

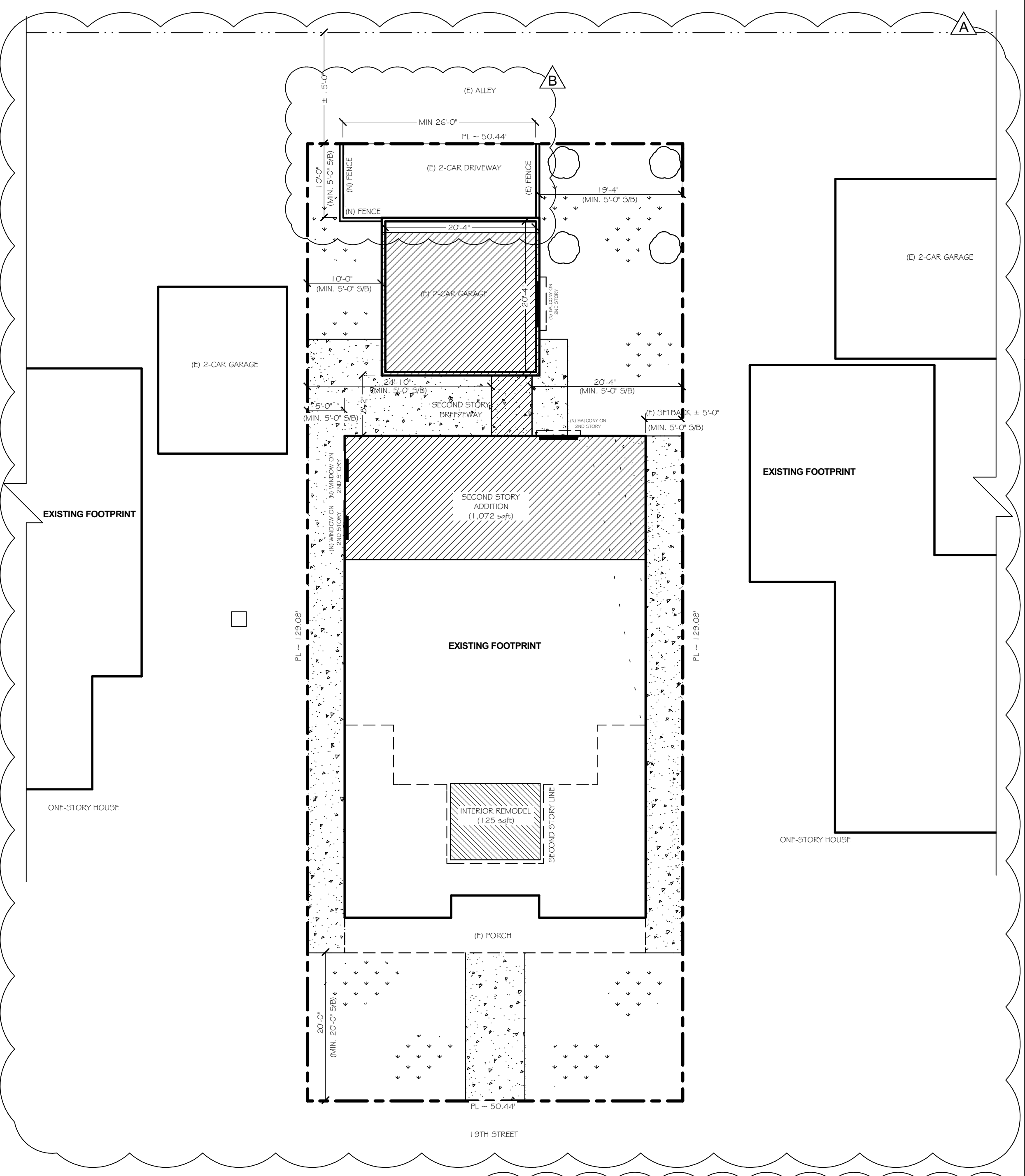
# NGUYEN RESIDENCE

## SECOND STORY ADDITION

283 E. 19th STREET,  
COSTA MESA, CA 92627

**ROOM COUNT:**

	BEDROOM	BATH
EXIST:	4	3.5
NEW:	5	4.5



**LOT COVERAGE CALCULATIONS:**

ZONE: R1, SINGLE-FAMILY RESIDENTIAL DISTRICT

**SETBACKS:**  
 SIDE: 5'-0" MIN. S/B  
 SIDE: 5'-0" MIN. S/B  
 FRONT: 20'-0" MIN. S/B, FACING GARAGE  
 REAR: 5'-0" MIN. S/B

**OPEN SPACE CALCULATIONS: (40% MIN)**

	EXISTING	PROPOSED
TOTAL LOT:	6,561	6,561
STRUCTURE COVERAGE + DRIVEWAY:	3,452 (52.6%)	3,594 (54.78%)
OPEN SPACE:	3,109 (47.4%)	2,967 (45.22%)

**STRUCTURE COVERAGE + DRIVEWAY:** THE AREA OF A LOT COVERED BY BUILDINGS INCLUDING DRIVEWAYS, PARKING LOTS, OTHER SURFACE DESIGNED OR INTENDED FOR VEHICULAR TRAVEL; UPPER FLOOR DECKS, BALCONIES, AREA UNDER PROJECTIONS WHICH ARE LESS THAN 8 FEET ABOVE GRADE; OR SURFACES COVERED BY MORE THAN 5 FEET IN DEPTH BY PROJECTIONS WHICH ARE AT LEAST 8 FEET ABOVE GRADE.

### SITE PLAN

SCALE: 3/32" = 1'-0"

### GENERAL NOTES:

- WORK PERFORMED SHALL COMPLY WITH THESE GENERAL NOTES UNLESS OTHERWISE NOTED ON THE PLAN.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH:
  - 2019 CALIFORNIA RESIDENTIAL CODE
  - 2019 CALIFORNIA BUILDING CODE
  - 2019 CALIFORNIA PLUMBING CODE
  - 2019 CALIFORNIA MECHANICAL CODE
  - 2019 CALIFORNIA ELECTRIC CODE
  - 2019 CALIFORNIA ENERGY EFFICIENCY STANDARDS FOR RESIDENTIAL
  - 2019 GREEN BUILDING STANDARDS CODE
  - MUNICIPAL CODE AS ADOPTED BY THE CITY OF COSTA MESA.
- ALL WORK TO COMPLY WITH ALL APPLICABLE LOCAL AND STATE CODES, ORDINANCES AND REGULATIONS.
- ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. NOTED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE OF REPAIR OR REPLACEMENT IN CONJUNCTION WITH THE EXECUTION OF THIS WORK.
- THE PROPERTY OWNER SHALL BE NOTIFIED IMMEDIATELY BY THE CONTRACTOR, SHOULD ANY DISCREPANCIES OR OTHER QUESTIONS ARISE PERTAINING TO THE WORKING DRAWINGS DURING CONSTRUCTION OR BIDDING.
- SEPARATE PERMIT(S) IS/ARE REQUIRED FOR ACCESSORY BUILDING, SWIMMING POOL, RETAINING WALL, WALLS OVER 3 FEET, PATIO COVERS, DEMOLITION, ETC.
- SETBACKS WERE MEASURED FROM EXISTING STRUCTURES TO ASSUMED PROPERTY LINES. CONTRACTOR SHALL VERIFY ALL SETBACKS PRIOR TO CONSTRUCTION. IF THERE IS A DISCREPANCY WITH THE SETBACKS, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE PROPERTY OWNER AND DESIGNER PRIOR TO CONSTRUCTION.
- FIRE SPRINKLER DRAWINGS (WHEN APPLICABLE) ARE A SEPARATE SUBMITTAL TO THE FIRE DEPARTMENT.
- BUILDING ADDRESS SHALL BE PROVIDED ON THE BUILDING IN SUCH A POSITION AS TO BE VISIBLE AND LEGIBLE FROM THE STREET. (CBC 501.2).
- THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.
- FOR SINGLE-FAMILY DWELLINGS AND DUPLEXES ARE NOT CHECKED FOR PLUMBING, MECHANICAL AND ELECTRICAL CODE COMPLIANCE. THESE DISCIPLINES ARE SUBJECT TO FIELD INSPECTION.
- TRUSS PLANS (WHEN APPLICABLE) ARE TO BE A DEFERRED SUBMITTAL. DEFERRED SUBMITTAL ITEMS SHALL BE REVIEWED AND APPROVED BY THE REGISTERED DESIGN PROFESSIONAL AND SUBMITTED TO THE BUILDING DEPARTMENT FOR APPROVAL.

### NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) NOTES:

- In the case of emergency, call \_\_\_\_\_ at CELL PHONE \_\_\_\_\_.
- Sediment from areas disturbed by construction shall be retained on site using structural controls to the maximum extent practicable.
- Stockpiles of soil shall be properly contained to minimize sediment transport from the site to streets, drainage facilities or adjacent properties via runoff, vehicle tracking or wind.
- Appropriate BMP's for construction related materials, wastes, spills shall be implemented to minimize transport from the site to the streets, drainage facilities or adjoining properties by wind or runoff.
- Runoff from equipment and vehicle washing shall be contained at construction sites unless treated to reduce or remove sediment and other pollutants.
- All construction contractor and subcontractor personnel are to be made aware of the required best management practices and good housekeeping measures for the project site and any associated construction staging areas.
- At the end of each day of construction activity all construction debris and waste material shall be collected and properly disposed of in trash or recycle bins.
- Construction sites shall be maintained in such a condition that an anticipated storm does not carry wastes or pollutants off the site. Discharges of material other than storm water only when necessary for performance and completion of construction practices and where they do not cause or contribute to a violation of any water quality standard; cause or threaten to cause pollution, contamination or nuisance; or contain a hazardous substance in a quantity reportable under Federal Regulations 40 CFR Parts 117 and 302.
- Potential pollutants include but are not limited to solid or liquid chemical spills, wastes from paints, stains, sealants, glues, limes, pesticides, herbicides, wood preservatives and solvents, asbestos fibers, paint flakes or stucco fragments, fuels, oils, lubricants, and hydraulic, radiator or battery fluids, fertilizers, vehicle/equipment wash water and concrete wash water, concrete, detergent or floatable wastes, wastes from any engine/equipment steam cleaning, or chemical degreasing, and super chlorinated potable water line flushing.
- During construction, permittee shall dispose of such materials in a specified and controlled area on site, physically separated from potential storm water runoff, with ultimate disposal in accordance with local, state and federal requirements.
- Dewatering of contaminated ground water or discharging contaminated soils via surface erosion is prohibited. Dewatering of non-contaminated ground water requires and (NPDES) permit from the respective State Regional Water Quality Control Board.
- Graded areas on the permitted area perimeter must drain away from the face of slopes at the conclusion of each working day. Drainage is to be directed toward desilting facilities.
- The permittee and contractor shall be responsible and shall take necessary precautions to prevent public trespass onto areas where impounded water creates a hazardous condition.
- The permittee and contractor shall inspect the erosion control work and insure that the work is in accordance with the approved plans.
- The permittee shall notify all general contractors, sub-contractors, material suppliers and property owners that: Dumping of chemicals into the storm drain system or the watershed is prohibited.
- Equipment and workers for emergency work shall be made available at all times during the rainy season. Necessary materials shall be available on site and stockpiled at convenient locations to facilitate rapid construction of temporary devices when rain is imminent.
- All removable erosion protective devices shall be in place at the end of each working day when the 5-day rain probability forecast exceeds 40%.
- Sediments from areas disturbed by construction shall be retained on site using an effective combination of erosion and sediment controls to the maximum extent practicable, and stock piles of soil shall be properly contained to minimize sediment transport from the site to the streets, drainage facilities or adjacent properties via runoff, vehicle tracking or wind.
- Appropriate BMP's for construction related materials, wastes, spills or residues shall be implemented and retained on site to minimize transport from the site to streets, drainage facilities, or adjoining properties by wind or runoff.

### VICINITY MAP



### CALGREEN NOTES:

- GENERAL CONSTRUCTION REQUIREMENTS**
- 2.2.1 Fireblocking is required in concealed spaces 10" O.C. horizontal, vertically at the ceiling and floor levels, connections between horizontal and vertical spaces, concealed spacing between stair and landing, openings around vents, pipes, ducts, cables, wires, chimneys, and fireplaces (CRC R302.11)
- CALIFORNIA GREEN BUILDING CODE 2019**  
 All work done shall be in accordance with 2019 California Green Building Standards Code (CALGreen) chapter 4 mandatory measures.
- 4.410.1 An operation and maintenance manual shall be provided to the building owner or occupant.
- 4.504.1 Duct openings and other related air distribution component openings shall be covered during construction.
- 4.504.2.1 Adhesives, sealants, and caulks shall be compliant with VOC and other toxic compound limits.
- 4.504.2.2 Paints, stains and other coatings shall be compliant with VOC limits.
- 4.504.2.3 Documentation shall be provided to verify that compliant VOC limit finish materials have been used.
- 4.504.3 Carpet and carpet systems shall be compliant with VOC limits.

**ADHESIVE VOC LIMIT (Less Water and Less Exempt Compound)**

ARCHITECTURAL APPLICATIONS	VOC LIMIT
Indoor carpet adhesives	50
Carpet paid adhesives	50
Outdoor carpet adhesives	150
Wood flooring adhesive	100
Rubber floor adhesives	60
Subfloor adhesives	50
Ceramic tile adhesives	65
VCT and asphalt tile adhesives	50
Drywall and panel adhesives	50
Cove base adhesives	50
Multipurpose construction adhesives	70
Structural glazing adhesives	100
Single-ply roof membrane adhesives	250
Other adhesives not specifically listed	50

**SPECIALTY APPLICATIONS**

PVC welding	510
CPVC welding	490
ABS welding	325
Plastic cement welding	250
Adhesive primer for plastic	550
Contact adhesive	80
Special purpose contact adhesive	250
Structural wood member adhesive	140
Top and trim adhesive	250

**SUBSTRATE SPECIFIC APPLICATIONS**

Metal to metal	30
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**VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS (Grams of VOC per Liter of Coating, Less Water)**

COATING CATEGORY	VOC LIMIT
Flat Coatings	50
Nonflat Coatings	100
Nonflat-high gloss Coatings	150

**Specialty Coating**

Aluminum roof coatings	400
Basement specialty coatings	400
Bituminous roof coatings	50
Bituminous roof primers	350
Bond breakers	350
Concrete curing compounds	350
Concrete/masonry sealers	100
Driveway sealers	50
Dry fog coatings	150
Faux finishing coatings	350
Fire resistive coatings	350
Floor coatings	100
Form-release compounds	250
Graphic arts coatings (sign paints)	500
High temperature coatings	420
Industrial maintenance coatings	250
Low solids coatings1	120
Magnesite cement coatings	450
Mastic texture coatings	100
Metallic pigmented coatings	500
Multicolor coatings	250
Retreatment wash primers	420

- 4.504.4 80% of floor area receiving resilient flooring shall comply with the VOC-emission limits defined in the Collaborative for High Performance Schools (CHPS), High Performance Database or be certified under the Resilient Floor Covering Institute (RFCI) FloorScore program; or meet California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers", Version 1.1, February 2010 (also known as specification 01350.)
- 4.504.5 Particleboard, medium density fiberboard (MDF) and hardwood plywood used in the interior finish systems shall comply with low Formaldehyde emission standards.

**FORMALDEHYDE LIMIT PRODUCT (Maximum formaldehyde Emissions)**

Hardwood plywood veneer core	0.05
Hardwood plywood composite core	0.05
Particleboard	0.09
Medium density fiberboard	0.11
Thin medium density fiberboard	0.13

4.505.2 Vapor barriers on the interior surfaces of walls shall be specified by the California Air Resources Board.

4.505.3 Moisture content of building materials used in wall and floor framing is checked before enclosure.

702.1 HVAC system installers are trained and certified in the proper installation of HVAC systems.

703.1 Verification of compliance with this code may include construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which show substantial conformance.

### ABBREVIATIONS:

AFF	ABOVE FINISHED FLOOR	LOC	LOCATION
B.O.	BOTTOM OF	TEMPD	TEMPERED
CLG	CEILING	T.O.	TOP OF
CLR	CLEAR	O.H.	OVERHANG
C.TOP	COUNTERTOP	VIF	VERIFY IN FIELD
EP	ELECTRICAL PANEL	VLTD VAULTED	
EQ	EQUAL	WC	WATER CLOSET
GYP. BD.	GYP/SUM BOARD	WIC	WALK-IN CLOSET
LPF	LINEAR PER FOOT (UNIT IN 12')	WM	WATER METER

### SB 407 COMPLIANCE

- EFFECTIVE JAN 1, 2014, SB 407 REQUIRES REPLACEMENT OF ALL NONCOMPLIANT PLUMBING FIXTURES IN PROPERTIES BUILT ON OR BEFORE JAN 1, 1994 WITH WATER-CONSERVING PLUMBING FIXTURES.
- WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH.
  - SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 80 PSI.
  - ALL FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI. EXCEPTION KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI.
- A COMPLETED AFFIDAVIT MAY BE PROVIDED TO THE BUILDING INSPECTOR AT OR BEFORE FINAL IN LIEU OF INSPECTIONS OF THESE FIXTURES.

### ARCH. SYMBOL LEGEND

	BLDG. SEC.		DEMO. NOTE
	DETAIL SEC.		KEYNOTE
	ELEVATION SEC.		REVISION NOTE

### SHEET INDEX

A-1	COVER SHEET / SITE PLAN
A-2	EXISTING / DEMO
A-3	PROPOSED PLANS
A-4.1	RIGHT & REAR ELEVATIONS
A-4.2	LEFT & FRONT ELEVATIONS
A-4.3	SECTIONS A, B & C
A-5	ROOF PLAN
MEP	MECHANICAL, ELECTRICAL & PLUMBING PLANS
T-24.1	ENERGY ANALYSIS + MANDATORY MEASURES
G-1	CALGREEN NOTES
SN.1	STRUCTURAL NOTES & TYP. DETAILS
S1.0	FOUNDATION PLAN
S2.0	2ND FLOOR FRAMING PLAN
S3.0	ROOF FRAMING PLAN
SD.1	STRUCTURAL DETAIL
SD.2	STRUCTURAL DETAIL

### PROJECT DATA

OCCUPANCY GROUP:	R-3/U
TYPE OF CONSTRUCTION:	VB
NUMBER OF STORIES:	2
LOT NO.:	20
TRACT NO.:	594
A.P.N.:	117-214-15
FIRE SPRINKLERS:	YES
ZONING:	R-1 SINGLE-FAMILY RESIDENTIAL
DESCRIPTION OF WORK:	-SECOND STORY ADDITION -INTERIOR REMODEL

### SQUARE FOOT CALCULATIONS

EXISTING 1st FLOOR AREA:	2,380 S.F.
EXISTING 2nd FLOOR AREA:	1,115 S.F.
TOTAL (E) LIVING AREA:	3,495 S.F.
EXISTING GARAGE AREA:	414 S.F.
TOTAL (E) AREA W/ GARAGE:	3,909 S.F.
PROPOSED 1st FLOOR AREA:	0 S.F.
PROPOSED 2nd FLOOR AREA:	1,072 S.F.
TOTAL (N) LIVING AREA:	1,072 S.F.
<b>AREA SUMMARY (AFTER ADD'N)</b>	
FINAL 1st FLOOR AREA:	2,380 S.F.
FINAL 2nd FLOOR AREA:	2,187 S.F.
FINAL TOTAL LIVING AREA:	4,567 S.F.

DISCLOSURE: SQUARE FOOT TABULATIONS WERE DERIVED FROM EXISTING RECORDS THAT ARE PUBLICLY ACCESSIBLE

### SCOPE OF WORK

- SECOND STORY ADDITION:**
- EXTEND SECOND STORY ADDITION ABOVE (E) HOUSE GARAGE
  - (N) SECOND STORY ADDITION ABOVE THE DETACHED GARAGE
- INTERIOR REMODEL (125 sqft):** (E) PLAYROOM TO BE CONVERTED INTO A (N) LAUNDRY ROOM
- DEFERRED SUBMITTAL**
- FIRE SPRINKLERS - TO BE DEFERRED SUBMITTAL
  - ROOF TRUSSES - TO BE DEFERRED SUBMITTAL

### PREPARED BY:

TRUPLANS  
 630 S. GLASSEL ST. SUITE 201  
 ORANGE, CA 92866  
 (714) 289-4652

### ENGINEER

HOOSHANG A. AFSHAR, PE LIC# C61157  
 17 COROZAL  
 FOOTHILL RANCH, CA 92610  
 (949) 413-4382

REVISIONS	ID
*ABC-PLAN CHECK *122-FIELD	
PLANNING DEPARTMENT 2/14/2021	A
PLANNING DEPARTMENT 2/10/2021	B
	C
	D
	E
	F

GENERAL CONTRACTOR

PREPARED BY:

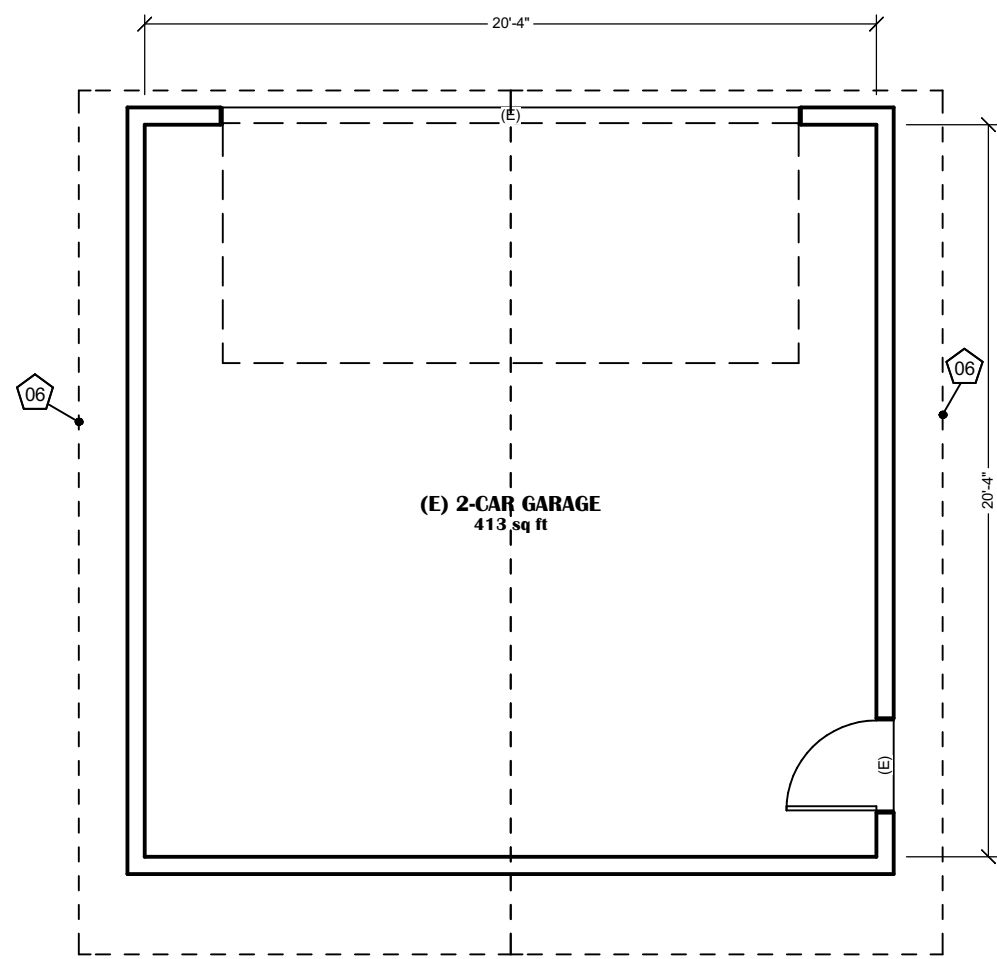
TRUPLANS  
 630 S. GLASSEL ST. SUITE 201  
 ORANGE, CA 92866  
 (714) 289-4652

SECOND STORY ADDITION to:

NGUYEN RESIDENCE  
 283 E. 19th STREET  
 COSTA MESA, CA 92627  
 (949) 922-0752

DRAWN	A.H.
CHECKED	J.D.
DATE	12/04/2020
SHEET SIZE TO SCALE	24" X 36"
JOB NO.	
SHEET	

A-1  
 COVER SHEET / SITE PLAN



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### WALL LEGEND

- EXISTING 2X WALLS TO REMAIN
- EXISTING 2X WALLS TO BE REMOVED
- 2X WD. STUDS @ 16" O.C. INTERIOR SIDE: 1/2" THK. GYP. BD. FINISH. BATH SIDE - PROVIDE MOISTURE RESISTANT-TYPE 1/2" THK. GYP. BD. ON EXTERIOR SIDE (WHERE STUCCO IS USED) - PROVIDE EXTERIOR PLASTER FINISH MIN 7/8" THICKNESS OVER 2 LAYERS GRADE D BUILDING PAPER (FELT) OVER PLYWOOD SHEATHING.
- 1 HR. FIRE RATED WALL: 2X4 WD. STUDS @ 16" O.C. WITH 5/8" TYPE 'X' GYP. BD. FINISH ON BOTH SIDES. BATH SIDE: PROVIDE 1/2" GYP. BD. MOISTURE RESISTANT TYPE, 2X6 WD. STUDS ON PLUMBING WALL SIDE.
- GUARD RAIL/SOLID LOW WALL: MIN. HT. 42". SEE PLAN FOR TYPE.
- 2X INFILL WD. STUDS @ 16" O.C. SAME FINISH AS

### UTILITY LEGEND

- SMOKE DETECTOR (HARDWIRED W/ BATTERY BACKUP)
- CARBON MONOXIDE/SMOKE DETECTOR COMBO (HARDWIRED W/ BATTERY BACKUP)
- HVAC

REVISIONS	ID
*ABC=PLAN CHECK *123=FIELD	
PLANNING DEPARTMENT 2/4/2021	A
PLANNING DEPARTMENT 2/10/2021	B

GENERAL CONTRACTOR

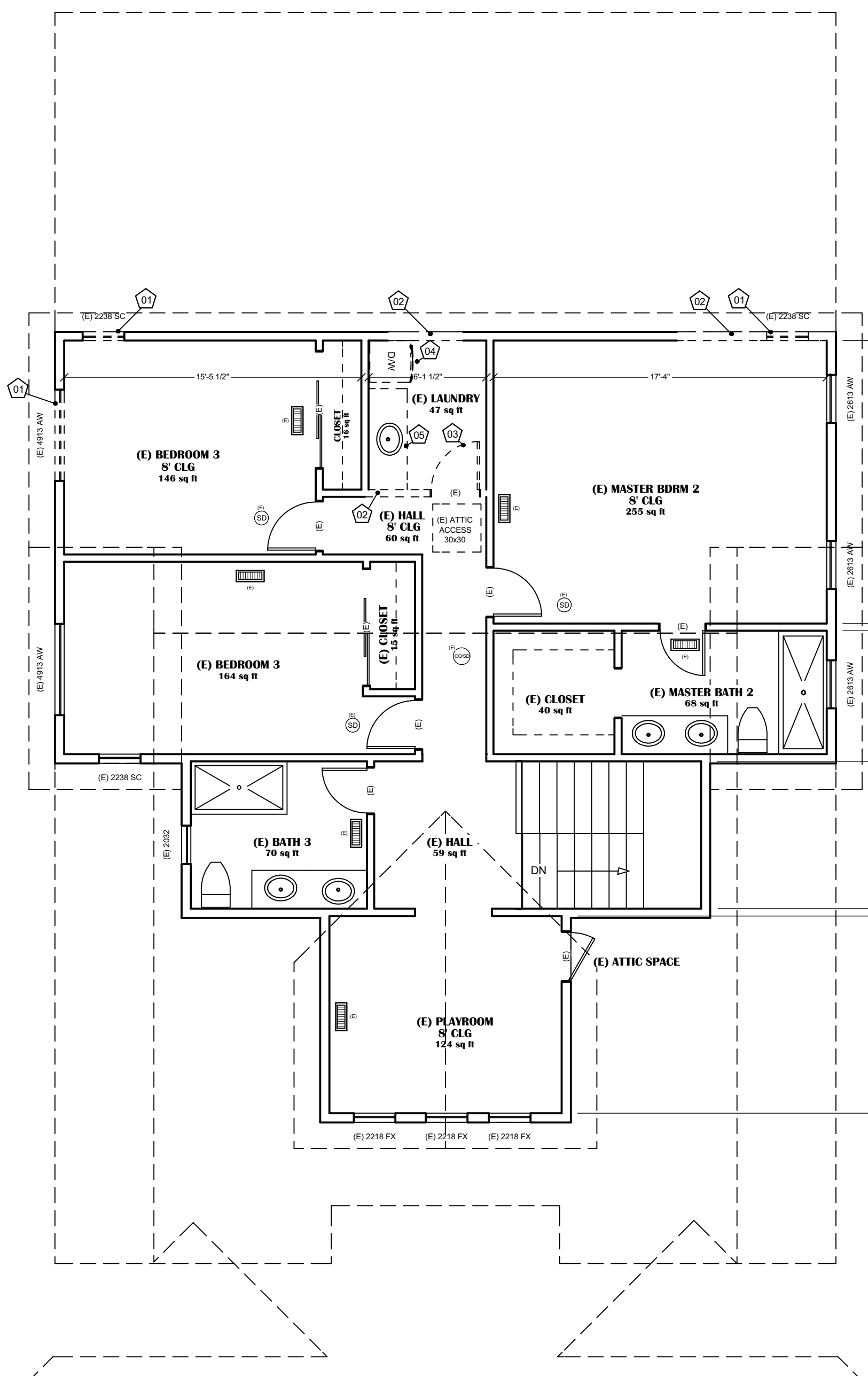
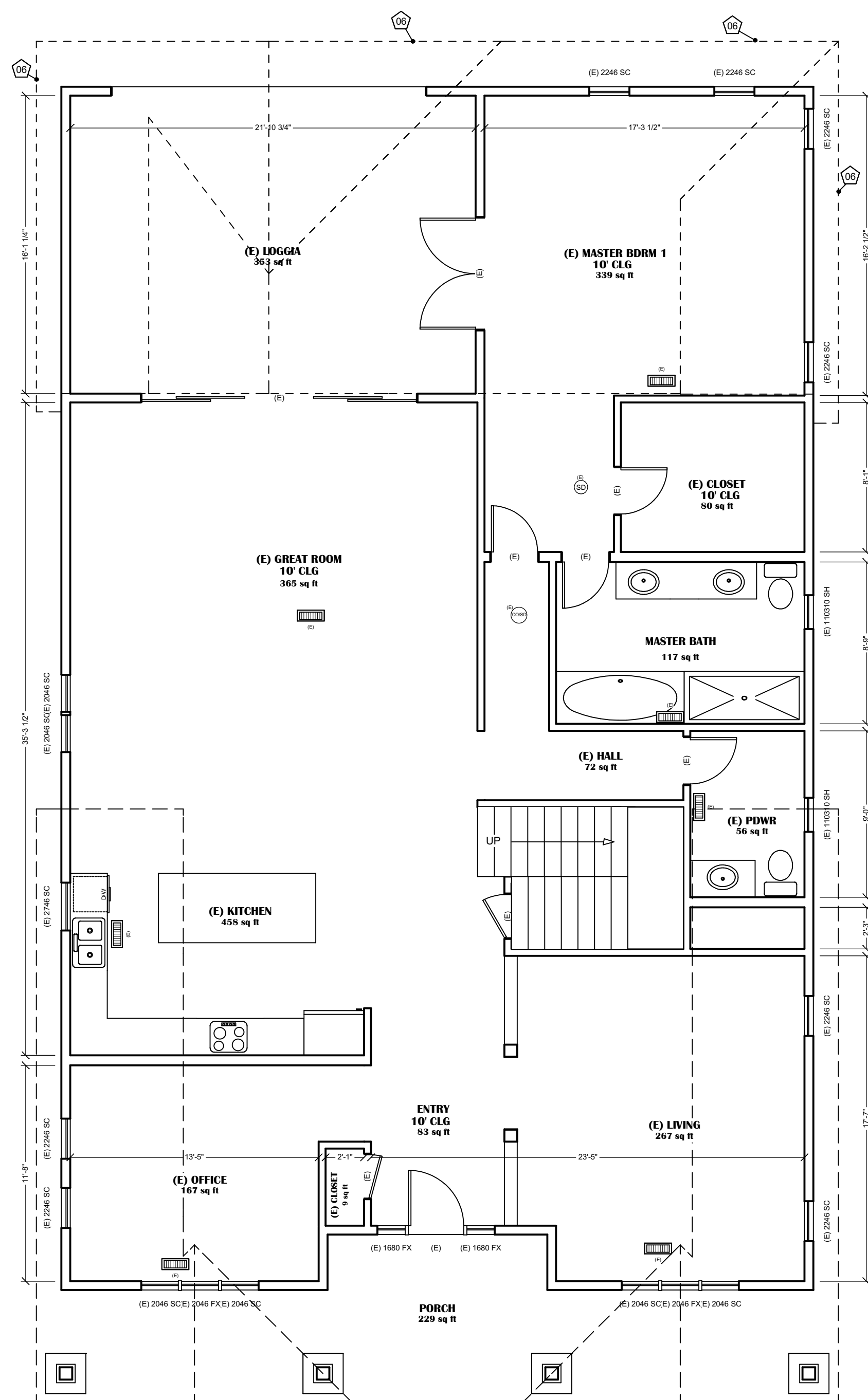
PREPARED BY:

*Alex Hurtado*

ALEX HURTADO

EXISTING HOUSE BUILT IN 2013

KEYNOTE REFERENCE		
NUMBER	LOC	DESCRIPTION
01	3	DEMO (E) WINDOW
02	3	DEMO (E) WALL
03	1	DEMO (E) DOOR
04	1	DEMO (E) DRYER/WASHER COMBO
05	1	DEMO (E) SINK
06	6	DEMO (E) ROOF



EXISTING 1st FLOOR PLAN - DEMO  
SCALE: 1/4" = 1'-0"

EXISTING 2nd FLOOR PLAN - DEMO  
SCALE: 1/4" = 1'-0"

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TRIPLANS  
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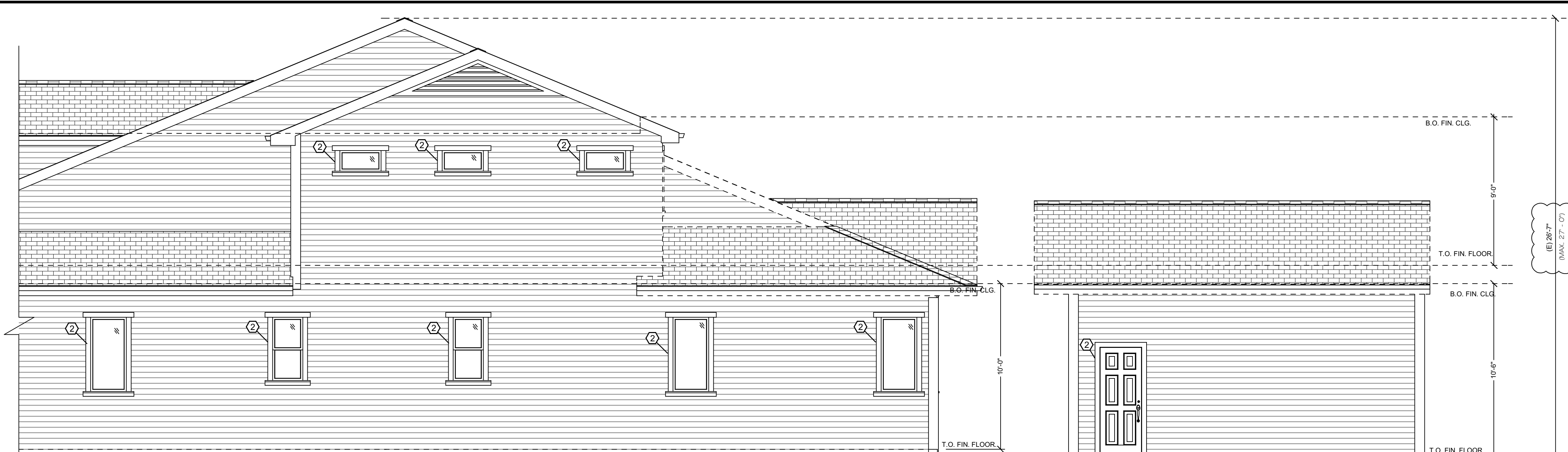
SHEET SIZE TO SCALE  
24" X 36"

JOB NO.  
SHEET

A-2

EXISTING / DEMO





**EXISTING RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"



**PROPOSED RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"



**EXISTING REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



**PROPOSED REAR ELEVATION**  
SCALE: 1/4" = 1'-0"

**DOOR SCHEDULE**

#	QTY	LABEL	TYPE	TEMPRD	FIRE	HEIGHT	WIDTH	ROOM NAME
D01	1	(N) 2468	POCKET			80"	28"	(N) MASTER BATH 3/
D02	1	(N) 5080	DOUBLE HINGED	YES		96"	60"	(N) MASTER BDRM 3/BEDROOM
D03	1	(N) 4080	DOUBLE HINGED			96"	48"	(N) MASTER BDRM 3/(N) BREEZEWAY
D04	1	(N) 5080	DOUBLE HINGED			96"	60"	(N) MASTER BDRM 3/(N) MASTER BATH 3
D05	1	(N) 4070	DOUBLE POCKET			84"	48"	(N) LAUNDRY/(E) HALL
D06	1	(N) 6080	DOUBLE HINGED	YES		96"	72"	(N) LIBRARY/
D07	1	(N) 3068	HINGED			80"	36"	(E) HALL/(N) MASTER BDRM 3

**DOOR NOTES:**  
 1 ALL GLAZING IN DOORS SHALL BE TEMPERED  
 2 DOOR PANEL DESIGN TO BE DETERMINED BY DESIGNER/ OR OWNER  
 3 SOLID OR HOLLOW CORE TO BE DETERMINED BY DESIGNER/ OR OWNER (U.N.O. - I.E. FIRE-RATED DOORS)  
 4 FIRE-RATED DOORS TO BE 1-3/8" SOLID CORE DOOR, 1-3/8" THICK SOLID/HONEYCOMB STEEL DOOR, OR MIN. 20-MIN RATED, TO BE EQUIP'D W/ SELF-CLOSING, TIGHT FITTING, SELF-LATCHING HARDWARE

**CONTRACTOR NOTES:**  
 1 CONTRACTOR TO VERIFY EXACT ROUGH OPENING SIZE PRIOR TO PURCHASING MATERIALS.  
 2 (E) = EXISTING, (N) = NAIL-ON/ NEW CONSTRUCTION, (R) = RETROFIT/ REPLACEMENT  
 3 SEE G-2 FOR SECURITY ORDINANCE & OR VFHSZ REQ'S (WHEN APPLICABLE PER CITY)

**WINDOW SCHEDULE**

#	QTY	LABEL	DESCRIPTION	EGRESS	TEMPRD	HEAD	SILL	HEIGHT	WIDTH	ROOM NAME
W01	2	(N) 3050 SH	SINGLE HUNG	YES		96"	36"	60"	36"	(N) MASTER BATH 3
W02	4	(N) 2040 SC	SNGL CASEMENT-HR			96"	48"	48"	24"	(N) LIBRARY
W03	1	(N) 4940 DC	DBL CASEMENT	YES		84"	36"	48"	57"	(N) BEDROOM 4
W04	1	(N) 5040 DC	DBL CASEMENT			80"	32"	48"	60"	(N) LIBRARY
W05	2	(N) 4040 DC	DBL CASEMENT			80"	32"	48"	48"	(N) BREEZEWAY
W06	1	(N) 4040 DC	DBL CASEMENT			98"	48"	48"	48"	(N) MASTER BDRM 3
W07	2	(N) 2613 AW	AWNING			84"	69"	15"	30"	(E) MASTER BDRM 2
W08	1	(N) 5040 DC	DBL CASEMENT	YES		96"	48"	48"	60"	(E) MASTER BDRM 2

**WINDOW NOTES:**  
 1. ALL GLAZING SHALL BE LOW-E, DUAL PANE GLASS. (IF VFHSZ, PROVIDE MIN. 1-PANE TO BE TEMPERED)  
 2. ALL GLAZING SHALL HAVE UFACTOR: MAX 0.30 AND SHGC FACTOR: MAX 0.23  
 3. FENESTRATIONS SHALL HAVE TEMPORARY AND PERMANENT LABELS FOR VERIFICATION OF THE BUILDING INSPECTOR.  
 4. MATERIAL, COLOR, TYPE AND STYLE TO MATCH EXISTING

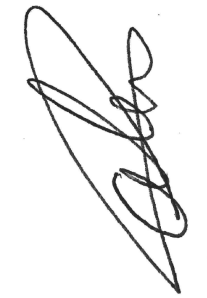
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 3. SEE G-2 FOR SECURITY ORDINANCE & OR VFHSZ REQ'S (WHEN APPLICABLE PER CITY)

- PROPOSED LEGEND:**
- (D#) NEW CONSTRUCTION OR REPLACEMENT DOORS (SEE DOOR SCHEDULE) - COLOR, STYLE TO MATCH
  - (W#) NEW CONSTRUCTION OR REPLACEMENT WINDOWS (SEE WINDOW SCHEDULE) - COLOR, TYPE, STYLE TO MATCH
  - (A) WALL INFILL OR NEW WALL (TO MATCH FINISH - COLOR, TYPE, TEXTURE - ON INTERIOR AND EXTERIOR)  
PROVIDE 2 LAYERS OF GRADE D PAPER (FELT) OVER PLYWOOD SHEATH'G WHERE STUCCO IS USED IN EXTR WALLS.
  - (B) EXISTING OR NEW LANDING (SEE PLAN)
  - (E) EGRESS
  - (R) NEW ROOFING (COLOR, TYPE, TEXTURE TO MATCH EXISTING) (REVIEW ROOF SPECIFICATION ON A-5 SHEET)
  - (T) TEMPERED GLASS
  - (V) NEW VENTS (SEE PLAN FOR SIZE, PROVIDE FLASHING)
  - (W) PROVIDE WEEP SCREED 4" MIN ABOVE SOIL (OR 2" MIN ABOVE PAVEMENT SLAB)

- DEMO LEGEND:**
- ① DEMO (FOR WINDOWS & DOORS: EXIST. HEADER TO REMAIN, U.N.O.)
  - ② EXISTING TO REMAIN

REVISIONS	ID
*ABC=PLAN CHECK *123=FIELD	
PLANNING DEPARTMENT 2/14/2021	A
PLANNING DEPARTMENT 2/10/2021	B

GENERAL CONTRACTOR

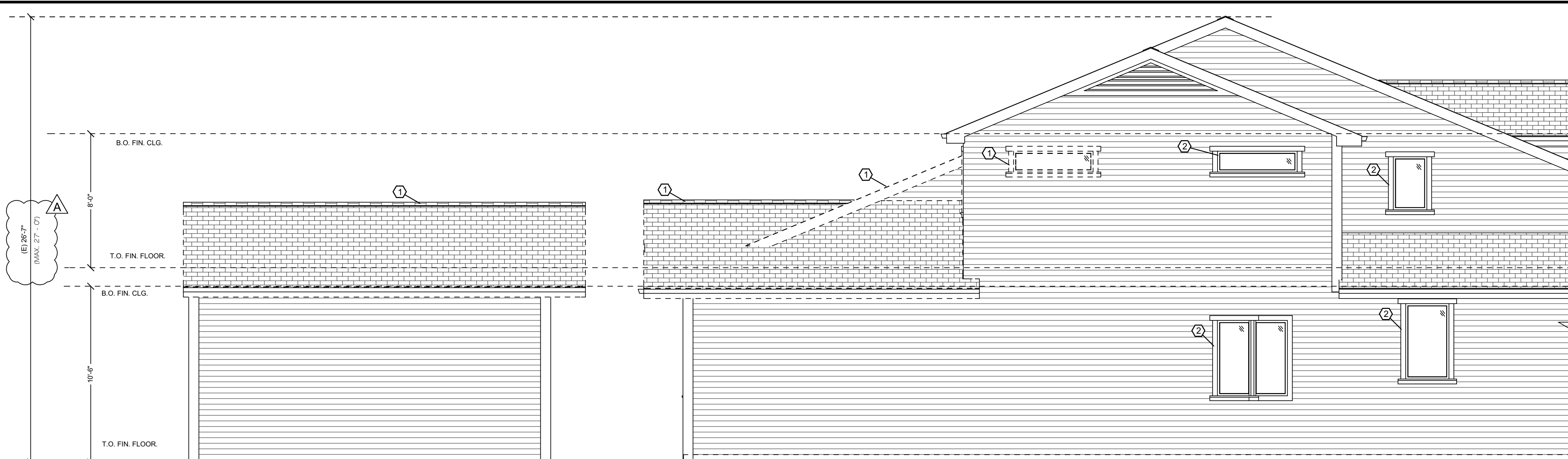
PREPARED BY:  
  
 ALEX HURTADO

PREPARED BY:  
 TRIUPLANS  
 630 S. GLASSER ST. SUITE 201  
 ORANGE, CA 92866  
 (714) 289-4652

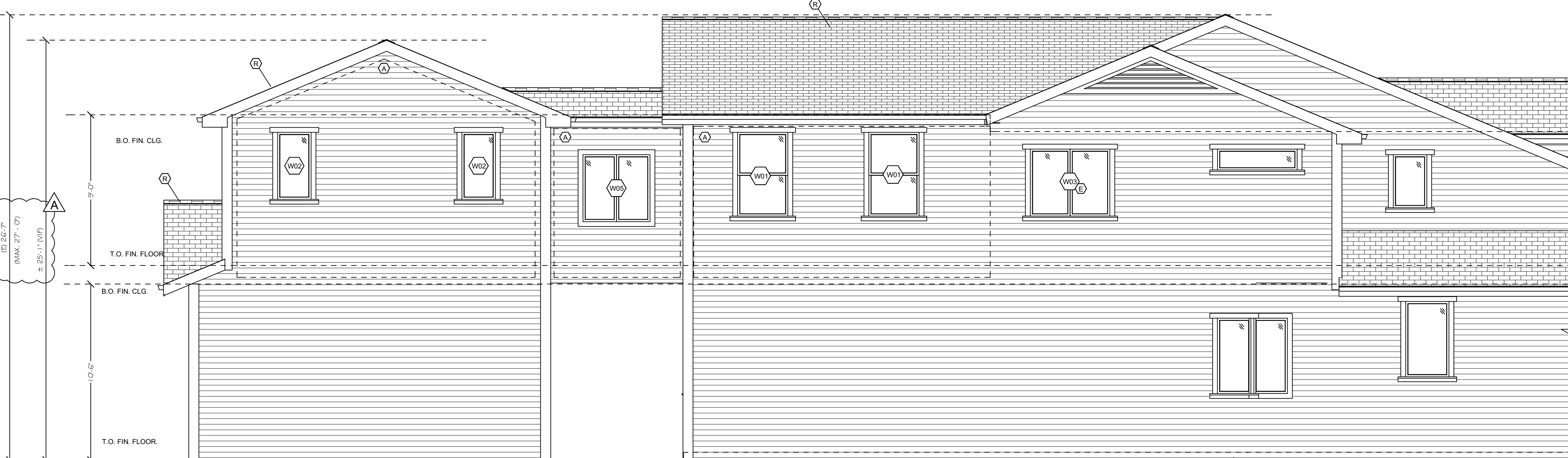
SECOND STORY ADDITION to:  
 NGUYEN RESIDENCE  
 283 E. 19th STREET  
 COSTA MESA, CA 92627  
 (949) 922-0752

DRAWN A.H.
CHECKED J.D.
DATE 12/04/2020
SHEET SIZE TO SCALE 24" X 36"
JOB NO. SHEET

**A-4.1**  
RIGHT & REAR ELEVATIONS



**EXISTING LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"



**PROPOSED LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"



**EXISTING FRONT ELEVATION (NO CHANGES)**  
SCALE: 1/4" = 1'-0"

**DOOR SCHEDULE**

#	QTY	LABEL	TYPE	TEMPRD	FIRE	HEIGHT	WIDTH	ROOM NAME
D01	1	(N) 2468	POCKET			80"	28"	(N) MASTER BATH 3/
D02	1	(N) 5080	DOUBLE HINGED	YES		96"	60"	(N) MASTER BDRM 3/BEDROOM
D03	1	(N) 4080	DOUBLE HINGED			96"	48"	(N) MASTER BDRM 3/(N) BREEZEWAY
D04	1	(N) 5080	DOUBLE HINGED			96"	60"	(N) MASTER BDRM 3/(N) MASTER BATH 3
D05	1	(N) 4070	DOUBLE POCKET			84"	48"	(N) LAUNDRY/(E) HALL
D06	1	(N) 6080	DOUBLE HINGED	YES		96"	72"	(N) LIBRARY/
D07	1	(N) 3068	HINGED			80"	36"	(E) HALL/(N) MASTER BDRM 3

**DOOR NOTES:**  
 1 ALL GLAZING IN DOORS SHALL BE TEMPERED  
 2 DOOR PANEL DESIGN TO BE DETERMINED BY DESIGNER/ OR OWNER  
 3 SOLID OR HOLLOW CORE TO BE DETERMINED BY DESIGNER/ OR OWNER (U.N.O. - I.E. FIRE-RATED DOORS)  
 4 FIRE-RATED DOORS TO BE 1-3/8" SOLID CORE DOOR, 1-3/8" THICK SOLID/HONEYCOMB STEEL DOOR, OR MIN. 20-MIN RATED, TO BE EQUIP'D W/ SELF-CLOSING, TIGHT FITTING, SELF-LATCHING HARDWARE

**CONTRACTOR NOTES:**  
 1 CONTRACTOR TO VERIFY EXACT ROUGH OPENING SIZE PRIOR TO PURCHASING MATERIALS.  
 2 (E) = EXISTING, (N) = NAIL-ON/ NEW CONSTRUCTION, (R) = RETROFIT/ REPLACEMENT  
 3 SEE G-2 FOR SECURITY ORDINANCE &/OR VHFHSZ REQ'S (WHEN APPLICABLE PER CITY)

**WINDOW SCHEDULE**

#	QTY	LABEL	DESCRIPTION	EGRESS	TEMPRD	HEAD	SILL	HEIGHT	WIDTH	ROOM NAME
W01	2	(N) 3050 SH	SINGLE HUNG	YES		96"	36"	60"	36"	(N) MASTER BATH 3
W02	4	(N) 2040 SC	SNGL CASEMENT-HR			96"	48"	48"	24"	(N) LIBRARY
W03	1	(N) 4940 DC	DBL CASEMENT	YES		84"	36"	48"	57"	(N) BEDROOM 4
W04	1	(N) 5040 DC	DBL CASEMENT			80"	32"	48"	60"	(N) LIBRARY
W05	2	(N) 4040 DC	DBL CASEMENT			80"	32"	48"	48"	(N) BREEZEWAY
W06	1	(N) 4040 DC	DBL CASEMENT			96"	48"	48"	48"	(N) MASTER BDRM 3
W07	2	(N) 2613 AW	AWNING			84"	69"	15"	30"	(E) MASTER BDRM 2
W08	1	(N) 5040 DC	DBL CASEMENT	YES		96"	48"	48"	60"	(E) MASTER BDRM 2

**WINDOW NOTES:**  
 1. ALL GLAZING SHALL BE LOW-E, DUAL PANE GLASS. (IF VHFHSZ, PROVIDE MIN. 1-PANE TO BE TEMPERED)  
 2. ALL GLAZING SHALL HAVE U-FACTOR: MAX 0.30 AND SHGC FACTOR: MAX 0.23  
 3. FENESTRATIONS SHALL HAVE TEMPORARY AND PERMANENT LABELS FOR VERIFICATION OF THE BUILDING INSPECTOR.  
 4. MATERIAL, COLOR, TYPE AND STYLE TO MATCH EXISTING

**CONTRACTOR NOTES:**  
 1. CONTRACTOR TO VERIFY EXACT ROUGH OPENING SIZE PRIOR TO PURCHASING MATERIALS.  
 2. (E) = EXISTING, (N) = NAIL-ON/ NEW CONSTRUCTION, (R) = RETROFIT/ REPLACEMENT  
 3. SEE G-2 FOR SECURITY ORDINANCE &/OR VHFHSZ REQ'S (WHEN APPLICABLE PER CITY)

- PROPOSED LEGEND:**
- (DH) NEW CONSTRUCTION OR REPLACEMENT DOORS (SEE DOOR SCHEDULE) - COLOR, STYLE TO MATCH
  - (WR) NEW CONSTRUCTION OR REPLACEMENT WINDOWS (SEE WINDOW SCHEDULE) - COLOR, TYPE, STYLE TO MATCH
  - (A) WALL INFILL OR NEW WALL (TO MATCH FINISH - COLOR, TYPE, TEXTURE - ON INTERIOR AND EXTERIOR)  
PROVIDE 2 LAYERS OF GRADE D PAPER (FELT) OVER PLYWOOD SHEATH'G WHERE STUCCO IS USED IN EXTR WALLS.
  - (E) EXISTING OR NEW LANDING (SEE PLAN)
  - (EGRESS) EGRESS
  - (R) NEW ROOFING (COLOR, TYPE, TEXTURE TO MATCH EXISTING) (REVIEW ROOF SPECIFICATION ON A-5 SHEET)
  - (T) TEMPERED GLASS
  - (V) NEW VENTS (SEE PLAN FOR SIZE, PROVIDE FLASHING)
  - (W) PROVIDE WEEP SCREED 4" MIN ABOVE SOIL (OR 2" MIN ABOVE PAVEMENT SLAB)

- DEMO LEGEND:**
- ① DEMO (FOR WINDOWS & DOORS: EXIST. HEADER TO REMAIN, U.N.O.)
  - ② EXISTING TO REMAIN

REVISIONS	ID
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PLANNING DEPARTMENT 2/10/2021	B

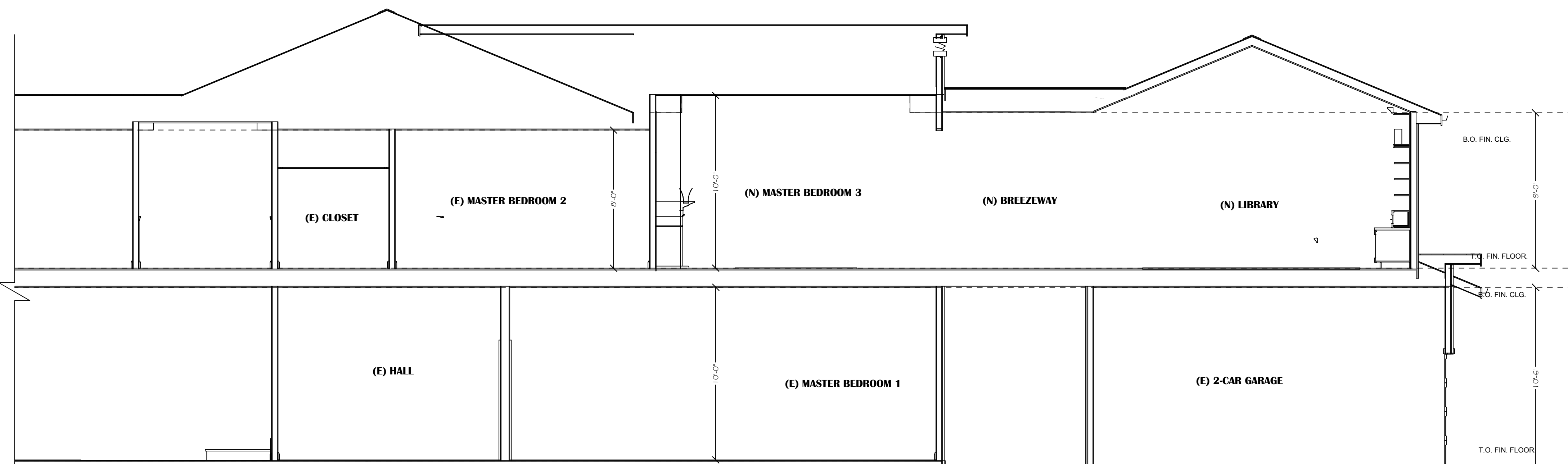
GENERAL CONTRACTOR

PREPARED BY:

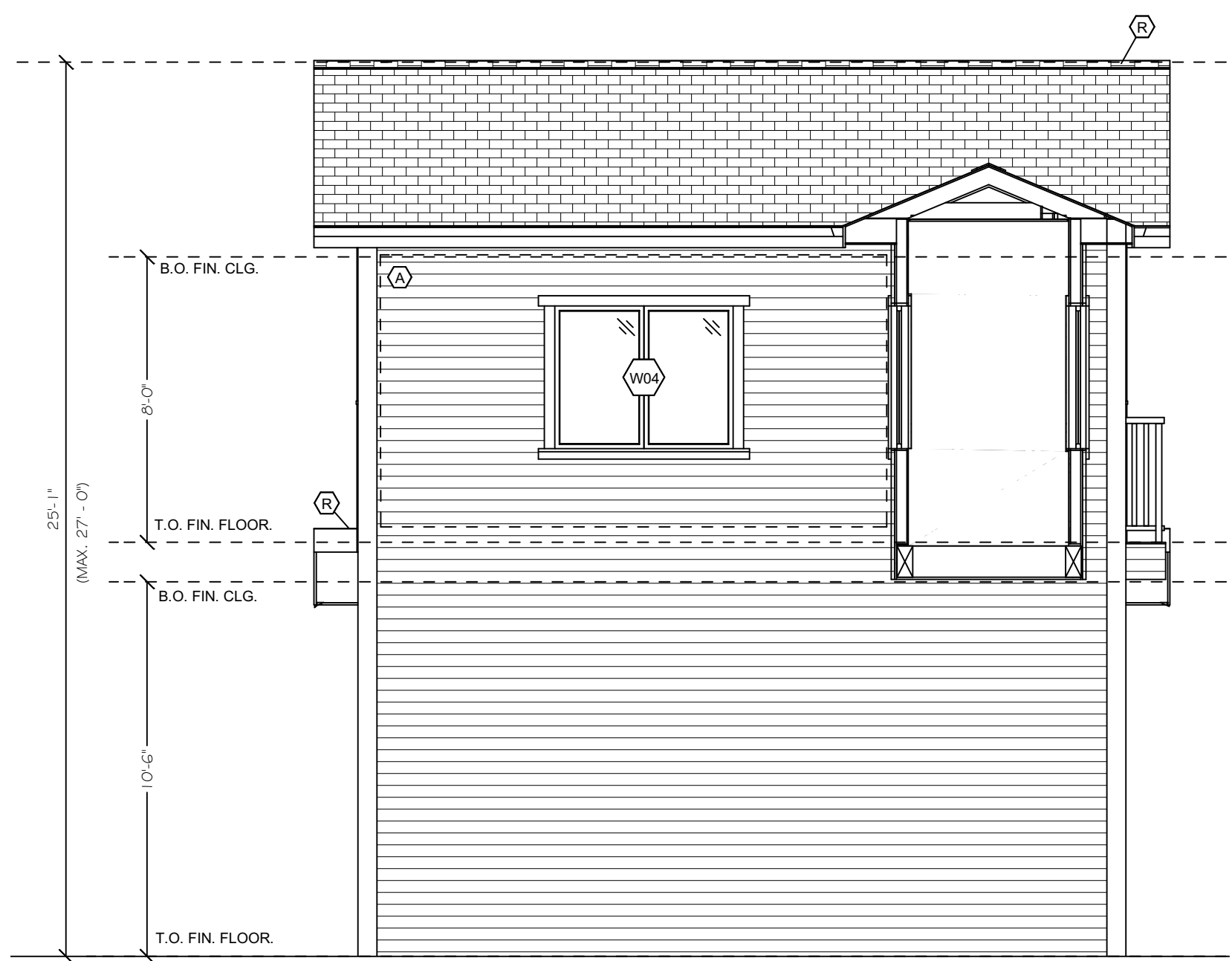
TRUPLANS  
 630 S. GLASSEL ST. SUITE 201  
 ORANGE, CA 92866  
 (714) 289-4652

SECOND STORY ADDITION to:  
 NGUYEN RESIDENCE  
 283 E. 19th STREET  
 COSTA MESA, CA 92627  
 (949) 922-0752

DRAWN A.H.
CHECKED J.D.
DATE 12/04/2020
SHEET SIZE TO SCALE 24" X 36"
JOB NO.
SHEET



**A**  
SECTION A  
SCALE: 1/4" = 1'-0"



**B**  
SECTION B  
SCALE: 1/4" = 1'-0"



**C**  
SECTION C  
SCALE: 1/4" = 1'-0"

**DOOR SCHEDULE**

#	QTY	LABEL	TYPE	TEMPR'D	FIRE	HEIGHT	WIDTH	ROOM NAME
D01	1	(N) 2468	POCKET			80"	28"	(N) MASTER BATH 3/
D02	1	(N) 5080	DOUBLE HINGED	YES		96"	60"	(N) MASTER BDRM 3/BEDROOM
D03	1	(N) 4080	DOUBLE HINGED			96"	48"	(N) MASTER BDRM 3/(N) BREEZEWAY
D04	1	(N) 5080	DOUBLE HINGED			96"	60"	(N) MASTER BDRM 3/(N) MASTER BATH 3
D05	1	(N) 4070	DOUBLE POCKET			84"	48"	(N) LAUNDRY/(E) HALL
D06	1	(N) 6080	DOUBLE HINGED	YES		96"	72"	(N) LIBRARY
D07	1	(N) 3068	HINGED			80"	36"	(E) HALL/(N) MASTER BDRM 3

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**WINDOW SCHEDULE**

#	QTY	LABEL	DESCRIPTION	EGRESS	TEMPR'D	HEAD	SILL	HEIGHT	WIDTH	ROOM NAME
W01	2	(N) 3050 SH	SINGLE HUNG		YES	96"	36"	60"	36"	(N) MASTER BATH 3
W02	4	(N) 2040 SC	SINGL CASEMENT-HR			96"	48"	48"	24"	(N) LIBRARY
W03	1	(N) 4940 DC	DBL CASEMENT	YES		84"	36"	48"	57"	(N) BEDROOM 4
W04	1	(N) 5040 DC	DBL CASEMENT			80"	32"	48"	60"	(N) LIBRARY
W05	2	(N) 4040 DC	DBL CASEMENT			80"	32"	48"	48"	(N) BREEZEWAY
W06	1	(N) 4040 DC	DBL CASEMENT			96"	48"	48"	48"	(N) MASTER BDRM 3
W07	2	(N) 2613 AW	AWNING			84"	69"	15"	30"	(E) MASTER BDRM 2
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- PROPOSED LEGEND:**
- (DN) NEW CONSTRUCTION OR REPLACEMENT DOORS (SEE DOOR SCHEDULE) - COLOR, STYLE TO MATCH
  - (WN) NEW CONSTRUCTION OR REPLACEMENT WINDOWS (SEE WINDOW SCHEDULE) - COLOR, TYPE, STYLE TO MATCH
  - (A) WALL INFILL OR NEW WALL (TO MATCH FINISH - COLOR, TYPE, TEXTURE - ON INTERIOR AND EXTERIOR)  
 PROVIDE 2 LAYERS OF GRADE D PAPER (FELT) OVER PLYWOOD SHEATH'G WHERE STUCCO IS USED IN EXTR WALLS.
  - (B) EXISTING OR NEW LANDING (SEE PLAN)
  - (E) EGRESS
  - (R) NEW ROOFING (COLOR, TYPE, TEXTURE TO MATCH EXISTING) (REVIEW ROOF SPECIFICATION ON A-5 SHEET)
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  - (V) NEW VENTS (SEE PLAN FOR SIZE, PROVIDE FLASHING)
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- DEMO LEGEND:**
- ① DEMO (FOR WINDOWS & DOORS: EXIST. HEADER TO REMAIN, U.N.O.)
  - ② EXISTING TO REMAIN

**REVISIONS**  
 \*ABC=PLAN CHECK  
 \*123=FIELD

PLANNING DEPARTMENT	ID
2/4/2021	A
PLANNING DEPARTMENT	B
2/10/2021	

GENERAL CONTRACTOR

PREPARED BY:  
  
 ALEX HURTADO

PREPARED BY:  
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