 AND ACCESSIBILITY STANDARDS, AND SUBJECT TO FIELD VERIFICATION.  
3. ACCESSIBLE PATH OF TRAVEL: MAXIMUM SLOPE SHALL NOT EXCEED 5% IN DIRECTION OF TRAVEL. MAXIMUM CROSS SLOPE SHALL NOT EXCEED 2%.

**GENERAL NOTES**  
1. ALL WELDS AND MILLSTRAPS TO BE GRIND SMOOTH, PRIME AND PAINTED. REFER TO STRUCTURAL AND ID DRAWINGS.  
2. CAP ALL TUBE STEEL ENDS.  
3. PRIMER FOR PAINTING AS REQUIRED.  
4. PATIO STEEL TO BE POWDER COAT PAINTED PER EXTERIOR ELEVATIONS PRIOR TO INSTALLATION AND TOUCHED UP AS REQUIRED AFTER INSTALLATION.  
5. G.C. TO INFORM ARCHITECT OF ALL DISCREPANCIES.  
6. G.C. TO FIELD VERIFY ALL CONDITIONS. ADVISE ARCHITECT OF ANY DISCREPANCIES.  
7. REFER TO ID DRAWINGS FOR ADDITIONAL INFORMATION REGARDING FINISHES AND EQUIPMENT.  
8. REFER TO STRUCTURAL, ELECTRICAL, MECHANICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.  
9. REFER TO ID FINISH SCHEDULE TO ALL INTERIOR WALL FINISHES  
10. FLOOR AND GROUND SURFACES SHALL BE STABLE, FIRM, AND SLIP RESISTANT.

**SITE NOTES**  
1. PARKING LAYOUT INFORMATION IS FROM RECORD DRAWINGS PERMITTED BY THE CITY OF COSTA MESA, UNDER PREVIOUS PERMIT, AND IS FOR REFERENCE ONLY.  
2. ACCESSIBLE PARKING STALLS TO BE PROVIDED AND IDENTIFIED PER 2022 CBC ( 11B-206.2.4, 11B-502.6, 11B-502.8 ( FIG 11B, 18A, B & C & 1117B)

3. EACH PARKING SPACE RESERVED FOR PERSONS WITH DISABILITIES SHALL BE IDENTIFIED BY A REFLECTORIES SIGN PERMANENTLY POSTED IMMEDIATELY ADJACENT TO AND VISIBLE FROM EACH STALL OR SPACE, CONSISTING OF A PROFILE VIEW OF A WHEELCHAIR WITH OCCUPANT IN WHITE ON DARK BLUE BACKGROUND THE SIGN SHALL NOT BE SMALLER THAN 70 SQ. INCHES IN AREA AND, WHEN IN A PATH OF TRAVEL, SHALL BE POSTED AT A MINIMUM HEIGHT OF 80" FROM THE BOTTOM OF THE SIGN TO THE PARKING SPACE FINISHED GRADE.  
4. PROVIDE "MINIMUM FINE \$250" BELOW ACCESSIBILITY SYMBOL SIGN.  
5. "UNAUTHORIZED VEHICLES PARKED IN DESIGNATED DISABLED SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR LICENSE PLATES ISSUED FRO PSYCHICALLY DISABLED PERSONS MAY BE TOWED AWAY AT OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT AUTHORIZED POLICE DEPARTMENT, TOWING AGENCY OR BY TELEPHONING " (714) 754-5280".



**PLAYA MESA EXISTING AREA:**

(E) BUILDING	4,759 S.F.
(E) PATIOS	815 S.F.
(E) SWITCH GR COVR	64 S.F.
TOTAL	5,638 S.F.

**PETE'S COFFEE:**

(E) BUILDING	1,449 S.F.
(E) PATIO	700 S.F.
TOTAL	2,149 S.F.

(E) REG. PKNG PROVIDED 66.0 SPACES  
(E) ADA PKNG PROVIDED 3.0 SPACES  
(E) TOT. PKNG PROVIDED 69.0 SPACES

BIKE RACK: 10 TOTAL SPACES

- 01 (E) ADJACENT BUILDING TO REMAIN, N.A.P.
- 02 (E) PARKING STALLS
- 03 (E) 14 SELF PARKING SPACE WHILE PETE'S IS OPEN
- 04 (E) PARKING SET BACK
- 05 (E) UTILITY EASEMENT
- 06 (E) LIGHT POST AND LIGHT FIXTURE TO REMAIN
- 07 (E) CONCRETE CURB 6" HIGH. PAINT RED IN FIRE LANE
- 08 (E) PLANTER TO REMAIN. SEE LANDSCAPE FOR NEW PLANTING
- 09 (E) PLANTER TO REMAIN
- 10 (E) POWER POLE AND OVERHEAD WIRE TO REMAIN
- 11 (E) STORM WATER AREA DRAIN TO REMAIN
- 12 (E) TRASH ENCLOSURE TO BE RENOVATED
- 13 (E) ACCESSIBLE STALL AND ADA LOGO TO REMAIN
- 14 (E) BLUE PAINTED ACCESSIBLE PATH TO REMAIN
- 15 (E) ACCESSIBLE RAMP TO REMAIN
- 16 (E) LOW RAISED EDGE PROTECTOR @ 6" A.F.F. SEE CIVIL

- 17 (E) SIDEWALK
- 18 (E) PLANTER TO BE RENOVATED PER NEW LAYOUT
- 19 (E) GREASE INTERCEPTOR TO BE REPLACED, SEE MECHANICAL
- 20 (E) FIRE RISER ROOM AND PATHWAY TO REMAIN
- 21 (E) INTERNATIONAL SYMBOL OF ACCESSIBILITY SIGN COMPLYING WITH SECTION 11B-703.7.2.1, 211HC-1, INSTALL PER 15.211HC-1, 11B-703.4.1.
- 22 (E) WATER METER
- 23 (E) GAS METER
- 24 (E) ROOF ACCESS LADDER
- 25 (E) TRUNCATED DOMES TO REMAIN. 26HC100 ACCESSIBLE DETAILS
- 26 (E) VAN ACCESSIBLE PARKING SIGN ON POST, WITH AN ADDITIONAL SIGN STATING "250 MINIMUM FINE" ON POST TO REMAIN. PER 02HC100
- 27 (E) BLUE PAINTED ACCESS AISLES AND NO PARKING SIGN ON THE PAVED SURFACE OF THE ACCESS AISLE TO REMAIN, PER 05HC100
- 28 (E) PAINT "NO PARKING" SIGN ON THE PAVED SURFACE OF THE ACCESS AISLE PER 05HC100.

- 29 NOT USED
- 30 (E) INTERNATIONAL SYMBOL OF ACCESSIBILITY DIRECTIONAL SIGN TO COMPLY PER 11B-216.3, 11B-216.6, 11B-703.5.6, 211HC-1.
- 31 (E) HANDRAIL TO REMAIN
- 32 (E) PATHWAY FOR ACCESS TO BUILDING FROM PUBLIC WAY FOR ABLE AND DISABLE PER 11B-206.2.1 EXPT. #2, ROUTE PER 11B-206.2, 11B-403.3 AND 11B-403.5.1
- 33 (E) HANDRAIL. IT SHALL BE CONTINUOUS THE FULL LENGTH OF THE RAMP TO BE IMBEDDED INTO CONCRETE APPROX. 3" TO 4". SHALL 34" TO 38" 16, 20HC-1 ABOVE RAMP SURFACE, SHALL EXTEND HORIZONTALLY ABOVE THE LANDING FOR 12' BEYOND THE TOP AND BOTTOM OF RAMP; SEE 20HC-1, PER 11B-505.101, 11B-505.10.1. LOW EDGE PROTECTOR TO COMPLY PER 17HC-1. SEE 02A2.0 FOR ELEVATION.
- 34 (N) WHEEL STOP
- 35 (FLOOR MOUNTED BIKE RACK, 10 SPACES.



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Submittal Dates

Rev.	Description	Date
▲	RESUBMITTAL	09.12.23
▲	RESUBMITTAL	01.24.24
▲	RESUBMITTAL	02.27.24
▲	RESUBMITTAL	05.08.24

Project Type

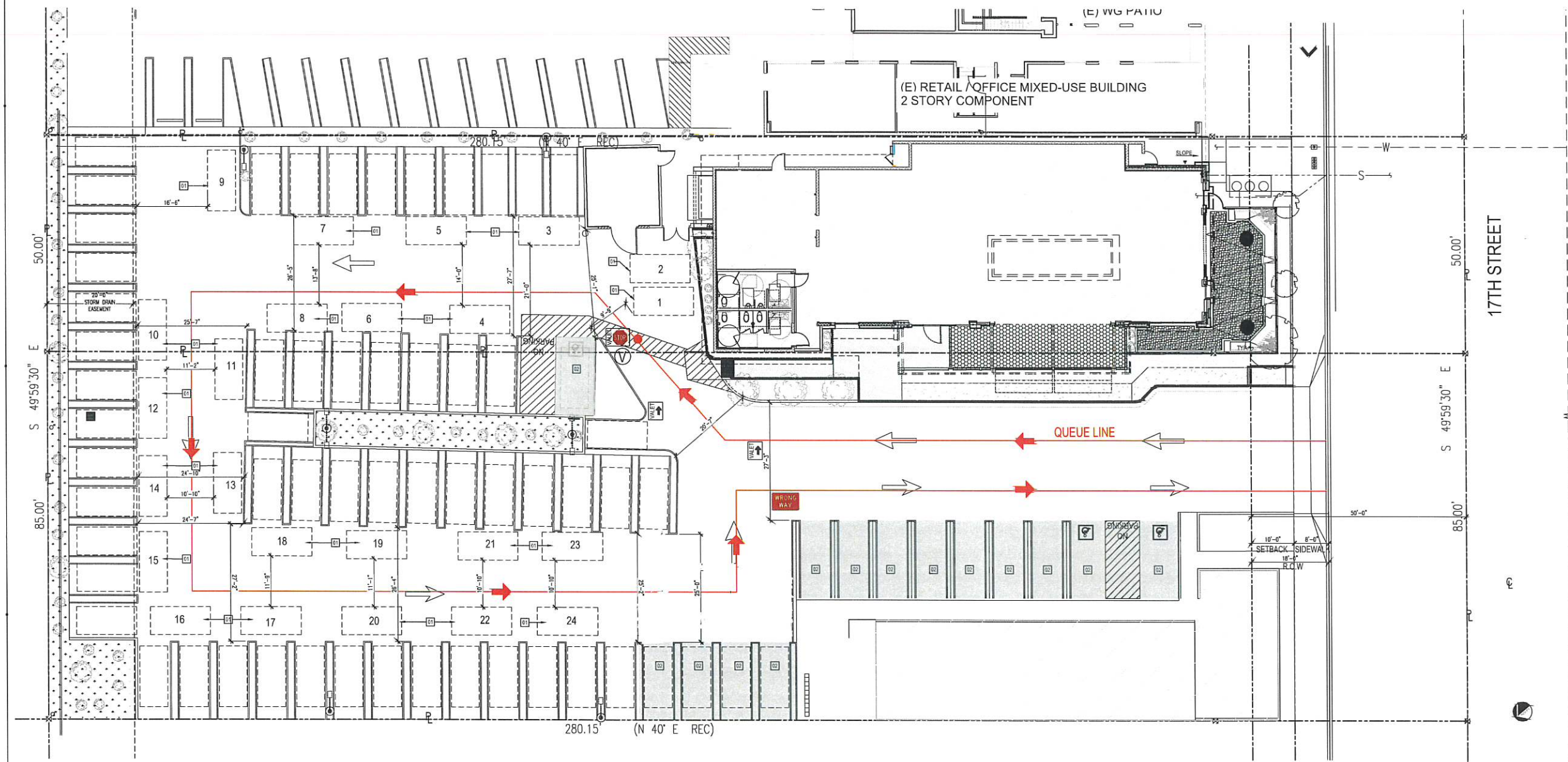
Playa Mesa  
 428 17TH STREET  
 COSTA MESA, CA 92627

Sheet Title

PROPOSED VALET PARKING PLAN - SITE PLAN  
 SCALE: 1" = 10'-0" 01

PROPOSED VALET PARKING PLAN - SITE PLAN

Job Number:  
 23RH-A1128  
 Date:  
 04.11.23  
 Sheet No.:



PROPOSED VALET PARKING LOCATION  
 SELF PARK / NO VALET

PLAYA MESA EXISTING AREA:

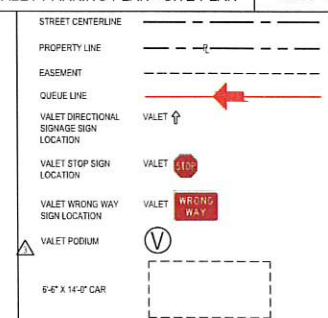
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TOTAL	2,149 S.F.

(E) REG. PKNG PROVIDED 66.0 SPACES  
 (E) ADA PKNG PROVIDED 3.0 SPACES  
 (N) VALET PKNG PROVIDED 27.0 SPACES  
 (E) TOT. PKNG PROVIDED 96.0 SPACES

BIKE RACK: 10 TOTAL SPACES





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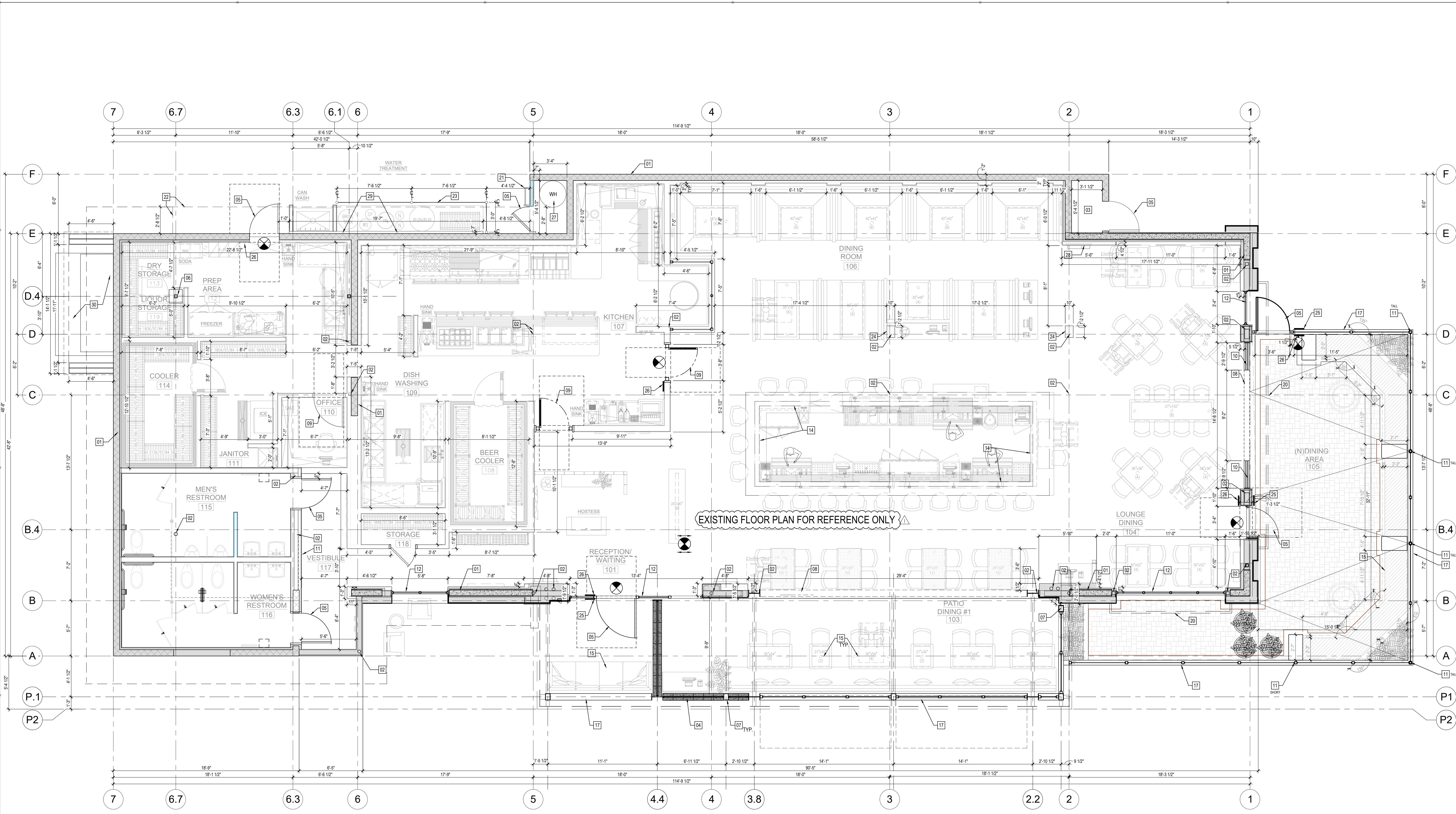
Stamp

Submittal Dates

Rev.	Description	Date
△	RESUBMITTAL	09.12.03

Project Type

Playa Mesa  
 428 17TH STREET  
 COSTA MESA, CA 92627



EXISTING FLOOR PLAN FOR REFERENCE ONLY SCALE: 1/4" = 1'-0" 01

**Fire Department Notes**  
 THE INSTALLATION OF AUTOMATIC FIRE SPRINKLER SYSTEMS SHALL COMPLY WITH THE UBC STANDARD NO. 9-1. INSTALLATION UNDER SEPARATE PERMIT OF NOT LESS THAN 40-B FOR KITCHEN.

PROVIDE ONE PORTABLE FIRE EXTINGUISHER WHICH HAS A CLASSIFICATION OF NOT LESS THAN 40-B FOR KITCHEN.

ALL DECORATIVE MATERIALS SHALL BE MAINTAINED IN A FLAME RETARDANT CONDITION.

BUILDING OCCUPANT SHALL SECURE PERMITS REQUIRED BY THE FIRE DEPARTMENT FROM THE FIRE PREVENTION BUREAU PRIOR TO OCCUPANCY THIS BUILDING.

THE CONSTRUCTION, REMODEL, OR DEMOLITION OF A BUILDING SHALL COMPLY WITH CFC ARTICLE 87.

PROVIDED OCCUPANT LOAD SIGNS AS REQUIRED BY CBC 1002.3

**General Notes**  
 ALL WELDS AND MILLSTRAPS TO BE GRIND SMOOTH, PRIME AND PAINTED. REFER TO STRUCTURAL AND ID DRAWINGS.

CAP ALL TUBE STEEL ENDS.

PRIMER FOR PAINTING AS REQUIRED.

PATIO STEEL TO BE POWDER COAT PAINTED PER EXTERIOR ELEVATIONS PRIOR TO INSTALLATION AND TOUCHED UP AS REQUIRED AFTER INSTALLATION.

G.C. TO INFORM ARCHITECT OF ALL DISCREPANCIES.

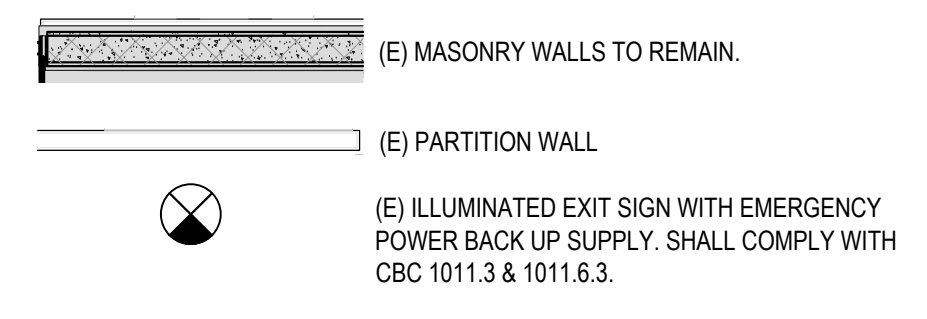
G.C. TO FIELD VERIFY ALL CONDITIONS. ADVISE ARCHITECT OF ANY DISCREPANCIES.

REFER TO ID DRAWINGS FOR ADDITIONAL INFORMATION REGARDING FINISHES AND EQUIPMENT.

REFER TO STRUCTURAL, ELECTRICAL, MECHANICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.

REFER TO ID FINISH SCHEDULE TO ALL INTERIOR WALL FINISHES

FLOOR AND GROUND SURFACES SHALL BE STABLE, FIRM, AND SLIP RESISTANT.



- |   |  |
|---|--|
| <ul style="list-style-type: none"> <li>01 (E) BUILDING STRUCTURE, TO REMAIN</li> <li>02 (E) STEEL COLUMN TO REMAIN</li> <li>03 (E) FIRE RISER ROOM, TO REMAIN</li> <li>04 12" x 4" DECORATIVE CONC. BLOCK, DOUBLE ROW W/ GAP - 3FORM DECORATIVE PANEL BETWEEN - EDGE LIGHTING AROUND PERIMETER OF PANEL</li> <li>05 (E) DOOR TO REMAIN</li> <li>06 (E) PLANTER @ 11" A.F.F</li> <li>07 (E) STEEL TRELLIS TO REMAIN</li> <li>08 (E) STRUCTURAL SUPPORT HEADER TO REMAIN</li> <li>09 (E) DOOR</li> <li>10 NOT USED</li> <li>11 (E) HSS 3 X 3 POST @ 10'-6" F.F (WHERE SUPPORTING TIVOLI LIGHTS) OTHERWISE 6'-10" @ F.F.</li> <li>12 (E) STOREFRONT SYSTEM TO REMAIN</li> <li>13 NOT USED</li> <li>14 (E) BAR AREA</li> <li>15 (E) PATIO FURNITURE</li> <li>16 NOT USED</li> <li>17 (E) SITE LOW WALL TO REMAIN</li> <li>18 NOT USED</li> <li>19 NOT USED</li> </ul> | <ul style="list-style-type: none"> <li>20 (E) METAL CHANNEL, TO REMAIN</li> <li>21 (E) ROOF LADDER, TO REMAIN</li> <li>22 (E) SOFFIT ABOVE, TO REMAIN</li> <li>23 (E) CHAIN LINK ENCLOSURE FENCE</li> <li>24 (E) COLUMN</li> <li>25 (E) INTERNATIONAL ACCESSIBILITY SYMBOL ON ENTRY PER CBC 11B-216.6</li> <li>26 (E) TACTILE EXIT SIGNAGE TO BE PROVIDED WITH THE WORD "EXIT", SHALL IDENTIFY EACH GRADE LEVEL EXTERIOR EXIT DOOR PER CBC SECTION 1011.4</li> <li>27 (E) WATER HEATER</li> <li>28 (E) FURRED OUT WALL</li> <li>29 NOT USED</li> <li>30 (E) ENCLOSED SWITCH GEAR</li> <li>31 PROPOSED FUTURE LOCATION OF OUTDOOR FIREPIT. NOTE: INSTALLATION CONTINGENT UPON APPROVAL OF CUP FOR FRONT PATIO USE.</li> </ul> |
|---|--|

Sheet Title  
 EXISTING FLOOR PLAN FOR REFERENCE ONLY  
 Job Number: 23R-HAI 128  
 Date: 04.11.23  
 Sheet No.: