

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
DETAIL REFERENCE _____ DETAIL NUMBER _____ SHEET NUMBER _____ SUBJECT POINTER		BUILDING AND WALL SECTIONS _____ DETAIL NUMBER _____ CUT PLANE _____ SHEET NUMBER	
EXTERIOR ELEVATION _____ DETAIL NUMBER _____ SHEET NUMBER		INTERIOR ELEVATION _____ ELEVATION NUMBER _____ DETAIL NUMBER _____ SHEET NUMBER _____ ELEVATION NUMBER	
KEYNOTE 		CEILING HEIGHT _____ HEIGHT A.F.F. U.O.	
WALL TYPE _____ WALL TYPE _____ SUBJECT WALL		ACCESSORY TYPE 	
DOOR TYPE 		WINDOW TYPE 	
MISCELLANEOUS TYPE 		DELTA AND CLOUD 	
SIMPLE FINISH: MATERIAL AND COLOR _____ MATERIAL _____ COLOR		COMPLEX FINISH: MATERIAL, COLOR, & ADDITIONAL INFORMATION _____ MATERIAL _____ COLOR _____ ADDITIONAL INFO.	
ROOM IDENTIFICATION COMPACTOR ROOM _____ ROOM NAME F100 _____ ROOM NUMBER 100 SF _____ ROOM FLOOR AREA		MATCH LINE MATCH LINE SEE: AX.X-X _____ MATCH LOCATION SHEET	
ROOM OCCUPANCY LOAD _____ RM. OCCUPANCY GROUP _____ RM. NAME OR NUMBER _____ OCC. LOAD FACTOR _____ RM. FLOOR AREA _____ RM. OCCUPANT LOAD		EGRESS WIDTH _____ EGRESS COMPONENT _____ OCCUPANT LOAD _____ REQ'D MINIMUM WIDTH _____ PROVIDED WIDTH	
GRID LINE IDENTIFICATION 		GRID LINE IDENTIFICATION _____ GRID LINE IDENTIFICATION (X DENOTES EXISTING)	

[illegible]

COMMERCIAL INTERIOR TENANT IMPROVEMENTS. SCOPE OF WORK TO INCLUDE:

- REMOVAL CONSTRUCTION OF NON-BEARING WALLS
- HVAC
- ELECTRICAL
- PLUMBING

DEFERRED SUBMITTALS

- SIGNAGE
- FIRE ALARM

- SIGNAGE
- FIRE ALARM

1. THESE DRAWINGS ARE THE PROPERTY OF HESTIA ATELIER, LLP AND ARE NOT TO BE USED FOR ANY OTHER LOCATION OTHER THAN SHOWN HEREIN. OWNER IS LICENSED TO UTILIZE CONSTRUCTION DOCUMENTS FOR THIS LOCATION ONLY.
2. NO CHANGES ARE TO BE MADE ON THESE PLANS WITHOUT THE KNOWLEDGE OR CONSENT OF THE ARCHITECT. ANY CHANGES MUST BE IN WRITING AND SIGNED BY THE ARCHITECT.
3. DIMENSIONS AS INDICATED ARE THE DIMENSIONS TO BE USED FOR CONSTRUCTION. DO NOT SCALE DRAWINGS.
4. NO FRAMING OF ANY TYPE IS TO BE CONCEALED PRIOR TO INSPECTION
5. REFERENCES TO ANY DETAIL OR DRAWING IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT THE APPLICATION OF SCOPE DETAILED BY DRAWINGS. BY GOVERNING AGREEMENTS.
6. DIMENSIONS AND CONDITIONS AT THE JOB SITE SHALL BE VERIFIED BY ALL CONTRACTORS. DISCREPANCIES IN THE DRAWINGS OR BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO THE OWNER. CORRECTIONS, ADDITIONS OR INSTRUCTIONS SHALL BE ISSUED BY THE ARCHITECT PRIOR TO THE INSTALLATION OF ANY WORK. ALL DIMENSIONS ARE TO BE ROUGH UNLESS OTHERWISE NOTED. ARCHITECT'S DRAWINGS SHALL GOVERN OVER STRUCTURAL, MECHANICAL, ELECTRICAL AND LANDSCAPE DRAWINGS. ALL DRAWINGS SHALL BE ISSUED BY ARCHITECT.
7. ALL WORK, CONSTRUCTION AND MATERIALS SHALL COMPLY WITH ALL PROVISIONS OF THE BUILDING CODE AND WITH OTHER RULES, REGULATIONS, AND ORDINANCES GOVERNING THE PLACE OF THE CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF CALIFORNIA AND THE OWNER AND ANY DISCREPANCIES OR CONFLICT BETWEEN THE REQUIREMENTS OF THE CODE AND THE DRAWINGS, THE APPLICABLE CODES SHALL INCLUDE, BUT NOT BE LIMITED TO, CALIFORNIA BUILDING CODE 2018 EDITION
8. THESE DRAWINGS DO NOT CONTAIN THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.
9. ALL GYPSUM WALL BOARD TO BE 1/2" OR 5/8" THICK TYPE "X", UNLESS OTHERWISE NOTED OR REQUIRED FOR SPECIFIC WALL CONSTRUCTION.
10. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE STATE CONSTRUCTION SAFETY ORDER ENFORCED BY THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY.
11. CONTRACT NO TRENCHES OR EXCAVATIONS 5' OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND, OR OBTAIN NECESSARY PERMIT FROM THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY PRIOR TO THE ISSUANCE OF A BUILDING OR GRADING PERMIT.
12. EXACT LOCATION AND NUMBER OF EXT SIGN SHALL BE DETERMINED BY FIELD INSPECTOR AFTER THE INSPECTION OF THE EXISTING BUILDING. CONTRACTOR SHALL CONDUCT SUCH FIELD INSPECTION PRIOR TO INSTALLATION OF ANY EXT SIGNAGE.
13. FIRE EXTINGUISHERS SHALL BE PROVIDED AS FOLLOWS: 1-2ABC FIRE EXTINGUISHER FOR EACH 3000 SQ. FT. FIRE EXTINGUISHERS SHALL NOT EXCEED 7' TRAVEL DISTANCE AND SIGNS SHALL BE POSTED ABOVE ALL EXITS TO INDICATE THEIR LOCATION. THIS REQUIREMENT SHALL BE MONITORED BY MEASURING FROM THE TOP OF THE EXTINGUISHER TO FINISH FLOOR A MINIMUM OF 5' AND MAXIMUM OF 5'. EXTINGUISHERS LOCATED IN PUBLIC AREAS SHALL BE 2-ABC FIRE EXTINGUISHERS (RATING) 1 MOUNTED TO 10' CENTERS OF GRAVITY ABOVE FINISHED FLOOR LEVEL WITH MAXIMUM 4' PROTECTION FROM THE WALL. AN ADDITIONAL 2-2ABC EXTINGUISHER WILL BE REQUIRED NO MORE THAN 75' OF TRAVEL FROM ANY PORTION OF FUELING LOCATIONS. EXACT LOCATIONS OF EXTINGUISHERS SHALL BE DETERMINED BY FIELD INSPECTOR.
14. NO HAZARDOUS MATERIALS WILL BE STORED AND/OR USED WITHIN THE BUILDINGS WHICH EXCEED THE QUANTITIES LISTED IN THE CBC TABLES 307.1.1 (3) AND 307.1.2.
15. WHERE PERMANENT IDENTIFICATION IS PROVIDED FOR ROOMS AND SPACES, RAISED LETTERS SHALL ALSO BE PROVIDED AND SHALL BE ACCOMPANIED BY BRAILLE. SECTION 11778.5 ALL SIGNAGE REQUIREMENTS OF SECTION 11778.5 SHALL BE SATISFIED.
16. COMPLY WITH CBC SECTION 3303 REGARDING PROTECTION OF PEDESTRIANS DURING CONSTRUCTION.
17. WALL, FLOOR AND CEILING SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATIONS IN CBC TABLE 803.8.
18. DOOR CONTROL SYSTEM TO BE OOR-ARMOR 420 BY BENZACZO SCIENTIFIC ENGINEERING ORDO MANAGEMENT OR APPROVED EQUIV.
19. ANY DELAYED EGRESS SHALL COMPLY WITH CFC 1010.1.9.1 AND 1010.1.9.9 AS APPLICABLE.
20. ADDRESS NUMBERS SHALL BE MIN. OF 12 INCHES

	EARTH SHOWN IN SECTION		GYPSUM BOARD SHOWN IN SECTION
	CAST-IN-PLACE CONCRETE PLAN OR SECTION		CONT. WOOD BLOCK SHOWN IN SECTION
	BRICK PAVERS PLAN OR SECTION		FINISHED WOOD SECTION OR ELEVATION
	RIGID INSULATION OR SIDING PLAN OR SECTION		FINISHED WOOD SECTION OR ELEVATION
	METAL - TYPE AS NOTED PLAN OR SECTION		SPRAY FIREPROOFING SHOWN IN SECTION
	METAL - ROLLED SHAPE PLAN OR SECTION		BATT INSULATION P. THERMAL OR ACOUSTICAL AS NOTED
	PLASTER ON METAL LATH SHOWN IN SECTION		GLASS SHOWN IN SECTION
	DENSGLASS SHOWN IN SECTION		CMU SHOWN IN SECTION

[illegible]

1 - ADMINISTRATION

A. ALL WORK SHALL BE IN CONFORMANCE WITH THE CODES IDENTIFIED IN THE GOVERNING CODES SECTION LISTED BELOW.

2019 CALIFORNIA BUILDING CODE AND JURISDICTIONAL AMENDMENTS
2019 CALIFORNIA MECHANICAL CODE AND JURISDICTIONAL AMENDMENTS
2019 CALIFORNIA PLUMBING CODE AND JURISDICTIONAL AMENDMENTS
2019 CALIFORNIA ELECTRICAL CODE AND JURISDICTIONAL AMENDMENTS
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE AND JURISDICTIONAL AMENDMENTS
2019 CALIFORNIA FIRE CODE AND JURISDICTIONAL AMENDMENTS
2019 CALIFORNIA ENERGY CODE AND JURISDICTIONAL AMENDMENTS

COSTA MESA MUNICIPAL CODES AND ORDINANCES

ALL FINISHES SHALL COMPLY WITH CBC CHAPTER 8, TABLE 803.9

B. ACCESSIBILITY REQUIREMENTS PER THE FEDERAL ADA, ANSI 117.1-2003 AND 2019 CBC OR AS AMENDED BY STATE OR LOCAL REGULATIONS, WHICHEVER IS MOST RESTRICTIVE

A. PRIMARY OCCUPANCY (CHAPTER 3): M OCCUPANCY

B. **OCCUPANCY GROUP**

OCCUPANT LOAD (REFER TO A2.0 FOR DETAILED SQUARE FOOTAGE)

<u>ROOM NAME</u>	<u>AREA (NET)</u>	<u>OCCUPANT LOAD</u>
RECEPTION:	207 SF/ 15	14 OCCUPANTS
RETAIL:	896 SF/ 60	15 OCCUPANTS
OFFICE	77 SF/ 60	02 OCCUPANTS
VAULT:	57 SF/ 300	01 OCCUPANT
RECEIVING :	121 SF/ 60	03 OCCUPANTS
BREAK ROOM:	135 SF/ 60	03 OCCUPANTS
HALLWAY:	206 SF	ACCESSORY USE
RESTROOM:	77 SF	ACCESSORY USE
TOTAL:	1,776 SF (NET)	38 OCCUPANTS

EXIT
REQUIRED : 1 EXIT
PROPOSED : 2 EXIT

PERMITTED EXIT ACCESS TRAVEL DISTANCE: 200 FT FOR MERCANTILE (TABLE 1017.2)
PROPOSED EXIT ACCESS TRAVEL DISTANCE: (EXIT 1) 81 FEET (EXIT 2) 57 FEET

A. CONSTRUCTION TYPE (CHAPTER 5):	V-B
B. FULLY SPRINKLERED PER CHAPTER 9:	NO
C. PROJECT AREA (TENANT IMPROVEMENT): 3,607 SF (GROSS SF)	
D. NUMBER OF STORIES: 1 STORY	
E. SITE ACREAGE: 10,500 SF	
F. ZONING: C1-LOCAL BUSINESS	
G. GENERAL PLAN : GENERAL COMMERCIAL	
H. ADDRESS: 770 W 19TH ST COSTA MESA, CA 92627	
I. LOT COVERAGE: EXISTING 18% COVERAGE	
J. OCCUPANCY: M	
K. SETBACKS: FRONT: 20'-0", SIDE(INTERIOR): 15'-0" REAR: 0'	
L. APN: 422-271-24	
M. NUMBER OF PARKING (COSTA MESA MUNICIPAL CODE)	
TOTAL:	8 STALLS (REQUIRED) 12 PARKING (PROVIDED)

TOTAL: 1 STALLS (REQUIRED)
1 PARKING (PROVIDED)

CONDITIONAL USE PERMIT APPLICATION NUMBER: PA-21-39

PROPOSED OCCUPANCY GROUP: M OCCUPANCY

PLUMBING OCCUPANT LOAD FACTOR (TABLE A OF 2019 CPC CHAPTER 4)

NUMBER OF FIXTURES REQUIRED:

(1) WC, (1) LAV.

NUMBER OF FIXTURES PROVIDED:

1 RESTROOM, GENDER NEUTRAL (2019 CPC SECTION 422.2 EXCEPTION 3)

(1) WC, (1) LAV

ARCHITECT: HESTIA ATELIER, LLP
3 PETERS CANYON ROAD, STE #110
IRVINE, CA 92606
ATTN: HIDE IWAGAMI
PHONE: (949) 230-6006
EMAIL: hide.iwagami@hestiaatelier.com

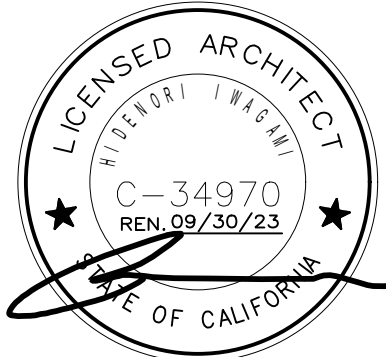
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ARCHITECTURAL								
E1.0	TITLE SHEET							
A1.0	SITE PLAN							
A1.1	EXISTING SITE PLAN							
A1.2	PHOTOMETRIC PLAN							
A2.0	FLOOR PLAN							
A3.0	ROOF PLAN							
A4.0	ELEVATIONS							
E1.0	CONCEPTUAL LANDSCAPE PLAN							
E1.0	ELECTRICAL PHOTOMETRICS							

TITLE SHEET

NEBRINA COSTA MESA
770 W 19TH STREET
COSTA MESA, CA 92627

3 PETERS CANYON RD STE #110
IRVINE, CA. 92606

See



Consultant

PRINA COSTA MESA
W 19TH STREET
TA MESA, CA 92627

HEET

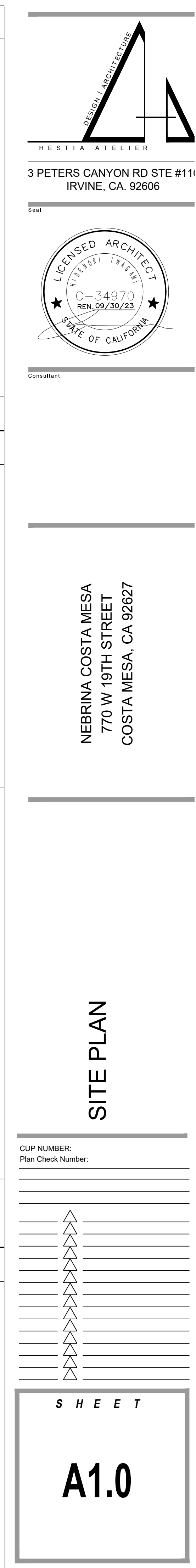
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CUP NUMBER: PA-21-39
Plan Check Number:

2022-11-02  CUP REVISION

S H E E T

T1.0



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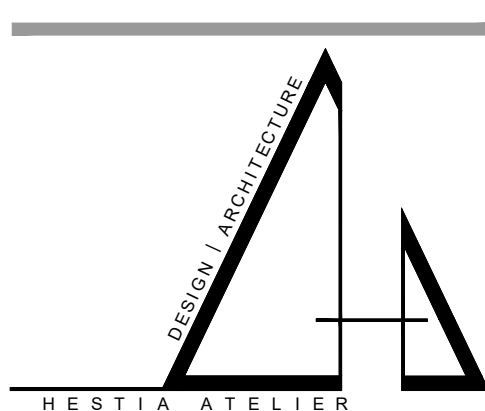
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drawing file name: - existing site plan.dwg



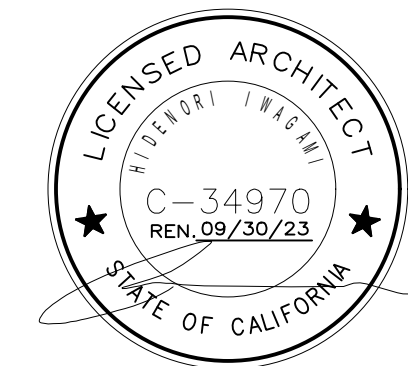
KEYNOTES

- EXISTING PARKING
- EXISTING DRIVEWAY
- EXISTING ASPHALT PAVEMENT
- EXISTING PROPERTY LINE
- EXISTING DRIVE ISLE
- EXISTING LANDSCAPING
- EXISTING BILLBOARD
- EXISTING ACCESSIBLE PARKING
- EXISTING ACCESSIBLE LOADING AREA
- EXISTING ACCESSIBLE PATH OF TRAVEL
- EXISTING SIDEWALK
- EXISTING WHEEL STOP
- EXISTING RECYCLE AND TRASH BINS
- EXISTING MANHOLE
- NOT USED
- EXISTING STEEL GATE
- EXISTING ELECTRICAL METER
- EXISTING CHAIN LINK FENCE
- EXISTING SITE CURB
- NOT USED
- EXISTING ADJACENT LOT. NOT IN SCOPE
- EXISTING FIRE LANE
- NOT USED
- EXISTING GAS METER
- EXISTING STREET LIGHT POST
- EXISTING WOOD FENCE



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EXISTING SITE PLAN

CUP NUMBER: PA-21-39

Plan Check Number:

2022-11-02 CUP REVISIONS

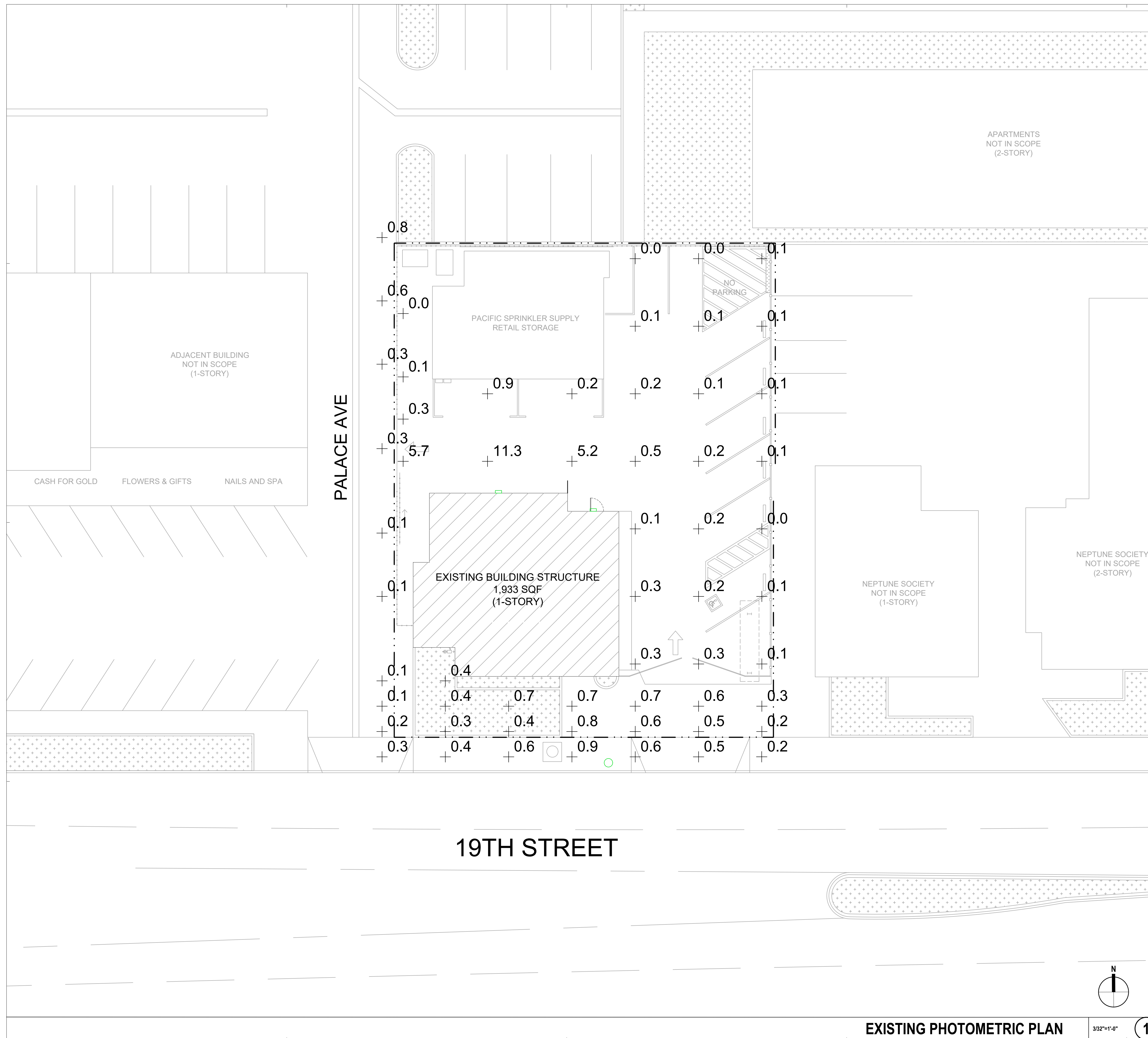
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EXISTING SITE PLAN

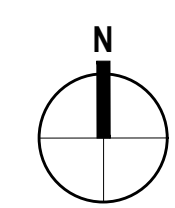
3/32"=1'-0"

1



EXISTING LIGHTING TYPE LEGEND

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ROOF PLAN

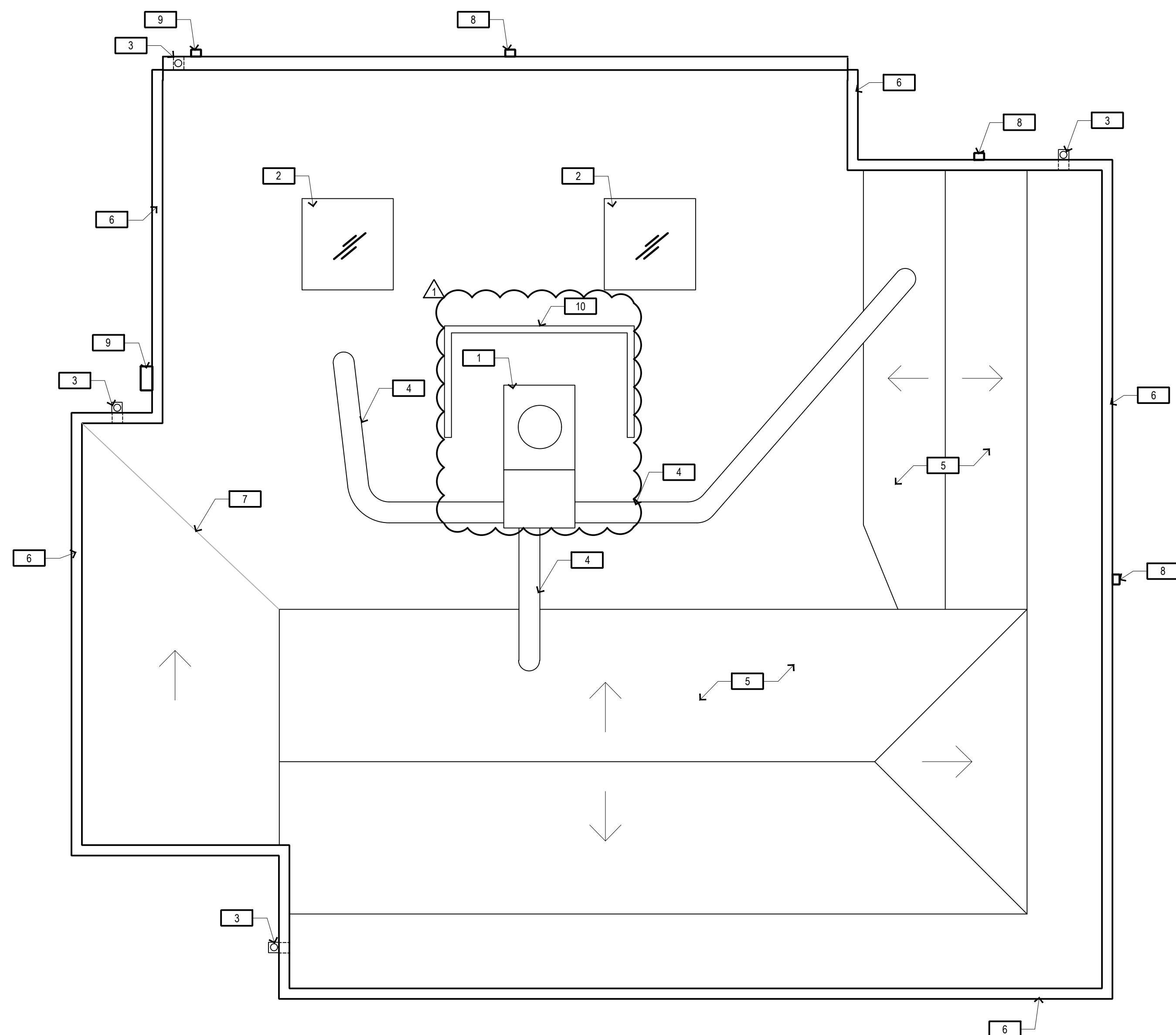
CUP NUMBER: PA-21-39

Plan Check Number:

2022-11-02 CUP REVISIONS

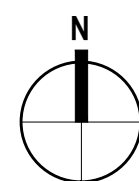
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KEYNOTES

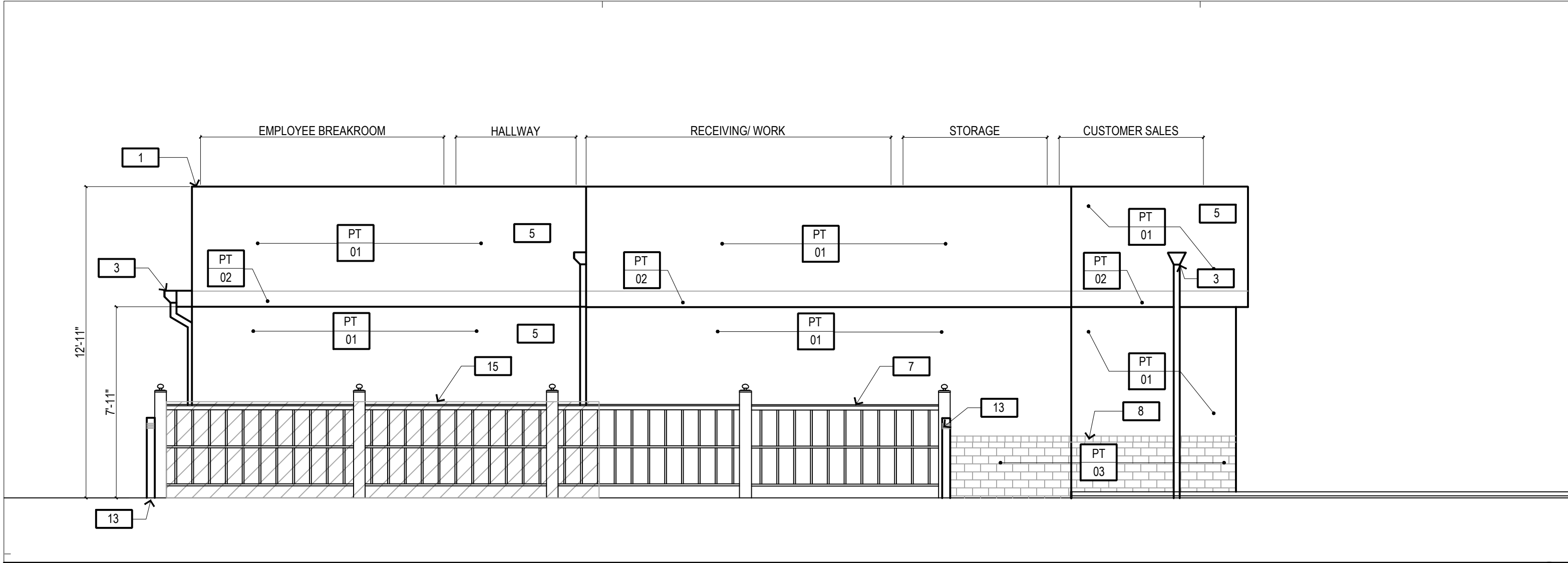
- | | |
|----|--|
| 1 | EXISTING ROOFTOP UNIT TO REMAIN |
| 2 | EXISTING SKYLIGHT TO REMAIN |
| 3 | EXISTING ROOF GUTTER TO REMAIN |
| 4 | EXISTING EXPOSED DUCTWORK TO REMAIN |
| 5 | EXISTING SLOPED ROOF WITH ASPHALT SHINGLES TO REMAIN |
| 6 | EXISTING PARPET TO REMAIN |
| 7 | EXISTING CRICKET TO REMAIN |
| 8 | EXISTING WALL MOUNTED LIGHT FIXTURE TO REMAIN |
| 9 | EXISTING UTILITY BOX TO REMAIN |
| 10 | NEW ROOFTOP SCREENING FOR EXISTING ROOFTOP UNIT |



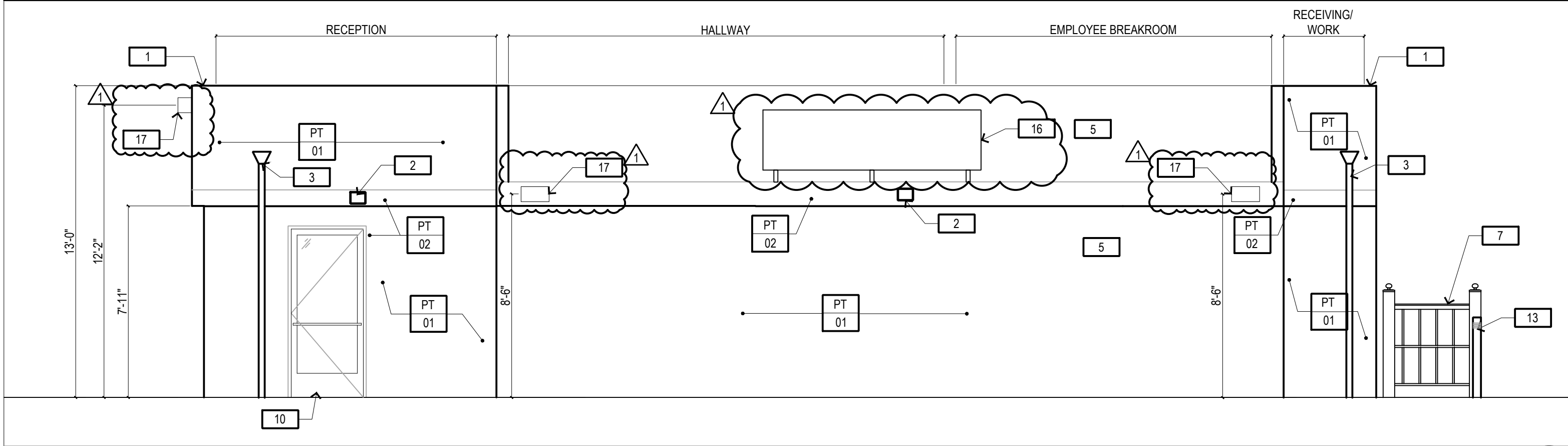
1/4"=1'-0"

(

ROOF PLAN



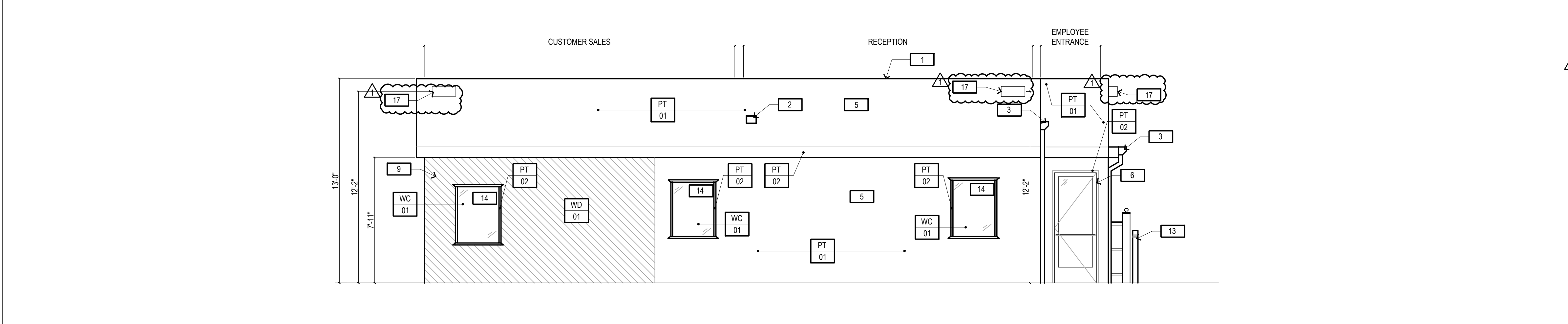
WEST ELEVATION 1/8"=1'-0" 4



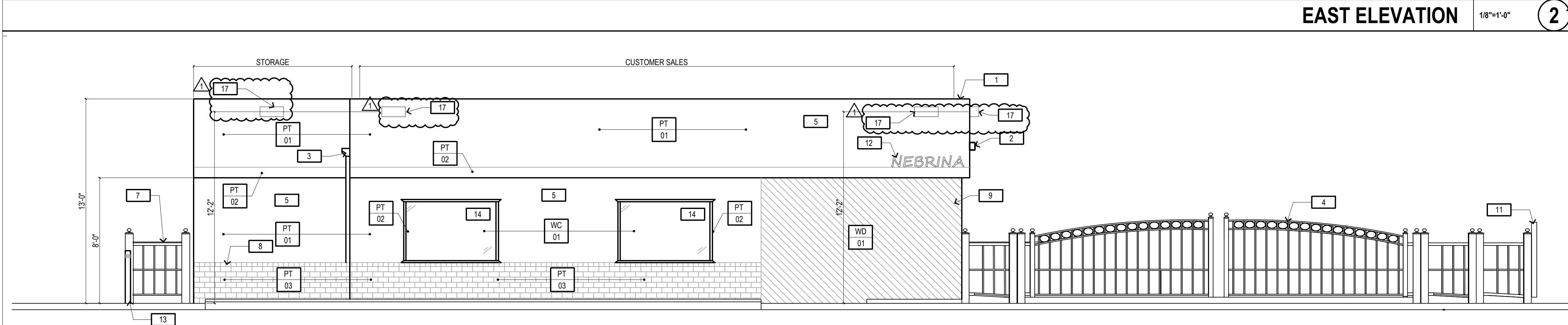
SOUTH ELEVATION 1/8"=1'-0" 3



CONCEPTUAL RENDERING



EAST ELEVATION 1/8"=1'-0" 2



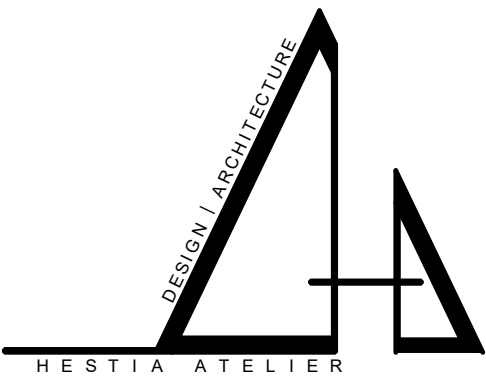
NORTH ELEVATION 1/8"=1'-0" 1

KEYNOTES

- 1 EXISTING ROOF PARAPET TO REMAIN
- 2 EXISTING WALL MOUNTED LIGHT FIXTURE
- 3 EXISTING ROOF DRAIN TO REMAIN. PAINT ROOF DRAIN TO MATCH EXISTING BUILDING EXTERIOR
- 4 EXISTING METAL GATE TO REMAIN
- 5 EXISTING WALL STUCCO TO BE PAINTED. COLOR: SHERWIN WILLIAM- PURE WHITE- EGGSHELL
- 6 EXISTING STORE FRONT DOOR TO REMAIN, ADD PRIVACY FILM TO INTERIOR SIDE. COLOR: 3MM FASARA GLASS FINISH CHAMONIX
- 7 NEW WROUGHT IRON FENCE AND GATE TO MATCH EXISTING GATE/FENCE SHOWN ON NORTH ELEVATION
- 8 EXISTING BRICK VENEER TO BE WHITE WASH PAINTED: COLOR: SHERWIN WILLIAMS-PURE WHITE- FLAT
- 9 NEW DIAGONAL WOOD SLATS
- 10 NEW DOOR TO MATCH EXISTING STOREFRONT. PROVIDE PRIVACY FILM TO INTERIOR COLOR: 3MM FASARA GLASS FINISH CHAMONIX
- 11 EXISTING WOOD FENCE TO REMAIN
- 12 PROPOSED NEW SIGNAGE. UNDER SEPARATE PERMIT
- 13 EXISTING BOLLARD TO REMAIN
- 14 EXISTING STOREFRONT GLAZING TO REMAIN, ADD PRIVACY FILM TO INTERIOR SIDE. COLOR: 3MM FASARA GLASS FINISH CHAMONIX
- 15 WROUGHT IRON SLIDING GATE BEHIND THE FENCE
- 16 NEW ROOFTOP SCREENING FOR EXISTING ROOFTOP UNIT
- 17 NEW WALL MOUNTED SECURITY LIGHT FIXTURE

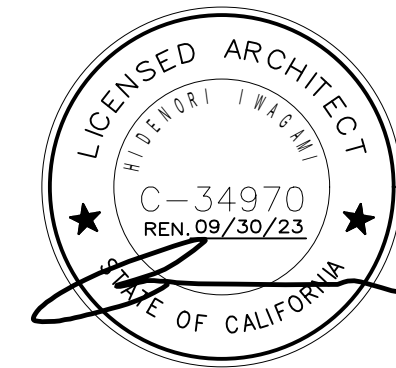
MATERIALS SCHEDULE

Item #	Room	Description/Location	Item	Size & Color	Finish
PT-1	Exterior	Paint @ Exterior Building Facade	SW7005	Pure White	Eggshell
PT-2	Exterior	Paint @ Exterior Trim	SW6258	Tricorn Black	Eggshell
PT-3	Exterior	Paint @ Exterior Brick to be White Washed	SW7005	Pure White	Flat
WC-1	Exterior	Typical Window Film	3M Fasara Glass Finish	Chamonix	
WD-1	Exterior	Typical Wood Slats @ Exterior	4" Diagonal Wood Slat	4" W Walnut	Satin



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EXTERIOR ELEVATIONS

CUP NUMBER: PA-21-39
Plan Check Number:

2022-11-02 CUP REVISIONS

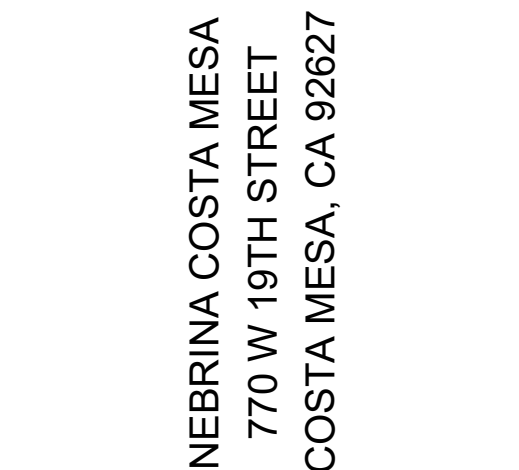
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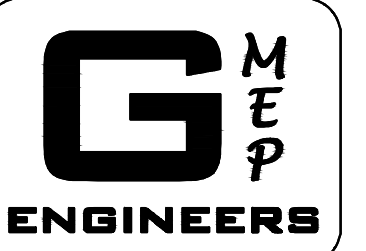
<u>SHRUB AREAS</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT</u>	<u>PF</u>	<u>SPACING</u>
	Senecio serpens / Blue Chalksticks	1 Gal.	L	24" o.c. 132

<u>SYMBOL</u>	<u>DESCRIPTION</u>	<u>QTY</u>
	2"-4" FRACTURED ROCK COBBLE OVER DE WITT WEED BARRIER PRO 'NEW CASTLE BROWN' BY DECORATIVE STONE SOLUTIONS, INC. OR APPROVED EQUIVALENT. CONTRACTOR SHALL PROVIDE A REPRESENTATIVE COLOR SAMPLE FOR REVIEW AND APPROVAL.	0.9 cy
<u>SYMBOL</u>	<u>DESCRIPTION</u>	<u>QTY</u>
	4" LAYER DECOMPOSED GRANITE OVER NATIVE 'DUNE' BY DECORATIVE STONE SOLUTIONS, INC. OR APPROVED EQUAL. CONTRACTOR TO PROVIDE SAMPLES FOR REVIEW AND APPROVAL.	10.79 cy

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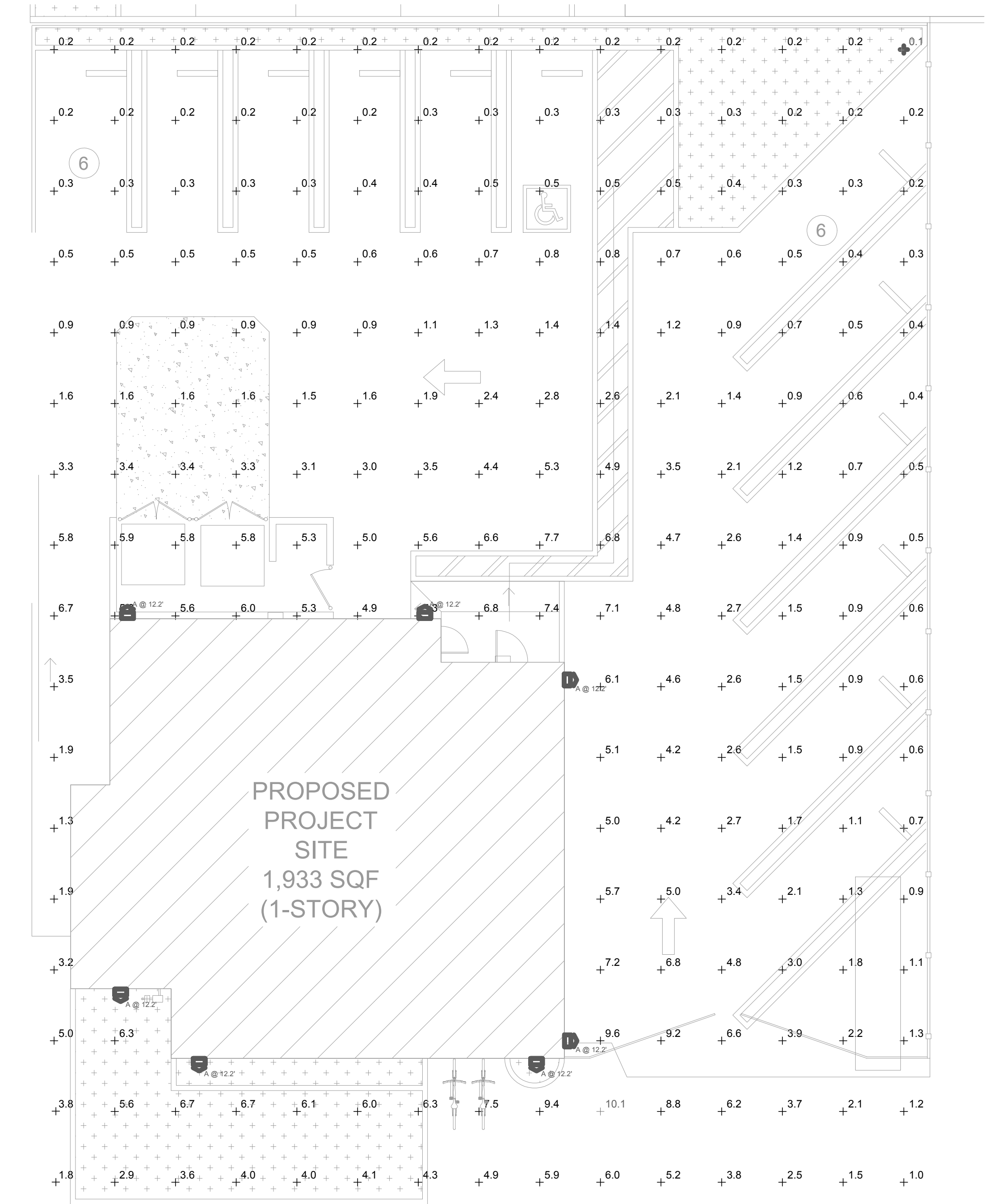
**8439 Rancho Pkwy. S., Ste 120
Lake Forest, CA 92630
Tel: 949-267-9095**

NEBRINA COSTA MESA
770 W 19TH STREET
COSTA MESA, CA 92627

ELECTRICAL PHOTO METRICS

Schedule								
Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	Input Power
	A	7	TCP	WP12000150	Outdoor Non-Cutoff and Semi-Cutoff Wall-Mounted Area Luminaires	1	14880	120.66

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Property Area	+	2.6 fc	10.1 fc	0.1 fc	101.0:1	26.0:1



ELECTRICAL SITE PLAN - PHOTOMETRICS

SCALE: 1/8" = 1'-0"

CUP NUMBER: PA-21-39
Plan Check Number:

[illegible]

E-1.0