

MESA STUDIO
ARCHITECTURE & DESIGN
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STAMP:



2280 ELDEN AVE. DEV.

24016

152 ALBERT PLACE LLC.

PLANNING APP - PDES-24-0013 BUILDING DEPARTMENT SUBMITTAL:

1ST SUBMITTAL -
2ND SUBMITTAL -
3RD SUBMITTAL -
4TH SUBMITTAL -

REVISIONS:

SHEET TITLE:

COVER SHEET

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SHEET NUMBER:

CS

PLOT DATE: 4/19/2025



2280 ELDEN AVENUE

APN 426-064-01

PLANNING APPLICATION v3

ABBREVIATIONS

PROJECT DIRECTORY

PROJECT SCOPE

L	ANGLE	IN	INCH OR INCHES
☉	CENTERLINE	INSUL	INSULATION
Ø	DIAMETER OR ROUND	INT	INTERIOR
A/C	AIR CONDITIONING	JAN	JANITOR
ABOV	ABOVE	JT	JOINT
ABOUS	ACOUSTICAL	KITCH	KITCHEN
ADJ	ADJUSTABLE	LAU	LAUNDRY
A.F.F.	ABOVE FINISH FLOOR	LAV	LAVATORY
ALUM	ALUMINUM	LT	LIGHT
ALT.	ALTERNATE OR ALTERNATIVE	MAX	MAXIMUM
APROX	APPROXIMATE	M.C.	MEDICINE CABINET
ARCH	ARCHITECTURAL	MECH	MECHANICAL
ASPH	ASPHALT	MEMB	MEMBRANE
AW	AWNING	MR	MANUFACTURER
BA	BATH	MIN	MINIMUM
BALC	BALCONY	MISC	MISCELLANEOUS
BD	BOARD	M.O.	MASONRY OPENING
BED	BEDROOM	MTD	MOUNTED
BITUM	BITUMINOUS	MTL	METAL
BLDG	BUILDING	MUL	MULLION
BLKG	BLOCKING	N.I.C.	NOT IN CONTRACT
BLW	BELOW	NO	NUMBER
BM	BEAM	NOM	NOMINAL
BOT	BOTTOM	N.T.S.	NOT TO SCALE
CAB	CABINET	OV	OVER
CEM	CEMENT	OA	OVERALL
CER	CERAMIC	O.H.	OVERHANG
C.I.	CAST IRON	OBS	OBSURE
CIR	CIRCLE OR CIRCULAR	O.C.	ON CENTER
CLG	CEILING	OFF	OFFICE
CLKG	CAULKING	OPNG	OPENING
CLR	CLEAR	OPP	OPPOSITE
C.M.U	CONCRETE MASONRY UNIT	PRCSTPRECAST	
COL	COLUMN	PL	PLATE
CONC	CONCRETE	PLAS	PLASTER
CONN	CONNECTION	PLYWD	PLYWOOD
CONST	CONSTRUCTION	PNT	POINT
CONT	CONTINUOUS	PR	PAIR
C.R.	CORROSION RESISTANT	P.T.	PRESSURE TREATED
CSMT	CASEMENT	R	RISER
C.T.	CERAMIC TILE	RAD	RADIUS
CNTR	CENTER	RECT	RECTANGULAR
CW	COLD WATER	REF	REFERENCE
DBL	DOUBLE	REFR	REFRIGERATOR
DEPT	DEPARTMENT	REINF	REINFORCED
DTL	DETAIL	REQ	REQUIRED
DH	DOUBLE HUNG	RESIL	RESILIENT
DIA	DIAMETER	REV	REVISION
DIM	DIMENSION	RF	ROOF
DISP	DISPENSER	RM	ROOM
DK	DECK	R.O.	ROUGH OPENING
DN	DOWN	RWD	REDWOOD
DR	DOOR	SC	SOLID CORE
DRN	DRAIN	SCHED	SCHEDULED
DS	DOWNSPOUT	SECT	SECTION
DWG	DRAWING	SH	SINGLE HUNG
ELEC	ELECTRICAL	SHWR	SHOWER
ELEV	ELEVATION	SHT	SHEET
EMER	EMERGENCY	SHTG	SHEATHING
ENCL	ENCLOSURE	SIM	SIMILAR
EQ	EQUAL	SLP	SLOPE
EQPT	EQUIPMENT	SLDR	SLIDER
EXIST	EXISTING	SNK	SINK
EXP	EXPANSION	SPEC	SPECIFICATION
EXPD	EXPOSED	SQ	SQUARE
EXT	EXTERIOR	SS	STAINLESS STEEL
FH	FIRE ALARM	SSD	SEE STRUCTURAL DRAWING
F.E.C.	FIRE EXTINGUISHER CABINET	STA	STATION
F.F.	FINISH FLOOR	STD	STANDARD
FG	FIXED GLASS	STL	STEEL
FIN	FINISH	STOR	STORAGE
FLASH	FLASHING	STR	STAIR
FLR	FLOOR	STRCT	STRUCTURAL
FLUOR	FLUORESCENT	SUSP	SUSPENDED
FND	FOUNDATION	SW	SOLID WOOD
F.O.C.	FACE OF CONCRETE	SYM	SYMMETRICAL
F.O.F.	FACE OF FINISH	T&G	TONGUE AND GROOVE
F.O.S.	FACE OF STUD	TB	TOWEL BAR
FRF	FIREPROOF	T.O.	TOP OF --
FR DR	FRENCH DOOR	THK	THICK
FT	FOOT OR FEET	T.O.C.	TOP OF CURB
FTG	FOOTING	T.P.	TOILET PAPER HOLDER
FURR	FURRING	T	TREAD
GA	GAUGE	T.O.W.	TOP OF WALL
GALV	GALVANIZED	TYP	TYPICAL
G.D.O	GARAGE DOOR OPENER	UNF	UNFINISHED
G.I.	GALVANIZED IRON	UN.O.	UNLESS NOTED OTHERWISE
GL	GLASS	UR	URINAL
GND	GROUND	VERT	VERTICAL
GR	GRADE	VEST	VESTIBULE
GYP	GYPSUM	w/	WITH
H.B.	HOSE BIBB	w/o	WITHOUT
H.C.	HOLLOW CORE	W.C.	WATER CLOSET
HD	HEADER	WD	WOOD
HDWD	HARDWOOD	WDW	WINDOW
HDW	HARDWARE	WP	WATERPROOF
HM	HOLLOW METAL	WSCT	WAINSCOT
HORIZ	HORIZONTAL	WT	WEIGHT
HR	HOUR	W.I.	WROUGHT IRON
HT	HEIGHT	W.I.C.	WALK IN CLOSET

CLIENT/OWNER:
 152 ALBERT LLC.
 2100 E. LINDA LANE
 NEWPORT BEACH, CA
 92660

ARCHITECT:
 MESA STUDIO ARCHITECTURE & DESIGN
 2942 CENTURY PLACE - SUITE 785
 COSTA MESA, CA 92626
 CONTACT: DAVID DILETTOSSO
 PHONE: 949.204.0076
 EMAIL: HELLO@MESASTUDIO.DESIGN

CIVIL ENGINEER | LAND SURVEYOR:
 TOAL ENGINEERING
 139 AVENIDA NAVARRO
 SAN CLEMENTE, CA 92672
 CONTACT: ANDREW SEBILIAN
 PHONE: 949.492.8586
 EMAIL: ASEBILIAN@TOALENGINEERING.COM

GEOTECHNICAL ENGINEER:
 EGA CONSULTANTS INC.
 375-C MONTE VISTA AVENUE
 COSTA MESA, CA 92627
 CONTACT: DAVID WORTHINGTON
 PHONE: 949.642.9309
 EMAIL: WORTHY10@AOL.COM

LANDSCAPE ARCHITECT:
 DSLA DESIGN
 CONTACT: NICK STRAABE
 PHONE: 714-717-1689
 EMAIL: NICK@DSLADDESIGN.COM

STRUCTURAL ENGINEER:
 BORM INTERNATIONAL
 2211 MICHELSON DR. SUITE #450
 IRVINE, CA 92612
 CONTACT: MASOUD BOKAIE
 PHONE: 949.264.7057
 EMAIL: MASOUDB@BORM.COM

MEPE CONSULTANT:
 GMPE ENGINEERS
 26439 RANCHO PKWY S., SUITE 120
 LAKE FOREST, CA 92630
 CONTACT: JACK WEAVER
 PHONE: 949-267-9095 EXT-326
 EMAIL: JACKW@GMEPE.COM

REVISION HISTORY



SCOPE: DEMOLISH 2 EXISTING SINGLE-STORY SFD HOMES TO DEVELOP/CONSTRUCT 2 NEW TWO-STORY SFD HOMES WITH ATTACHED 2-CAR GARAGES EACH AT THE CORNER OF ELDEN AND ALBERT PLACE. EACH HOMES CONSISTS OF 3 BEDROOM, 2.5 BATHS, AND OFFICE SPACES.

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PROJECT NOTES

- BUILDING DESIGN IS BASED ON TYPE V CONVENTIONAL FRAMING PROVISIONS OF THE 2022 CRC (SEE STRUCTURAL PLANS)
- BUILDING SHALL HAVE ADDRESS NUMBERS PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY w/ NUMBERS THAT CONTRAST WITH THE BACKGROUND AND ALPHABETICAL LETTERS A MIN. 4" w/ A MIN. STROKE OF 12"
- APPLICATIONS FOR WHICH NO PERMIT IS ISSUED WITHIN 180 DAYS FOLLOWING THE DATE OF APPLICATION SHALL AUTOMATICALLY EXPIRE (CRC 105.3.2)
- EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS WORK AUTHORIZED IS COMMENCED WITHIN 180 DAYS OR IF THE WORK AUTHORIZED IS SUSPENDED OR ABANDON FOR A PERIOD OF 180 DAYS. A SUCCESSFUL INSPECTION MUST BE OBTAINED WITHIN 180 DAYS. A PERMIT MAY BE EXTENDED IF A WRITTEN REQUEST STATING JUSTIFICATION FOR EXTENSION AND AN EXTENSION FEE IS RECEIVED PRIOR TO EXPIRATION OF THE PERMIT AND GRANTED BY THE BUILDING OFFICIAL. NO MORE THAN ONE (1) EXTENSION MAY BE GRANTED. PERMITS WHICH HAVE BECOME INVALID SHALL PAY A REACTIVATION FEE OF APPROXIMATELY 50% OF THE ORIGINAL PERMIT FEE AMOUNT WHEN THE PERMIT HAS BEEN EXPIRED FOR UP TO SIX (6) MONTHS. WHEN A PERMIT HAS BEEN EXPIRED FOR A PERIOD IN EXCESS OF ONE (1) YEAR, THE REACTIVATION FEE SHALL BE APPROXIMATELY 100% OF THE ORIGINAL PERMIT FEE (CRC 105.5)
- EFFECTIVE JAN 1, 2014, SB 407 REQUIRES REPLACEMENT OF ALL NONCOMPLIANT PLUMBING FIXTURES IN PROPERTIES BUILT ON OR BEFORE JAN 1, 1994 WITH WATER-CONSERVING PLUMBING FIXTURES.
- CONCRETE SLAB AND UNDER-FLOOR INSPECTIONS SHALL BE MADE AFTER IN-SLAB OR UNDER-FLOOR REINFORCING STEEL AND BUILDING SERVICE EQUIPMENT, CONDUITS, PIPING OR OTHER ANCILLARY BUILDING TRADE PRODUCTS OR EQUIPMENT ARE INSTALLED, BUT BEFORE ANY CONCRETE IS PLACED OR FLOOR SHEATHING IS INSTALLED, INCLUDING THE SUBFLOOR. (R109.1.1)
- ROUGH INSPECTION OF PLUMBING, MECHANICAL, GAS AND ELECTRICAL SYSTEMS SHALL BE MADE PRIOR TO COVERING OR CONCEALMENT, BEFORE FIXTURES OR APPLIANCES ARE SET OR INSTALLED, AND PRIOR TO FRAMING INSPECTION. (R109.1.2)
- WATER PIPING MATERIALS WITHIN A BUILDING SHALL BE IN ACCORDANCE WITH SEC. 604.1 OF THE CALIFORNIA PLUMBING CODE. PEX, CPVC AND OTHER PLASTIC WATER PIPING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF SEC. 604 OF THE CPC. INSTALLATION STANDARDS OF APPENDIX I OF THE CPC AND MANUFACTURERS RECOMMENDED INSTALLATION STANDARDS. CPVC WATER PIPING REQUIRES A CERTIFICATION OF COMPLIANCE AS SPECIFIED IN SEC 604.11 OF THE CPC PRIOR TO PERMIT ISSUANCE.
- THE STRUCTURE IS KNOWN TO BE LOCATED ENTIRELY ON UNDISTURBED NATIVE SOILS. IF THE BUILDING INSPECTOR SUSPECTS ANY GEOLOGICAL INSTABILITIES OR SUSPICIOUS FILL BASED UPON OBSERVATION OF FOUNDATION EXCAVATION, A SOILS OR GEOLOGICAL REPORT AND RE-SUBMITTAL OF PLANS SHALL BE REQUIRED TO VERIFY THAT THE SOILS REPORT RECOMMENDATIONS HAVE BEEN INCORPORATED.
- COMPLY WITH NFPA 13D 11.2.3.1 WATERFLOW DEVICES - WHERE WATERFLOW DETECTION DEVICES ARE INSTALLED, THESE DEVICES, INCLUDING THE ASSOCIATED ALARM CIRCUITS, SHALL BE LOW TESTED THROUGH THE INSPECTOR'S TEST CONNECTION AND SHALL RESULT IN AN AUDIBLE ALARM ON THE PREMISES.

PROJECT DATA

PROJECT TYPE: SINGLE FAMILY DETACHED
 APN: 426-064-01
 ZONING: R2-MD
 CONSTRUCTION TYPE: VB (NON-RATED) SPRINKLERED (13D)
 OCCUPANCY: R-3 DWELLING, U - GARAGE
 NUMBER OF STORIES: 2
 CODE COMPLIANCE: 2022 CRC, 2022 CPC, 2022 CMC, 2022 CEC, 2022 CA ENERGY CODE, 2022 CGBC, ALL AS AMENDED BY THE STATE OF CALIFORNIA AND THE CITY OF COSTA MESA

DEFERRED SUBMITTALS: TRUSS, FIRE SPRINKLER, & SOLAR
 NOTE: HERS VERIFICATIONS REQUIRED-SEE ENERGY REPORT

AREA CALCULATIONS

AREA CALCULATIONS - PLAN 1		AREA CALCULATIONS - PLAN 2	
FIRST FLOOR (LIVE-ABLE)	790 SQ FT	FIRST FLOOR (LIVE-ABLE)	835 SQ FT
SECOND FLOOR (LIVE-ABLE)	1,260 SQ FT	SECOND FLOOR (LIVE-ABLE)	1,329 SQ FT
TOTAL (LIVE-ABLE)	2,050 SQ FT	TOTAL (LIVE-ABLE)	2,164 SQ FT
GARAGE	486 SQ FT	GARAGE	474 SQ FT
OUTDOOR		OUTDOOR	
ENTRY PORCH	86 SQ FT		
COVERED BALCONY	107 SQ FT		



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SHEET NUMBER:
IN
 PLOT DATE: 4/19/2025

SITE DATA

OWNER/SUBDIVIDER: 152 ALBERT PLACE, LLC
 ATTN: MADISON WALKER
 TEL: (360) 255-3133

ENGINEER: TOAL ENGINEERING, INC.
 139 AVENIDA NAVARRO
 SAN CLEMENTE, CA 92672
 PH: (949) 492-8586

GENERAL PLAN LAND USE DESIGNATION: MEDIUM DENSITY RESIDENTIAL
 EXISTING LAND USE: ONE-STORY SINGLE FAMILY HOMES (2)
 TOTAL AREA: 6,470 SQ. FT. (0.148 AC)
 EXISTING ZONING: R2-MD (MULTI-FAMILY RESIDENTIAL, MEDIUM DENSITY)
 CONTOUR INTERVAL: 1
 PROPOSED GRADING: N/A
 MAXIMUM SLOPE GRADIENT: N/A
 NUMBER OF PARCELS: 2 (2 UNITS)

UTILITIES:
 GAS SERVICE: SOUTHERN CALIFORNIA GAS CO.
 ELECTRIC SERVICE: SOUTHERN CALIFORNIA EDISON
 SEWER: CITY OF COSTA MESA
 WATER: MESA WATER DISTRICT
 TELEPHONE SERVICE: PACIFIC BELL
 TELEVISION SERVICE: COX COMMUNICATIONS

- NOTES:
- SUBJECT PROPERTY IS LOCATED WITHIN THE NEWPORT MESA UNIFIED SCHOOL DISTRICT.
 - PROJECT IS LOCATED IN ZONE "X," AREA OF MINIMAL FLOOD HAZARD, PER FEMA FLOOD MAPS (MAP NO. 06059C0269K, EFFECTIVE 3/21/2019).
 - STORM DRAINAGE WILL BE COLLECTED BY A SERIES OF DRAIN INLETS AND DRAIN PIPES AND DIRECTED TO THE STREET THEN THE CITY STORM DRAIN SYSTEM FOR DISPOSAL.

LEGAL DESCRIPTION:
 IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA, BEING THE NORTHERLY 51.5 FEET OF LOT 51 IN TRACT NO. 114, AS PER MAP RECORDED IN BOOK 11, PAGE 14 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY. (APN: 426-064-01)

STATEMENT OF OWNERSHIP:
 WE, 152 ALBERT PLACE, LLC, DO HEREBY STATE THAT WE ARE THE OWNERS OF THE SUBJECT PROPERTY COMPRISING THIS TENTATIVE PARCEL MAP AND THAT WE HAVE CONSENTED TO ITS SUBDIVISION.

BY: _____ DATE: _____ BY: _____ DATE: _____



VICINITY MAP
 SCALE: 1"=500'

TENTATIVE PARCEL MAP NO. 2024-156

PLANS PREPARED BY:
TOAL ENGINEERING, INC.
 CIVIL ENGINEERING
 LAND SURVEYING
 STORMWATER QUALITY
 139 Avenida Navarro
 San Clemente, CA 92672
 949-492-8586
 www.toalengineering.com

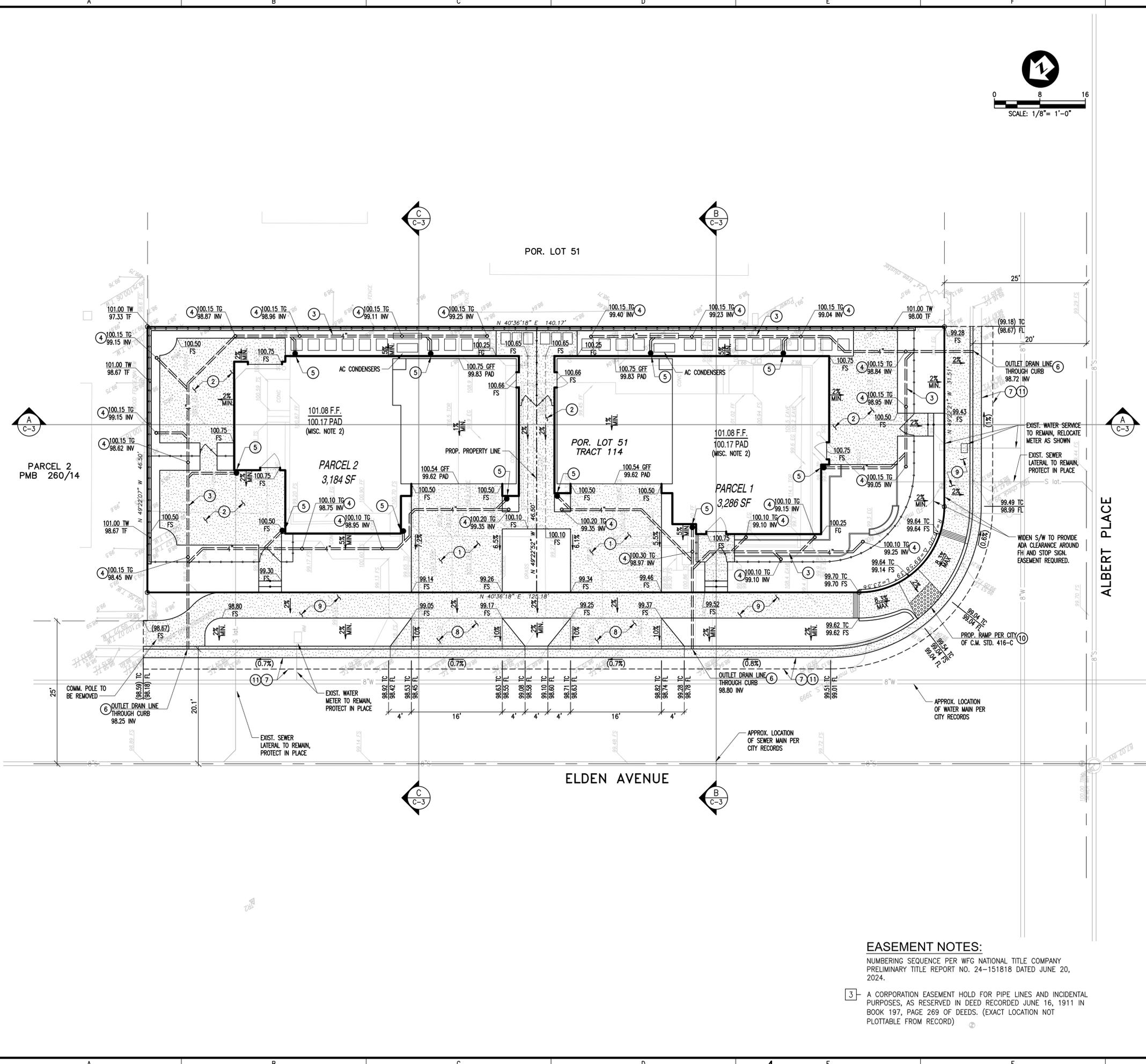


VIKTOR P. MEUM
 P.L.S. 8682
 DATE: _____
 PREPARED FOR:
 152 ALBERT PLACE, LLC

NO.	REVISIONS	DATE	BY	DATE	APVD.

152 ALBERT PLACE LLC
 TENTATIVE PARCEL MAP
 POR. LOT 51, TRACT 114
 2280 ELDEN AVENUE, COSTA MESA, CA 92627

DATE: 3/13/25	H. SCALE: 1"=8'
SURVEY DATE: 11/18/24	V. SCALE: N/A
DRN.: A.M.S.	DWG. NO.
CHD.: V.M.	TPM-1
APPD.: C.R.	
JOB NO. 24165	SHEET 1 OF 1



EASEMENT NOTES:
 NUMBERING SEQUENCE PER WFG NATIONAL TITLE COMPANY PRELIMINARY TITLE REPORT NO. 24-151818 DATED JUNE 20, 2024.
 [3] A CORPORATION EASEMENT HOLD FOR PIPE LINES AND INCIDENTAL PURPOSES, AS RESERVED IN DEED RECORDED JUNE 16, 1911 IN BOOK 197, PAGE 269 OF DEEDS. (EXACT LOCATION NOT PLOTTABLE FROM RECORD)



2280 & 2286 ELDEN AVENUE
COSTA MESA, CA

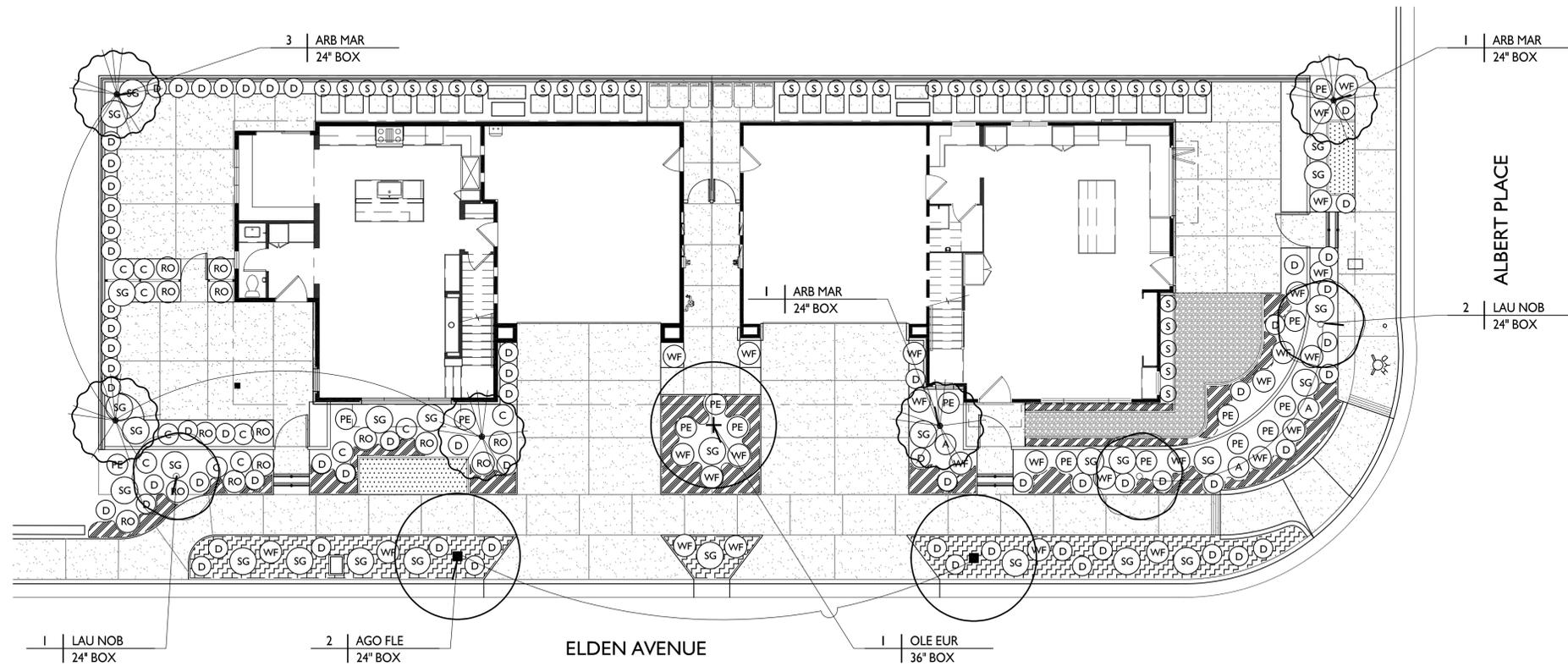
MARCH 12, 2024

L.1 - CONCEPTUAL LANDSCAPE PLAN

SITE DESIGN REFERENCE CHART		
PLANT CATEGORY	REQUIRED	PROVIDED
TREES		
TOTAL	9	9
EVERGREEN	5	5
24" BOX +	4	11
SHRUBS & GROUNDCOVER		
TOTAL	128	128
5 GALLON +	77	77
GROUNDCOVER	1,250 SF	1,250 SF

OPEN SPACE TOTALS	
TOTAL OPEN SPACE	3,186 SF
TOTAL LANDSCAPE AREA	1,785 SF





PLANTING LEGEND:					
SYMBOL	NAME	SIZE	COMMENTS	QTY	WUCOL'S
TREES:					
ARB MAR	ARBUTUS MARINA HYBRID STRAWBERRY TREE	24" BOX	STANDARD	5	LOW
OLE EUR	OLEA EUROPAEA 'SWAN HILL' SWAN HILL FRUITLESS OLIVE	24" BOX	MULTI	1	LOW
LAU NOB	LAURUS 'SARATOGA' SARATOGA LAUREL	24" BOX	STANDARD	3	LOW
AGO FLE	AGONIS FLEXUOSA AUSTRALIAN WILLOW	24" BOX	STANDARD	2	LOW
SHRUBS:					
(A)	AGAVE ATTENUATA FOXTAIL AGAVE	5 GAL.	-	3	LOW
(C)	CALLISTEMON 'LITTLE JOHN' DWARF BOTTLEBRUSH	5 GAL.	-	11	LOW
(D)	DIANELLA REVOLUTA 'LITTLE REV' LITTLE REV FLAX LILY	1 GAL.	-	68	LOW
(RO)	ROSMARINUS OFFICINALIS PROSTRADA PROSTRATE ROSEMARY	1 GAL.	-	14	LOW
(PE)	PENNISSETUM 'FAIRY TALES' FAIRY TALE FOUNTAIN GRASS	5 GAL.	-	15	LOW
(SG)	SALVIA GREGGII AUTUMN SAGE	1 GAL.	-	27	LOW
(S)	SANSEVIERIA TRIFASCIATA SNAKE PLANT	5 GAL.	-	38	MED
(WF)	WESTRINGIA FRUTICOSA GRAY BOX DWARF COAST ROSEMARY	5 GAL.	-	27	LOW
GROUND COVER/TURF:					
(Pattern)	MARATHON SOD	SOD	-	75 S/F	HIGH
(Pattern)	SENECIO SERENS BLUE CHALK FINGERS	FLATS	PLANT 16 IN. O.C.	5	LOW
(Pattern)	DYMONDIA MARGARETAE SILVER CARPET	FLATS	PLANT 12 IN. O.C.	8	LOW
SHREDDED WOOD MULCH (ALL SHRUB AREAS):					
ALL SHRUB AREAS	1/2" - 1" FOREST FLOOR BARK MULCH (3" THICK) AVAILABLE THROUGH AGUINAGA FERTILIZER COMPANY 714.283.2572 or APPROVED EQUAL - SUBMIT SAMPLES TO L.A. for APPROVAL				

- GENERAL PLANTING NOTES:**
- PRIOR TO ANY FINE GRADING OR PLANTING, CONTRACTOR SHALL REVIEW THE AGRONOMIC SOIL REPORTS AND SOIL AMENDMENT RECOMMENDATIONS PER SPECIFICATIONS, WHICH SHALL SUPERSEDE THOSE WITHIN THE SPECIFICATIONS.
 - LANDSCAPE ARCHITECT TO APPROVE ALL PLANT MATERIAL NOT LESS THAN 1 WEEK PRIOR TO ANTICIPATED DELIVERY DATE.
 - CONTRACTOR SHALL REMOVE ALL GROWER STAKES, TAGS AND RIBBONS.
 - LANDSCAPE CONTRACTOR SHALL MAINTAIN PROPER DRAINAGE AND DIRECT ALL WATER TO DRAINAGE INLETS SO AS TO PREVENT STANDING WATER.
 - THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTED AREAS FOR A PERIOD OF 90 DAYS AFTER 'START OF MAINTENANCE' PERIOD.
 - CONTRACTOR SHALL GUARANTEE SHRUBS FOR 6 MONTHS AND TREE AND PALM MATERIAL FOR 12 MONTHS (1 YEAR).
 - LANDSCAPE ARCHITECT SHALL APPROVE PLANT MATERIAL PLACEMENT PRIOR TO INSTALLATION.
 - NO TREES SHALL BE PLANTED CLOSER THAN 5' TO A BUILDING OR ROOF STRUCTURE. NO TREES SHALL BE PLANTED CLOSER THAN 5' TO PAVING OR FREESTANDING WALLS UNLESS DIRECTED BY THE LANDSCAPE ARCHITECT.
 - TREES OR PALMS SHALL NOT BE PLANTED WHERE FUTURE GROWTH WILL OBVIOUSLY CONFLICT WITH ROOF OVERHANGS.
 - TREES OR PALMS PLANTED IN LANDSCAPE AREAS OF LESS THAN 5' IN WIDTH SHALL BE INSTALLED WITH APPROVED ROOT BARRIERS.
 - ANY PLANTING SHOWN ON THE PLANS OR EXISTING IN THE FIELD THAT CONTRADICTS THESE CRITERIA IS TO BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO DO SO MAY RESULT IN THE CONTRACTOR TO REMOVE OR RELOCATE PLANT MATERIAL.

FOR PLANTING DETAILS SEE SHEET LP.2

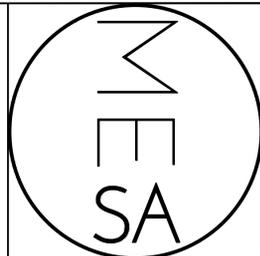
2280 & 2286 ELDEN AVENUE
COSTA MESA, CA

MARCH 12, 2024

L.5 - PLANTING PLAN

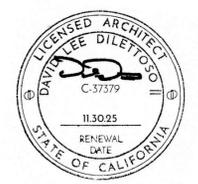
ARCHITECTURAL SITE PLAN FOR REFERENCE ONLY - SEE CIVIL

EXISTING - THE EXISTING PROPERTY CONSISTS TO TWO SFD HOMES - EACH HAVING 2 BEDROOMS, 1 BATHROOM.



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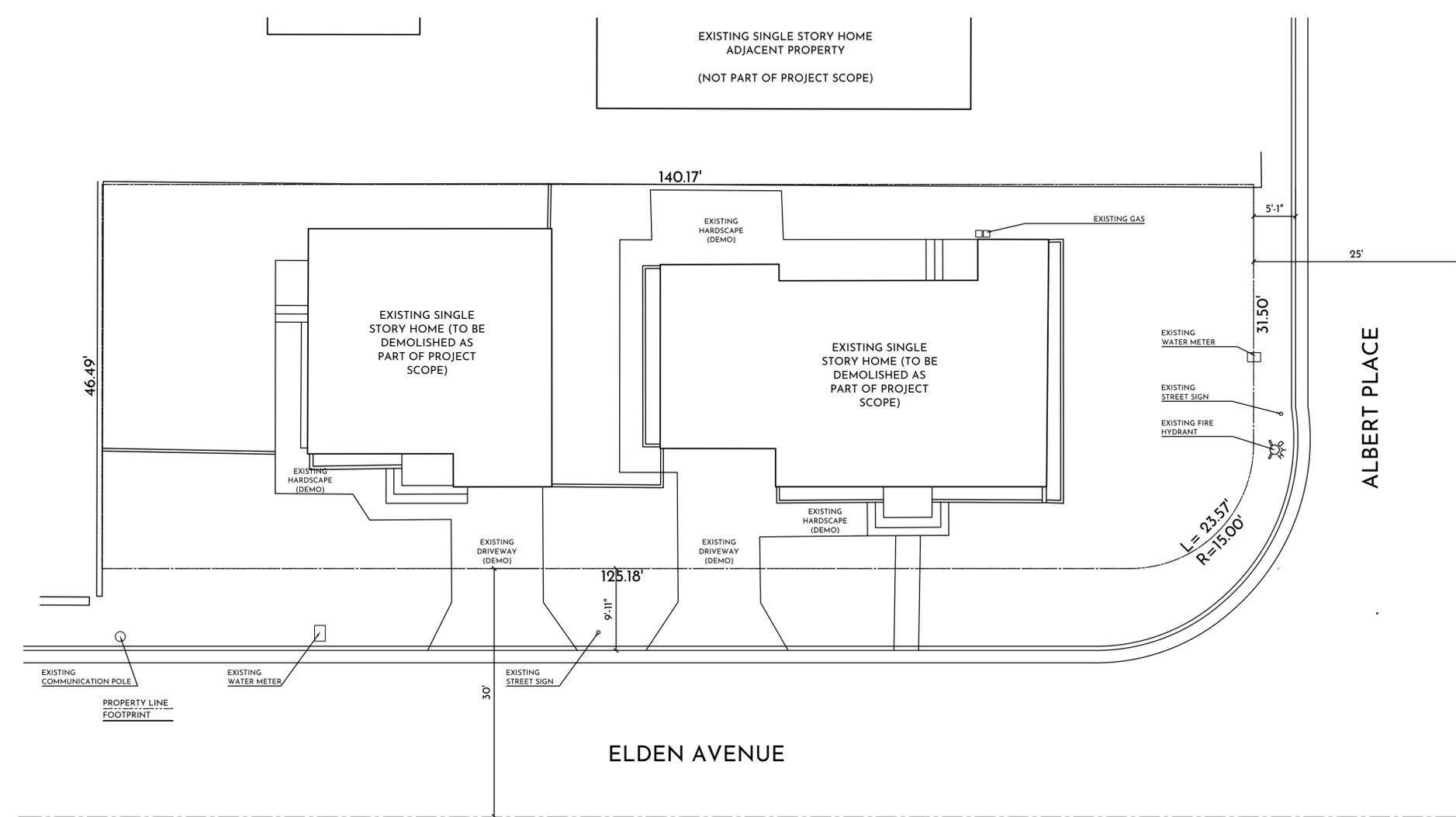
SHEET TITLE:
**SITE PLAN
EXISTING**

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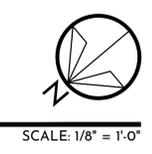
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A0-0.1

PLOT DATE: 4/19/2025



**ARCHITECTURAL SITE PLAN
EXISTING**



SCALE: 1/8" = 1'-0"

AREA CALCULATIONS - PLAN 1

FIRST FLOOR (LIVE-ABLE)	790 SQ FT
SECOND FLOOR (LIVE-ABLE)	1,260 SQ FT
TOTAL (LIVE-ABLE)	2,050 SQ FT
GARAGE	486 SQ FT
OUTDOOR	
ENTRY PORCH	86 SQ FT
COVERED BALCONY	107 SQ FT

AREA CALCULATIONS - PLAN 2

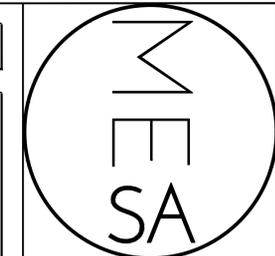
FIRST FLOOR (LIVE-ABLE)	835 SQ FT
SECOND FLOOR (LIVE-ABLE)	1,329 SQ FT
TOTAL (LIVE-ABLE)	2,164 SQ FT
GARAGE	474 SQ FT
OUTDOOR	

VICINITY MAP
N.T.S.



ARCHITECTURAL SITE PLAN FOR REFERENCE ONLY - SEE CIVIL

PUBLIC WORKS GENERAL NOTES
 1. PUBLIC WORKS INSPECTION IS REQUIRED PRIOR TO ISSUANCE OF BUILDING FINAL. AT TIME OF INSPECTION, IF ANY OF EXISTING PUBLIC IMPROVEMENTS SURROUNDING THE SITE IS DAMAGED, NEW CURB & GUTTER AND STREET PAVEMENT WILL BE REQUIRED.
 2. AN APPROVED ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY FROM PUBLIC WORKS



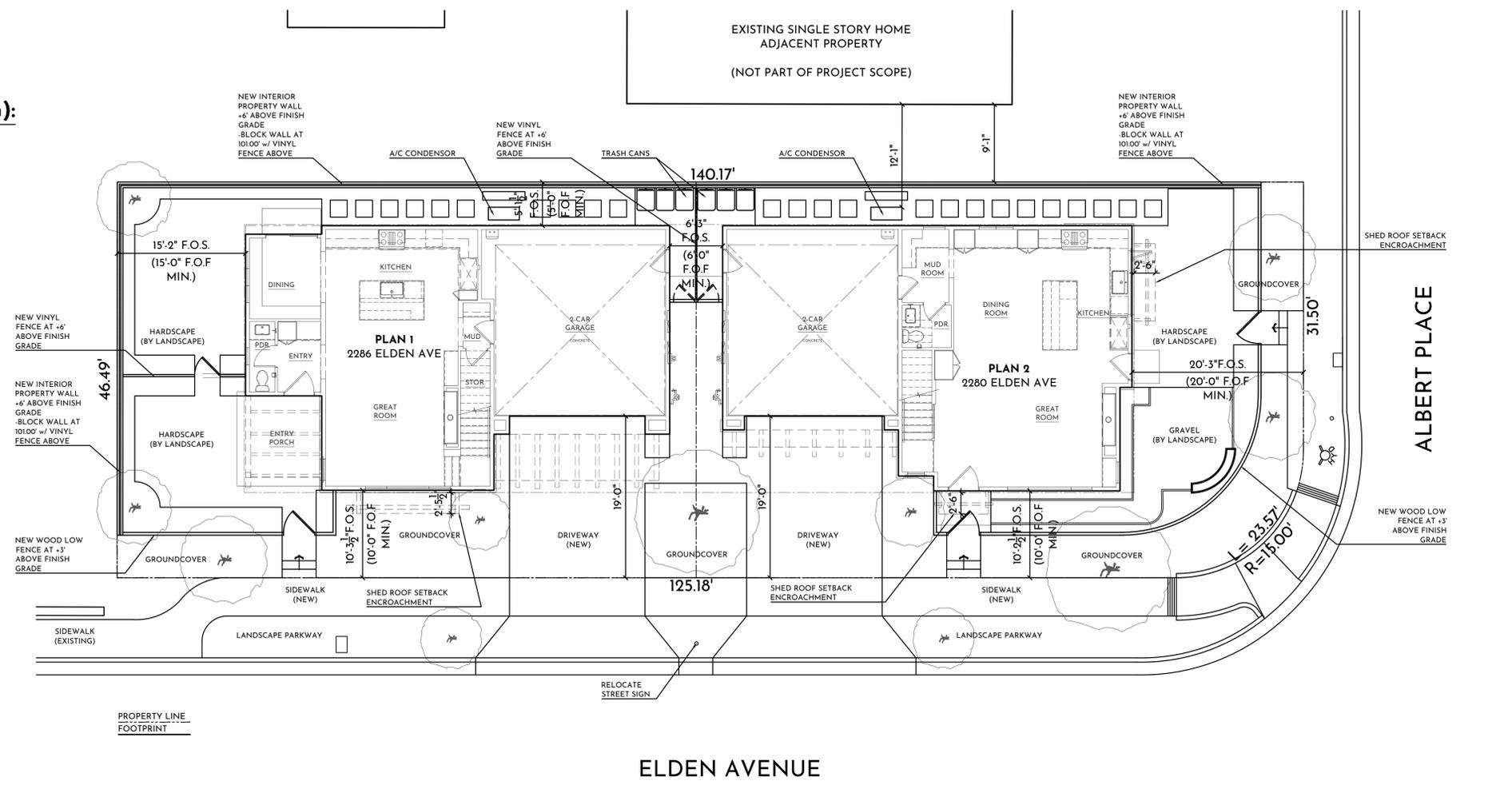
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LOT INFORMATION (R2-MD ZONING):

- OVERALL SITE AREA:**
6,468 SQ. FT.
- SMALL LOT SUBDIVISION STANDARDS:**
- 35% OPEN SPACE REQUIRED:**
3,186 SQ. FT. PROVIDED
- DEVOTED DRIVEWAY AREA:**
304 SQ. FT. PROVIDED (EACH PLAN)
- PARKING REQUIRED:**
2 GARAGE SPACES AND 2 OPEN SPACES (DRIVEWAY)
- SETBACKS:**
 FRONT (ALBERT PLACE): 20'
 REAR: 15'
 SIDE (ELDEN): 10' (DRIVEWAY 19')
 SIDE YARD: 5'
- DISTANCE BETWEEN BUILDINGS: 6' MINIMUM



ARCHITECTURAL SITE PLAN
 PROPOSED



SCALE: 1/8" = 1'-0"

2280 ELDEN AVE. DEV.

24016
 152 ALBERT PLACE LLC.

PLANNING APP - PDES-24-0013

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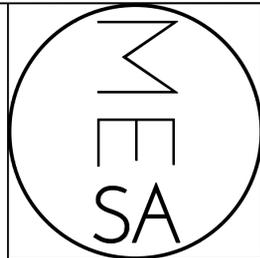
SHEET TITLE:
SITE PLAN
PROPOSED

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PLOT DATE: 4/19/2025



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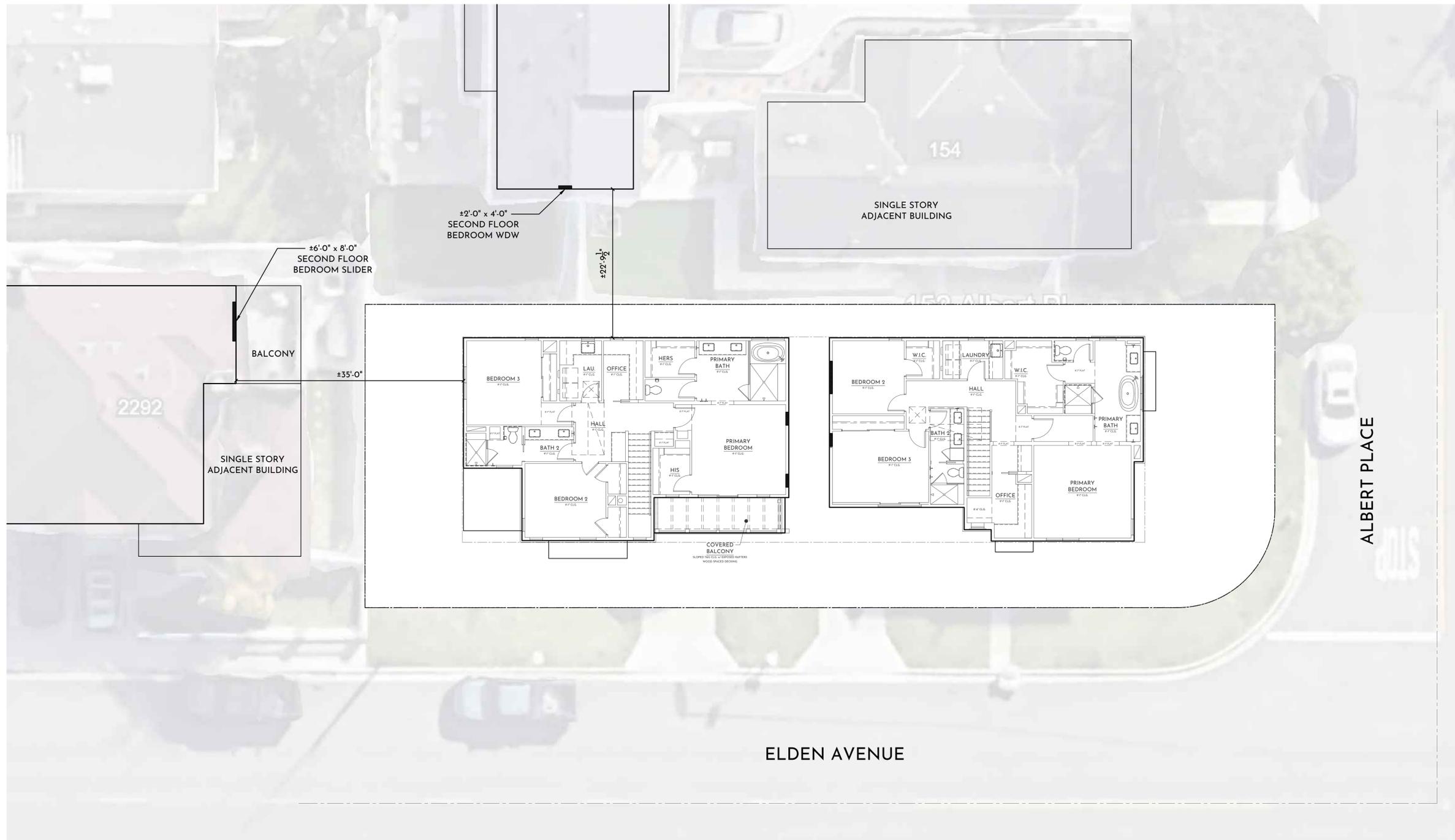
SITE PLAN
WINDOW STUDY

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PLOT DATE: 4/19/2025



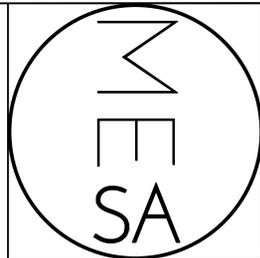
ARCHITECTURAL SITE PLAN
ADJACENT PROPERTY WINDOW STUDY | SECOND FLOOR



SCALE: 1/8" = 1'-0"



NOTE: THESE ARE CONCEPTUAL IN NATURE AS FAR AS SURROUNDINGS, VIEWS, MATERIALS, LANDSCAPE AND FINISHES. INTENDED TO PROVIDE OVERALL GLAZING AND MASSING CONCEPT



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SITE PLAN
WINDOW STUDY

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A0-0.3

PLOT DATE: 4/19/2025

PLAN 1

WINDOW SCHEDULE

NO.	SIZE (WxH)	TYPE	FRAME	COLOR	MANUFACTURER (OR APPROVED EQUAL)	U-FACTOR	SHGC	REMARKS
1A	10'-0" x 5'-6"	CASEMENT FIXED	FIBERGLASS	BLACK (EBONY)	MARVIN	0.29	0.22	2 - 2'-6"x5'-6" CASEMENT w/ 5'-0"x5'-6" FIXED, MULLED
1B	6'-0" x 5'-6"	CASEMENT FIXED				0.29	0.22	2 - 2'-0"x5'-6" CASEMENT w/ 2'-0"x5'-6" FIXED, MULLED
1C	2'-0" x 4'-6"	CASEMENT				0.29	0.20	
1D	2'-6" x 5'-6"	CASEMENT				0.29	0.20	
1E	2'-6" x 4'-6"	CASEMENT				0.29	0.20	
1F	5'-0" x 5'-6"	CASEMENT				0.29	0.20	2 - 2'-6"x5'-6" CASEMENT, MULLED
1G	2'-6" x 4'-6"	FIXED				0.28	0.24	

WINDOW NOTES

- REFER TO FLOOR PLANS FOR TEMPERED GLASS (SAFETY LOCATIONS) AND EGRESS NOTATIONS
- ALL EXTERIOR WINDOWS SHALL COMPLY WITH CRC 337.8.2
- CONFIRM ALL WINDOW U-FACTORS AND SHGC'S WITH THE ENERGY COMPLIANCE FORMS
- ALL - ROUGH OPENING VERIFY WITH MANUFACTURER
- SIMULATED DIVIDED LIGHTS (WINDOW MUNTINS) PER EXTERIOR ELEVATIONS

DOOR SCHEDULE

NO.	SIZE (WxH)	TYPE	THICKNESS	COLOR	MANUFACTURER (OR APPROVED EQUAL)	U-FACTOR	SHGC	REMARKS
101	3'-6" x 8'-0"	ENTRY DOOR		STAINED	CUSTOM	0.30	0.23	SOLID CORE w/ TEMPERED GLAZING, STAIN GRADE, WOOD ENTRY DOOR FOR EGRESS
102	16'-0" x 8'-0"	SECTIONAL GAR. DR.		STAINED				SOLID CORE, WOOD GARAGE DOOR, WOOD PANEL SECTIONAL GARAGE DOOR w/ AUTOMATIC OPENER
103	2'-8" x 8'-0"	SOLID CORE	1-3/4"	PAINTED				SOLID CORE, w/ TEMPERED GLAZING, PAINT GRADE, WOOD DOOR
104	6'-0" x 8'-0"	SLIDING GLASS		BLACK (EBONY)	MARVIN	0.30	0.19	2-PANEL SLIDING GLASS DOOR XO
105	2'-8" x 8'-0"	SOLID WOOD	1-3/4"	PER INT.		N/A	N/A	SELF-CLOSING, SELF-LATCHING, TIGHT FIT
21	2'-6" x 8'-0"	HINGED - INTERIOR	1-3/4"	PER INT.		N/A	N/A	SOLID CORE, PAINT GRADE, WOOD INTERIOR DOOR
22	2'-8" x 8'-0"	HINGED - INTERIOR	1-3/4"	PER INT.		N/A	N/A	SOLID CORE, PAINT GRADE, WOOD INTERIOR DOOR
23	3'-0" x 8'-0"	HINGED - INTERIOR	1-3/4"	PER INT.		N/A	N/A	SOLID CORE, PAINT GRADE, WOOD INTERIOR DOOR
24	2'-6" x 8'-0"	POCKET - INTERIOR	1-3/4"	PER INT.		N/A	N/A	SOLID CORE, PAINT GRADE, WOOD INTERIOR DOOR
25	2'-4" x 7'-0"	GLASS - INTERIOR		PER INT.		N/A	N/A	GLASS SWINGING DOOR - TEMPERED
26	6'-0" x 8'-0"	BYPASS - INTERIOR	1-3/4"	PER INT.		N/A	N/A	SOLID CORE, PAINT GRADE, WOOD INTERIOR DOOR
27	8'-0" x 8'-0"	BYPASS - INTERIOR	1-3/4"	PER INT.		N/A	N/A	SOLID CORE, PAINT GRADE, WOOD INTERIOR DOOR
28	2'-4" x 8'-0"	POCKET - INTERIOR	1-3/4"	PER INT.		N/A	N/A	SOLID CORE, PAINT GRADE, WOOD INTERIOR DOOR

DOOR NOTES

- REFER TO FLOOR PLANS FOR TEMPERED GLASS (SAFETY LOCATIONS) AND EGRESS NOTATIONS
- ALL EXTERIOR DOORS WITH GLAZING SHALL COMPLY WITH CRC 337.8.2
- CONFIRM ALL DOORS U-FACTORS AND SHGC'S WITH THE ENERGY COMPLIANCE FORMS
- ALL - ROUGH OPENING VERIFY WITH MANUFACTURER
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ENERGY NOTE: ALL EXTERIOR DOORS SHALL BE CAULKED BETWEEN DOOR AND BUILDING, AND SHALL BE WEATHERSTRIPPED



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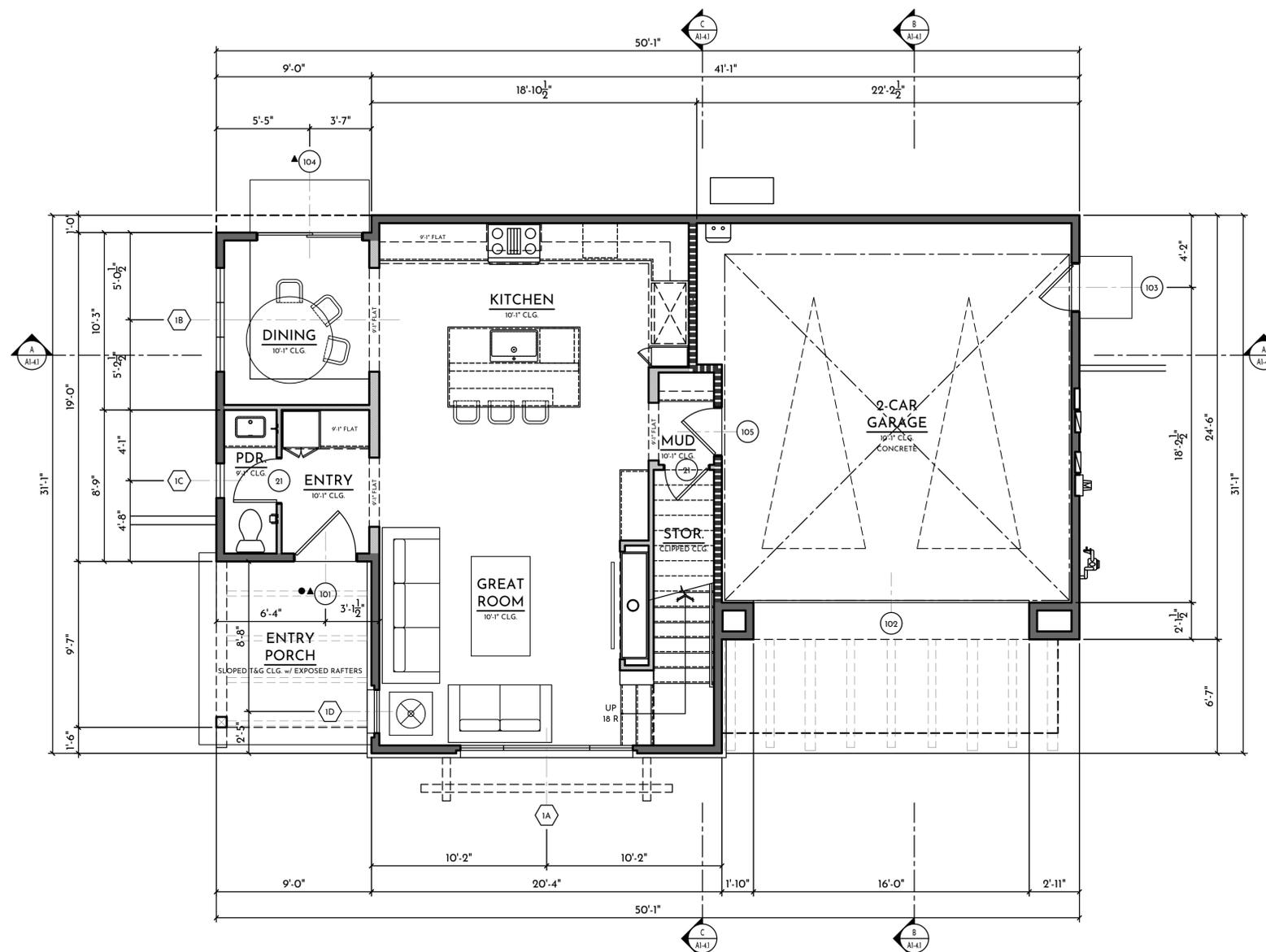
1ST FLOOR PLAN
PLAN 1

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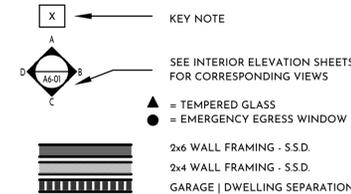
FIRST FLOOR

PLAN 1

GENERAL NOTES

- HORIZONTAL AND VERTICAL DIMENSIONS SHOWN ARE FROM FACE OF STUD OF FACE OF CONCRETE UNLESS NOTED OTHERWISE
- ANY DISCREPANCY FOUND IN THESE DRAWINGS IS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ANY CONSTRUCTION
- FOR FINISHES REFER TO INTERIOR DESIGNER'S SPEC.
- ALL MECHANICAL EQUIPMENTS, ELECTRICAL FIXTURES, PLUMBING FIXTURES, AND STRUCTURAL MEMBERS ARE SHOWN FOR REFERENCE ONLY. REFER TO CONSULTANTS' DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS BY OTHERS.
- CONTRACTOR TO COORDINATE PLUMBING, MECHANICAL, ELECTRICAL PENETRATIONS AND CONNECTIONS WITH SUBCONTRACTORS
- ALL EQUIPMENT, APPLIANCES, AND FIXTURES TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
- PROVIDE THE FOLLOWING AT EGRESS WINDOWS: 57 SQ. FT. OF CLEAR OPERABLE AREA; NET OPERABLE HEIGHT SHALL BE 24" MIN.; NET OPERABLE WIDTH SHALL BE 20" MIN.; BOTTOM OF CLEAR OPENING SHALL BE A MAX HEIGHT OF 44"
- WINDOWS/DOORS TO HAVE LABEL INDICATING U-VALUE AND SHGC PER ENERGY CALCS.
- CONTRACTOR TO PROVIDE/CONFIRM INSULATION IS PROVIDED THROUGHOUT BUILDING ENVELOPE.

SYMBOL LEGEND



FLOOR PLAN NOTES

- 0. SPATIAL**
 - 011 LINE OF FLOOR, DECK, AND/OR WALL ABOVE
 - 012 LINE OF FLOOR AND/OR WALL BELOW
 - 013 LINE OF CEILING CHANGE ABOVE
 - 014 OPENING IN WALL
 - 015 GARAGE CLEAR SPACE (10'-0"x20'-0" MIN.)
- 4. MASONRY**
 - 401 LINE OF ADHERED STONE VENEER FINISH
- 6. WOOD**
 - 601 2X WOOD FRAMING - S.S.D.
 - 602 WOOD HANDRAIL AT 34-38" ABOVE NOSING
 - 603 WOOD GUARD AT 42" A.F.F.
 - 604 WOOD CABINETS - UPPER CABINET
 - 605 WOOD CABINETS - LOWER CABINET
 - 606 WOOD CABINETS - FULL HEIGHT CABINET
 - 607 WOOD CABINETS - SHELVES
 - 608 WOOD CABINETS - FULL HEIGHT CLOSET CABINET
 - 609 WOOD CABINETS - BUILT-IN BANQUETTE SEAT w/ STORAGE BELOW
 - 610 WOOD SPACED DECKING
- 8. OPENINGS**
 - 801 SELF-CLOSING, SELF-LATCHING, TIGHT FITTING, SOLID WOOD 1 3/8" MINIMUM THICK DOOR OR 20 MINUTE DOOR AT OPENINGS FROM DWELLING TO GARAGE
 - 802 ATTIC ACCESS PANEL 30"x30" MIN CLR MAINTAIN 30"x30" CLEAR SPACE TO FLOOR BELOW OPENING
- 9. FINISHES**
 - 901 5/8" GYP BOARD (1/2" MIN) AT GARAGE SIDE TO RESIDENCE & AT GARAGE CEILINGS w/ HABITABLE ROOMS ABOVE (CRC TABLE R3024)
 - 902 DECORATIVE INTERIOR WALL/CEILING FINISH - PER INT. DESIGNER
 - 903 GYPSUM BOARD LOW WALL w/ WOOD CAP AT 42" A.F.F.
 - 904 GYPSUM BOARD NICHE
 - 905 COUNTERTOP - FINISH PER INT. DESIGNER
 - 906 EXPOSED ROOF FRAMING, T&G UNDERSIDE. SEE STRUCT.
- 10. SPECIALTIES**
 - 1001 MUDSET CERAMIC TILED SHAMPOO NICHE, 14" x 20" R.O. 48" A.F.F.
 - 1002 GAS APPLIANCE (FIREPLACE) - MEZZO 60 BY HEAT & GLO. DIRECT VENT, ELECTRIC IGNITION. ANSI Z 2188-2017 OR APPROVED EQUAL
 - 1003 PROVIDE SOLID BLOCKING FOR FUTURE GRAB BAR REINFORCEMENT PER CRC 3271.1 - SEE DETAIL 8/AD-12
- 11. EQUIPMENT**
 - 1101 36" RANGE WITH OVEN BELOW
 - 1102 45" REFRIGERATOR SPACE
 - 1103 24" DISHWASHER
 - 1104 24" BUILT-IN MICROWAVE DRAWER (w/ TRIM KIT)
 - 1105 EXHAUST RANGE HOOD - VENT TO OUTSIDE AIR
- 12. FURNISHINGS**
 - 1201 SHELF & DOBLE
 - 1202 SHELF & DOUBLE POLE
 - 1203 TOWEL BAR MOUNTED AT 54" A.F.F.
 - 1204 TOILET PAPER HOLDER MOUNTED AT 26" A.F.F.
 - 1205 TOWEL HOOK MOUNTED AT 54" A.F.F.
- 15. MECHANICAL / PLUMBING / ELECTRICAL**
 - 1501 DROPPIN SINK WITH GARBAGE DISPOSAL
 - 1502 LAVATORY SINK
 - 1503 LAUNDRY SINK
 - 1504 WASHER SPACE - PROVIDE FLOOR DRAIN AND SMITTY PAN. INSTALL ON LEFT SIDE OF DRYER
 - 1505 DRYER SPACE - ROUTE DUCT TO OUTSIDE AIR
 - 1506 HOT-MOPPED SHOWER w/ SHATTER RESISTANT GLASS SHOWER ENCLOSURE. PROVIDE NONABSORBENT AT ALL SURFACES IN PRIMARY SHOWERS / WET AREAS. SHOWER SEAT - 20" AFF SLOPED 1/2" PER FOOT, WHERE OCCURS
 - 1507 SHATTER RESISTANT GLASS SHOWER DOOR
 - 1508 FREE STANDING TUB w/ FLOOR MOUNT TUB FILLER
 - 1509 WATER CLOSET (MIN 30" WIDTH AT WALL & 24" MIN. CLEAR IN FRONT)
 - 1510 SHOWER HEAD - 82" AFF
 - 1511 GAS METER - REFER TO EXTERIOR ELEVATIONS FOR LOCATION. MAINTAIN 3'-0" CLEARANCE FROM ANY PIPING TO EDGE OF ELECTRICAL METER
 - 1512 ELECTRIC METER. MAINTAIN 3'-0" CLEAR FROM FACE OF PANEL TO ANY WALL SURFACE OR OBSTRUCTIONS.
 - 1513 CABLE TV/PHONE PANELS
 - 1514 HEAT PUMP AIR UNIT IN ATTIC. PROVIDE FUEL GAS, LIGHT, AND SWITCH
 - 1515 TANKLESS WATER HEATER - BOTTOM @ 48" A.F.F. REFER TO ENERGY REPORT FOR ENERGY FACTOR SPECS. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
 - 1516 A/C CONDENSER UNIT
 - 1517 ELECTRICAL SUB-PANEL
 - 1518 MECHANICAL CHASE

AREA CALCULATIONS - PLAN 1

FIRST FLOOR (LIVE-ABLE)	790 SQ FT
SECOND FLOOR (LIVE-ABLE)	1,260 SQ FT
TOTAL (LIVE-ABLE)	2,050 SQ FT
GARAGE	486 SQ FT
OUTDOOR	
ENTRY PORCH	86 SQ FT
COVERED BALCONY	107 SQ FT

PLAN 1

WINDOW SCHEDULE

SIZE (WxH)	TYPE	FRAME	COLOR	MANUFACTURER (OR APPROVED EQUAL)	U-FACTOR	SHGC	REMARKS
1A 10'-0" x 5'-6"	CASEMENT FIXED	FIBERGLASS	BLACK (EBONY)	MARVIN	0.29	0.22	2 - 2'-6"x5'-6" CASEMENT w/ 5'-0"x5'-6" FIXED, MULLED
1B 6'-0" x 5'-6"	CASEMENT FIXED				0.29	0.22	2 - 2'-0"x5'-6" CASEMENT w/ 2'-0"x5'-6" FIXED, MULLED
1C 2'-0" x 4'-6"	CASEMENT				0.29	0.20	
1D 2'-6" x 5'-6"	CASEMENT				0.29	0.20	
1E 2'-6" x 4'-6"	CASEMENT				0.29	0.20	
1F 5'-0" x 5'-6"	CASEMENT				0.29	0.20	2 - 2'-6"x5'-6" CASEMENT, MULLED
1G 2'-6" x 4'-6"	FIXED				0.28	0.24	

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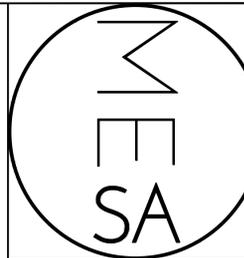
DOOR SCHEDULE

SIZE (WxH)	TYPE	THICKNESS	COLOR	MANUFACTURER (OR APPROVED EQUAL)	U-FACTOR	SHGC	REMARKS
101 3'-6" x 8'-0"	ENTRY DOOR		STAINED	CUSTOM	0.30	0.23	SOLID CORE w/ TEMPERED GLAZING, STAIN GRADE, WOOD ENTRY DOOR, FOR EGRESS
102 16'-0" x 8'-0"	SECTIONAL GAR. DR.		STAINED				SOLID CORE, WOOD GARAGE DOOR, WOOD PANEL SECTIONAL GARAGE DOOR w/ AUTOMATIC OPENER
103 2'-8" x 8'-0"	SOLID CORE	1-3/4"	PAINTED				SOLID CORE, w/ TEMPERED GLAZING, PAINT GRADE, WOOD DOOR
104 6'-0" x 8'-0"	SLIDING GLASS		BLACK (EBONY)	MARVIN	0.30	0.19	2-PANEL SLIDING GLASS DOOR XO
105 2'-8" x 8'-0"	SOLID WOOD	1-3/4"	PER INT.		N/A	N/A	SELF-CLOSING, SELF-LATCHING, TIGHT FIT
21 2'-6" x 8'-0"	HINGED - INTERIOR	1-3/4"	PER INT.		N/A	N/A	SOLID CORE, PAINT GRADE, WOOD INTERIOR DOOR
22 2'-8" x 8'-0"	HINGED - INTERIOR	1-3/4"	PER INT.		N/A	N/A	SOLID CORE, PAINT GRADE, WOOD INTERIOR DOOR
23 3'-0" x 8'-0"	HINGED - INTERIOR	1-3/4"	PER INT.		N/A	N/A	SOLID CORE, PAINT GRADE, WOOD INTERIOR DOOR
24 2'-6" x 8'-0"	POCKET - INTERIOR	1-3/4"	PER INT.		N/A	N/A	SOLID CORE, PAINT GRADE, WOOD INTERIOR DOOR
25 2'-4" x 7'-0"	GLASS - INTERIOR				N/A	N/A	GLASS SWINGING DOOR - TEMPERED
26 6'-0" x 8'-0"	BYPASS - INTERIOR	1-3/4"	PER INT.		N/A	N/A	SOLID CORE, PAINT GRADE, WOOD INTERIOR DOOR
27 8'-0" x 8'-0"	BYPASS - INTERIOR	1-3/4"	PER INT.		N/A	N/A	SOLID CORE, PAINT GRADE, WOOD INTERIOR DOOR
28 2'-4" x 8'-0"	POCKET - INTERIOR	1-3/4"	PER INT.		N/A	N/A	SOLID CORE, PAINT GRADE, WOOD INTERIOR DOOR

DOOR NOTES

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ENERGY NOTE: ALL EXTERIOR DOORS SHALL BE CAULKED BETWEEN DOOR AND BUILDING, AND SHALL BE WEATHERSTRIPPED



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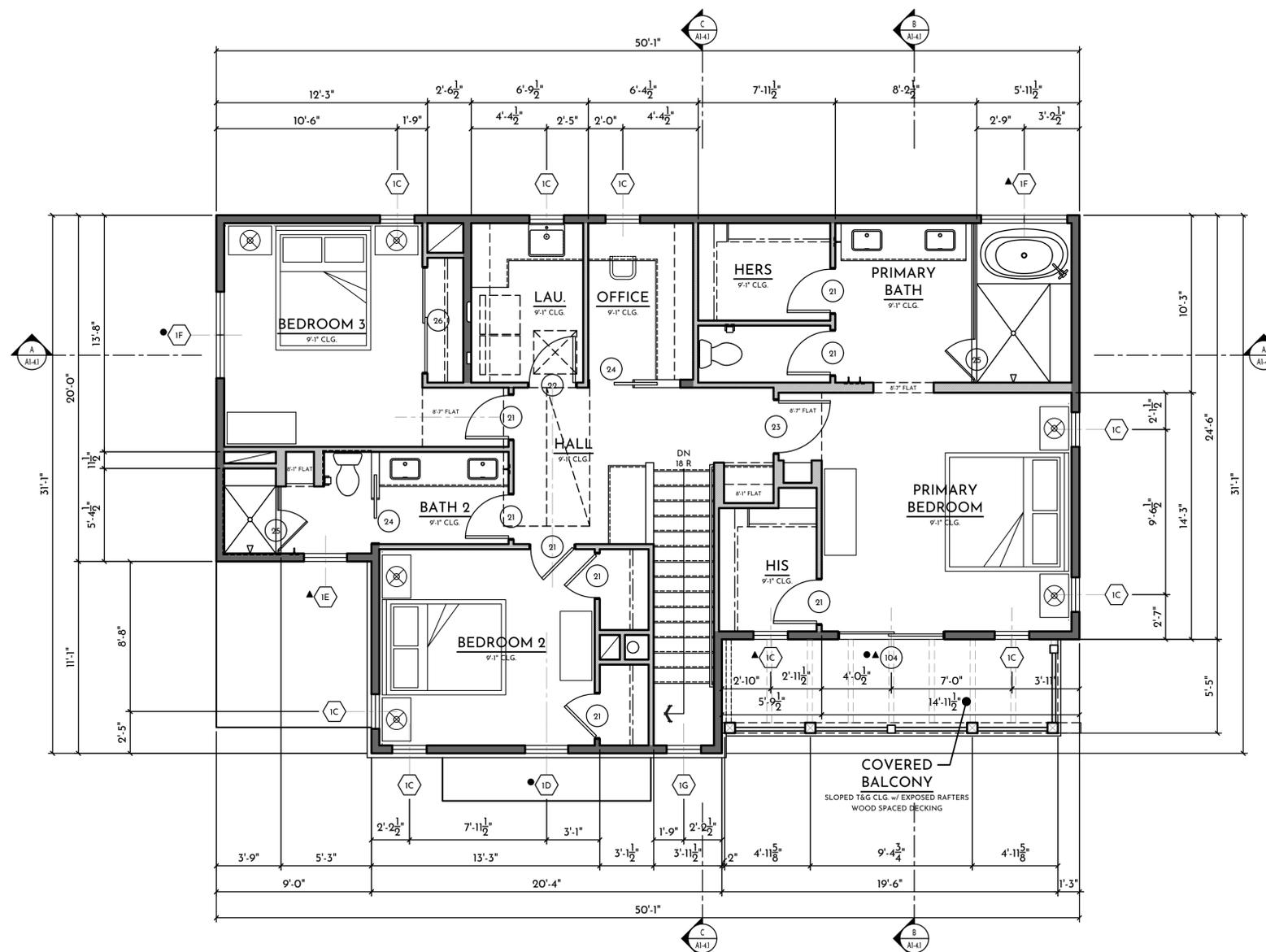
2ND FLOOR PLAN
PLAN 1

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SECOND FLOOR

PLAN 1

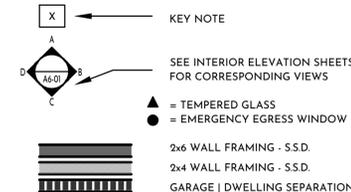


SCALE: 1/4" = 1'-0"

GENERAL NOTES

- HORIZONTAL AND VERTICAL DIMENSIONS SHOWN ARE FROM FACE OF STUD OF FACE OF CONCRETE UNLESS NOTED OTHERWISE
- ANY DISCREPANCY FOUND IN THESE DRAWINGS IS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ANY CONSTRUCTION
- FOR FINISHES REFER TO INTERIOR DESIGNER'S SPEC.
- ALL MECHANICAL EQUIPMENTS, ELECTRICAL FIXTURES, PLUMBING FIXTURES, AND STRUCTURAL MEMBERS ARE SHOWN FOR REFERENCE ONLY. REFER TO CONSULTANTS' DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS BY OTHERS.
- CONTRACTOR TO COORDINATE PLUMBING, MECHANICAL, ELECTRICAL PENETRATIONS AND CONNECTIONS WITH SUBCONTRACTORS
- ALL EQUIPMENT, APPLIANCES, AND FIXTURES TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
- PROVIDE THE FOLLOWING AT EGRESS WINDOWS: 57 SQ. FT. OF CLEAR OPERABLE AREA; NET OPERABLE HEIGHT SHALL BE 24" MIN.; NET OPERABLE WIDTH SHALL BE 20" MIN.; BOTTOM OF CLEAR OPENING SHALL BE A MAX. HEIGHT OF 44"
- WINDOWS/DOORS TO HAVE LABEL INDICATING U-VALUE AND SHGC PER ENERGY CALCS.
- CONTRACTOR TO PROVIDE/CONFIRM INSULATION IS PROVIDED THROUGHOUT BUILDING ENVELOPE.

SYMBOL LEGEND



FLOOR PLAN NOTES

0. SPATIAL
 - 011 LINE OF FLOOR, DECK, AND/OR WALL ABOVE
 - 012 LINE OF FLOOR AND/OR WALL BELOW
 - 013 LINE OF CEILING CHANGE ABOVE
 - 014 OPENING IN WALL
 - 015 GARAGE CLEAR SPACE (10'-0"x20'-0" MIN.)
4. MASONRY
 - 401 LINE OF ADHERED STONE VENEER FINISH
6. WOOD
 - 601 2X WOOD FRAMING - S.S.D.
 - 602 WOOD HANDRAIL AT 34-38" ABOVE NOSING
 - 603 WOOD GUARD AT 42" A.F.F.
 - 604 WOOD CABINERY - UPPER CABINET
 - 605 WOOD CABINERY - LOWER CABINET
 - 606 WOOD CABINERY - FULL HEIGHT CABINET
 - 607 WOOD CABINERY - SHELVES
 - 608 WOOD CABINERY - FULL HEIGHT CLOSET CABINET
 - 609 WOOD CABINERY - BUILT-IN BANQUETTE SEAT w/ STORAGE BELOW
 - 610 WOOD SPACED DECKING
8. OPENINGS
 - 801 SELF-CLOSING, SELF-LATCHING, TIGHT FITTING, SOLID WOOD 1 3/8" MINIMUM THICK DOOR OR 20 MINUTE DOOR AT OPENINGS FROM DWELLING TO GARAGE
 - 802 ATTIC ACCESS PANEL 30"x30" MIN CLR MAINTAIN 30"x30" CLEAR SPACE TO FLOOR BELOW OPENING

9. FINISHES
 - 901 5/8" GYP BOARD (1/2" MIN) AT GARAGE SIDE TO RESIDENCE & AT GARAGE CEILINGS w/ HABITABLE ROOMS ABOVE (CRC TABLE R3024)
 - 902 DECORATIVE INTERIOR WALL/CEILING FINISH - PER INT. DESIGNER
 - 903 GYPSUM BOARD LOW WALL w/ WOOD CAP AT 42" A.F.F.
 - 904 GYPSUM BOARD NICHE
 - 905 COUNTERTOP - FINISH PER INT. DESIGNER
 - 906 EXPOSED ROOF FRAMING, T&G UNDERSIDE. SEE STRUCT.
10. SPECIALTIES
 - 1001 MUSEET CERAMIC TILED SHAMPOO NICHE, 14" x 20" R.O. 48" A.F.F.
 - 1002 GAS APPLIANCE (FIREPLACE) - MEZZO 60 BY HEAT & GLO. DIRECT VENT, ELECTRIC IGNITION, ANSI Z 2188-2017 OR APPROVED EQUAL
 - 1003 PROVIDE SOLID BLOCKING FOR FUTURE GRAB BAR REINFORCEMENT PER CRC 327.11 - SEE DETAIL 8/AD-12
11. EQUIPMENT
 - 1101 36" RANGE WITH OVEN BELOW
 - 1102 45" REFRIGERATOR SPACE
 - 1103 24" DISHWASHER
 - 1104 24" BUILT-IN MICROWAVE DRAWER (w/ TRIM KIT)
 - 1105 EXHAUST RANGE HOOD - VENT TO OUTSIDE AIR
12. FURNISHINGS
 - 1201 SHELF & POLE
 - 1202 SHELF & DOUBLE POLE
 - 1203 TOWEL BAR MOUNTED AT 54" A.F.F.
 - 1204 TOILET PAPER HOLDER MOUNTED AT 26" A.F.F.
 - 1205 TOWEL HOOK MOUNTED AT 54" A.F.F.

15. MECHANICAL / PLUMBING / ELECTRICAL
 - 1501 DROPPIN SINK WITH GARBAGE DISPOSAL
 - 1502 LAVATORY SINK
 - 1503 LAVATORY SINK
 - 1504 WASHER SPACE - PROVIDE FLOOR DRAIN AND SMITTY PAN. INSTALL ON LEFT SIDE OF DRYER
 - 1505 DRYER SPACE - ROUTE DUCT TO OUTSIDE AIR
 - 1506 HOT-MOPPED SHOWER w/ SHATTER RESISTANT GLASS SHOWER ENCLOSURE, PROVIDE NONABSORBENT AT ALL SURFACES IN PRIMARY SHOWERS / WET AREAS. SHOWER SEAT - 20" AFF SLOPED 1/2" PER FOOT, WHERE OCCURS
 - 1507 SHATTER RESISTANT GLASS SHOWER DOOR
 - 1508 FREE STANDING TUB w/ FLOOR MOUNT TUB FILLER
 - 1509 WATER CLOSET (MIN 30" WIDTH AT WALL & 24" MIN. CLEAR IN FRONT)
 - 1510 SHOWER HEAD - 82" AFF
 - 1511 GAS METER - REFER TO EXTERIOR ELEVATIONS FOR LOCATION. MAINTAIN 3'-0" CLEARANCE FROM ANY PIPING TO EDGE OF ELECTRICAL METER
 - 1512 ELECTRIC METER, MAINTAIN 3'-0" CLEAR FROM FACE OF PANEL TO ANY WALL SURFACE OR OBSTRUCTIONS.
 - 1513 CABLE TV/PHONE PANELS
 - 1514 HEAT PUMP AIR UNIT IN ATTIC. PROVIDE FUEL GAS, LIGHT, AND SWITCH
 - 1515 TANKLESS WATER HEATER - BOTTOM @ 48" A.F.F. REFER TO ENERGY REPORT FOR ENERGY FACTOR SPECS. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
 - 1516 A/C CONDENSER UNIT
 - 1517 ELECTRICAL SUB-PANEL
 - 1518 MECHANICAL CHASE

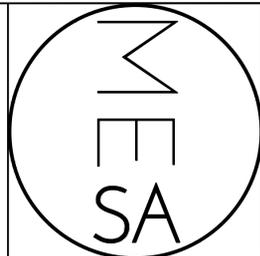
AREA CALCULATIONS - PLAN 1

FIRST FLOOR (LIVE-ABLE)	790 SQ FT
SECOND FLOOR (LIVE-ABLE)	1,260 SQ FT
TOTAL (LIVE-ABLE)	2,050 SQ FT
GARAGE	486 SQ FT
OUTDOOR	
ENTRY PORCH	86 SQ FT
COVERED BALCONY	107 SQ FT

ATTIC VENTILATION CALCULATIONS					
AREA	A	B		D	
	ATTIC AREA	REQUIRED VENTING		TOTAL VENTING PROVIDED	
	(SQ. FT.)	(SQ. IN.)		(SQ. IN.)	(SQ. IN.)
AREA 1	1,320	317	HIGH	(5)72=360	HIGH
		317	LOW	(5)72=360	LOW

ROOF NOTE:
CENTERLINE AT LOWER ATTIC VENT LOCATIONS INDICATES ALIGNMENT WITH A WINDOW, DOOR OR OPENING BELOW PER ELEVATION.

ENERGY NOTE: ALL EXTERIOR DOORS SHALL BE CAULKED BETWEEN DOOR AND BUILDING, AND SHALL BE WEATHERSTRIPPED



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SHEET TITLE:
**ROOF PLAN
PLAN 1**

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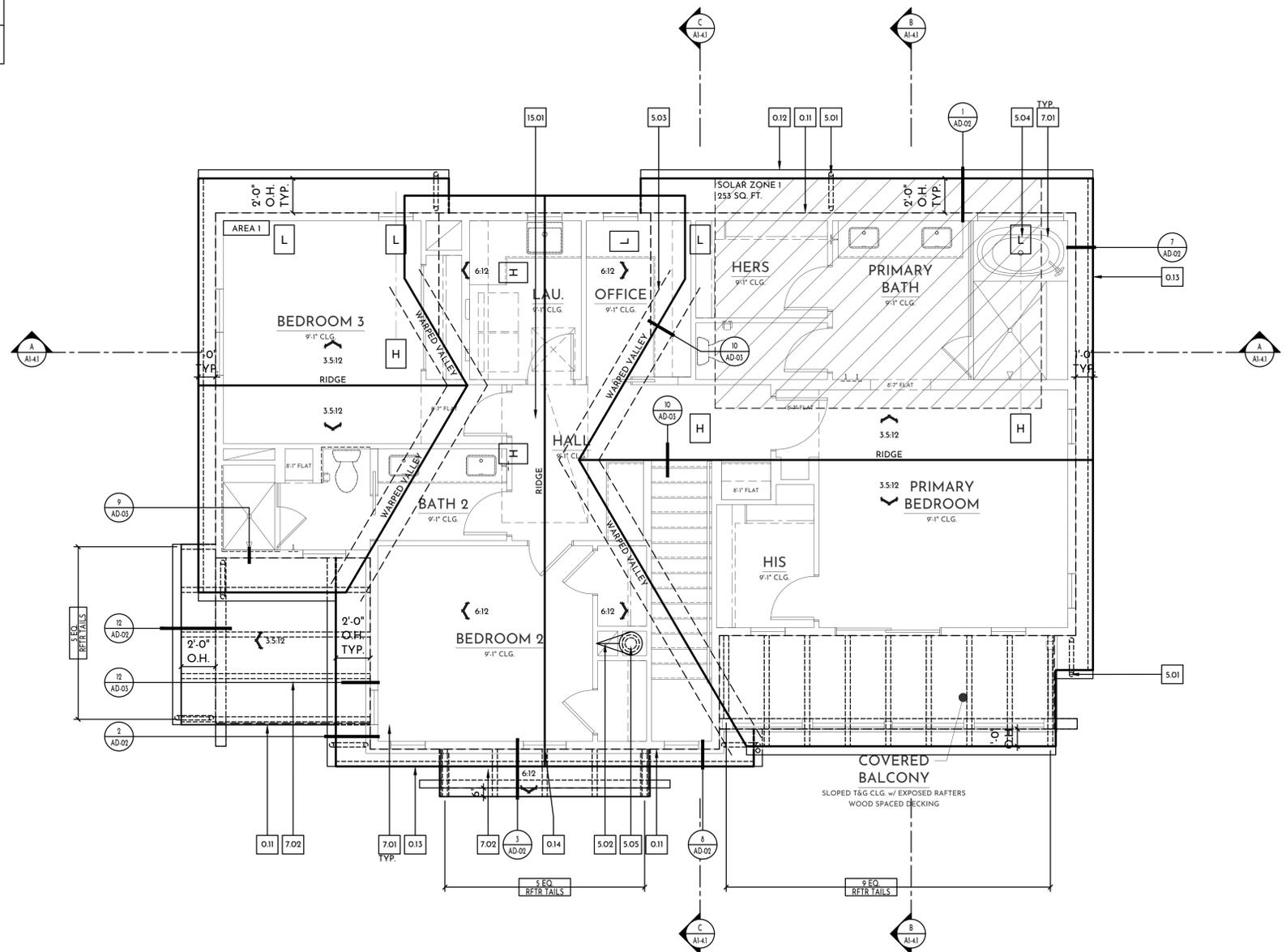
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PLOT DATE: 4/19/2025

REQUIRED ATTIC VENTILATION

THE ATTIC VENTILATION CALCULATION ARE PER C.R.C R806.2 AS FOLLOWS:

- ATTIC AREA (SQUARE FEET).
- DIVIDE (A) BY 300 AND MULTIPLY BY 144 TO CALCULATE THE TOTAL REQUIRED MINIMUM NET FREE VENTING AREA IN SQUARE INCHES. DIVIDE BY 2 TO SET THE MAXIMUM NET FREE VENTING REQUIRED HIGH AND THE MINIMUM NET FREE VENTING REQUIRED LOW. (AT LEAST 40% AND NO MORE THAN 50% OF THE REQUIRED VENTING AREA SHALL BE PROVIDED BY HIGH VENTS LOCATED NO MORE THAN 3 FEET VERTICALLY BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, WITH THE BALANCE OF VENTING PROVIDED BY EAVE/LOW VENTS).
- DIVIDE (A) BY 150 AND MULTIPLY BY 144 TO CALCULATE THE TOTAL REQUIRED MINIMUM NET FREE VENTING AREA IN SQUARE INCHES. (NO HIGH/LOW VENTING REQUIREMENTS WHEN USING 1/150.)
- TOTAL SQUARE INCHES OF NET FREE VENTILATING AREA PROVIDED BY O'HAGIN ROOF AIR VENTS. (72 SQ. IN. OF FREE AREA MIN. EACH VENT) PROVIDE O'HAGIN PRIMARY VENT SUB-FLASHING w/ 6" FLANGE AND DIVERTER AT HIGH SIDE. VENT FLASHING TO BE 26 GA G.I.
- TOTAL SQUARE INCHES OF NET FREE VENTILATING AREA PROVIDED

- H HIGH VENT
- L LOW VENT
- VENT NOT REQ. TO MEET HIGH OR LOW



**ROOF PLAN
PLAN 1**



SCALE: 1/4" = 1'-0"

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- ALL EQUIPMENT, APPLIANCES, AND FIXTURES TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
- ALL ROOFING TO BE A MINIMUM CLASS A (REFLECTANCE = 0.10 & EMISSIVITY = 0.85)
COMPOSITION ROOF:
-GAF TIMBERLINE HD (ESR 1475) OR 'APPROVED
EQUAL'
STANDING SEAM METAL ROOF:
-TAYLOR METAL EASY LOCK 24 GAUGE - 16" SEAM (UL ER25913-01)
- PROVIDE THE FOLLOWING MINIMUM DIMENSIONS FOR VERTICAL LEG

ON ROOF UNDERSHOTS:

- 8" AT COMPOSITION SHINGLE ROOFS
- PLUMBING VENTS, EXHAUST VENTS OR SIMILAR TERMINATION ACCESSORIES SHALL BE ROUTED TO A PLANE ON THE ROOF THAT IS LEAST VISIBLE FROM PUBLIC VIEW AND GROUPED TOGETHER WHEN POSSIBLE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ARCHITECT PRIOR TO INSTALLATION AND CONFIRM LOCATION.
- ALL EXPOSED METAL ON ROOF SHALL BE CORROSION RESISTANT AND BE PAINTED TO MATCH THE COLOR OF THE ROOF MATERIAL UNO.
- ALL PENETRATIONS IN VALLEYS SHALL BE LOCATED 18" MIN. OUTSIDE VALLEY WATERWAYS, AND 18" MIN. FROM OTHER PENETRATIONS OR PROJECTIONS, SUCH AS PIPES, WALLS, CURBS, ETC. ALL PENETRATIONS SHALL BE OFFSET 18" MIN. FROM WATERWAY TERMINATIONS SUCH AS VALLEY ENDS AND TILE PAN ENDS, ETC. ALL PENETRATIONS SHALL BE VERTICALLY PLUMB THROUGH ROOF SHEATHING AND EXTEND 12" MIN. ABOVE SHEATHING. 26 GA. MIN. METAL FLASHING (TYP.)
- FRAMER TO PROVIDE VENTILATION TO AREAS OF ATTIC ISOLATED BY OVER-FRAMING, PROVIDE A 22"x30" ACCESS WAY AT OVER-FRAMING THAT IS OVER 30" CLEAR IN HEIGHT.

SYMBOL LEGEND

- X KEY NOTE
- LINE OF EXTERIOR FACE OF FRAMING / STRUCTURE BELOW
- XXX ROOF PITCH SYMBOL.
• ARROW POINTS DOWNSLOPE
• FIRST NUMBER IS VERTICAL RISE
• SECOND NUMBER IS HORIZ. RUN
- Metal Valley Flashing
- Metal Saddle and Cricket Flashing



TYPICAL DOWNSPOUT AND GUTTER COORDINATE CONNECTION TO STORM DRAINAGE SYSTEM. REFER TO CIVIL DWGS.

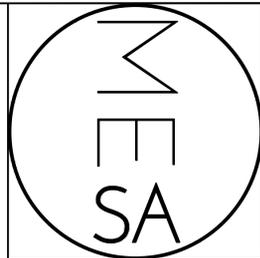
250 SQ. FT. OF SOLAR READY ZONE FOR FUTURE INSTALLATION. PROVIDE A LOCATION FOR INVERTERS AND METERING EQUIPMENT FOR FUTURE SYSTEMS ALONG w/ A PATHWAY FOR ROUTING CONDUIT FROM THE SOLAR ZONES TO THE POINT OF INTERCONNECTION w/ THE ELECTRICAL SERVICE AND PATHWAY FOR ROUTING OF PLUMBING FROM THE SOLAR ZONE TO THE WATER-HEATING SYSTEM.

ROOF PLAN NOTES

- SPATIAL
 - 011 LINE OF FLOOR AND/OR WALL BELOW
 - 012 LINE OF EAVE
 - 013 LINE OF RAKE/ BARGE
 - 014 GABLE END TRUSS W/ RECESSED FALSE VENT DETAIL PER ELEVATION. SEE DETAILS FOR VERTICAL TRUSS MEMBER COORDINATION
- METALS
 - 501 LINE OF C.R. METAL GUTTER / DOWNSPOUT
 - 502 C.R. METAL CRICKET/SADDLE FLASHING
 - 503 C.R. METAL VALLEY FLASHING
 - 504 O'HAGIN ROOF VENT
 - 505 C.R. METAL DIRECT VENT CAP (INSTALL PER MANUFACTURER'S INSTRUCTIONS)

7. THERMAL PROTECTION
7.01 COMPOSITE ASPHALT SHINGLE ROOF
7.02 STANDING SEAM METAL ROOF

15. MECHANICAL
15.01 MECHANICAL UNIT (IN ATTIC)



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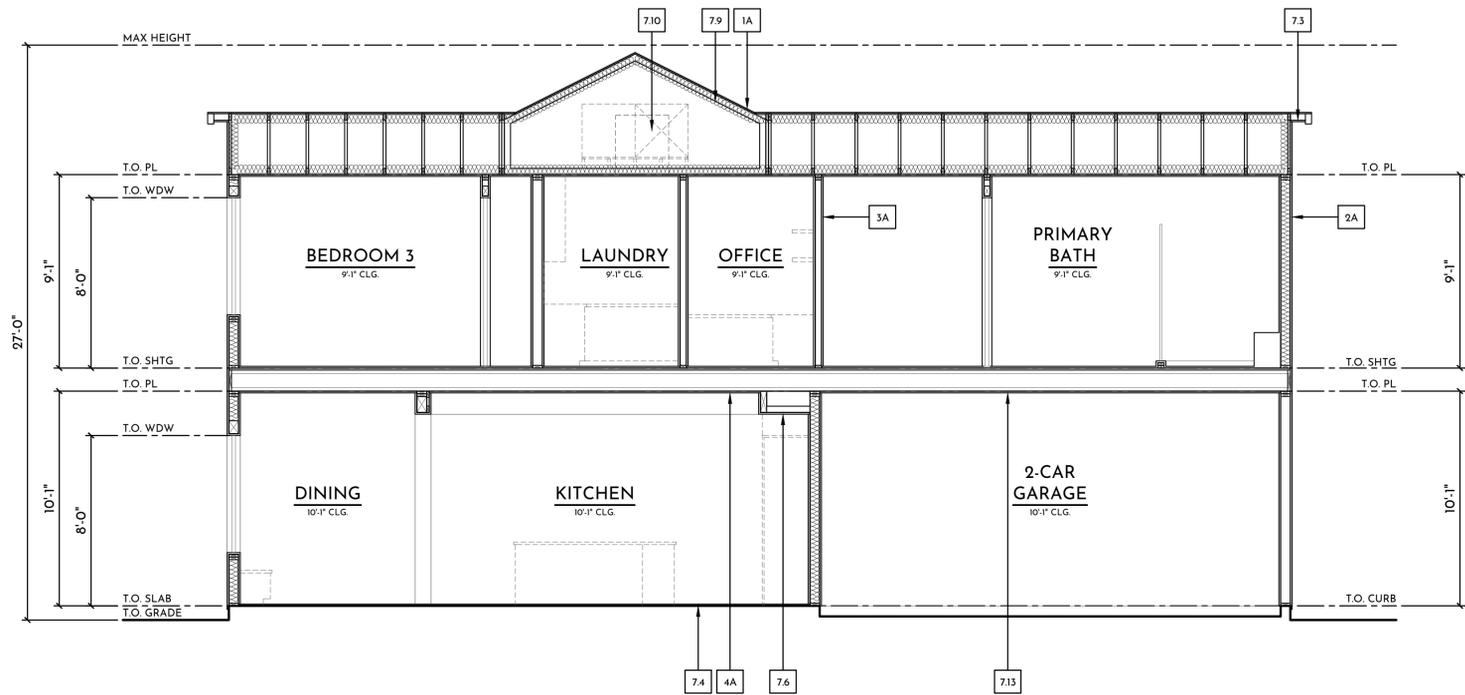
SECTIONS
PLAN 1

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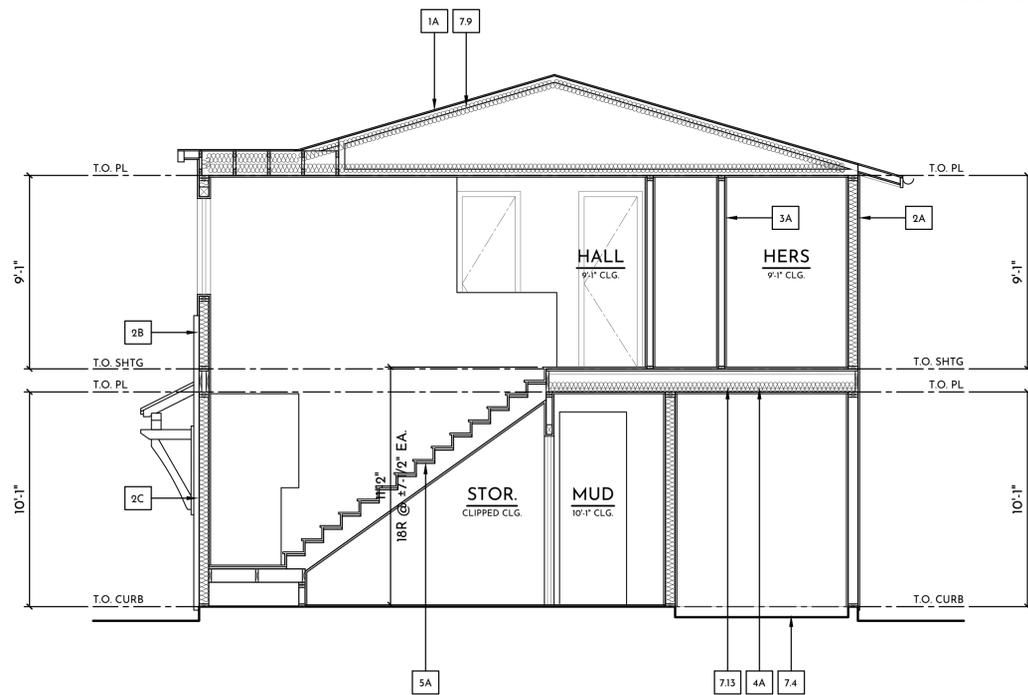
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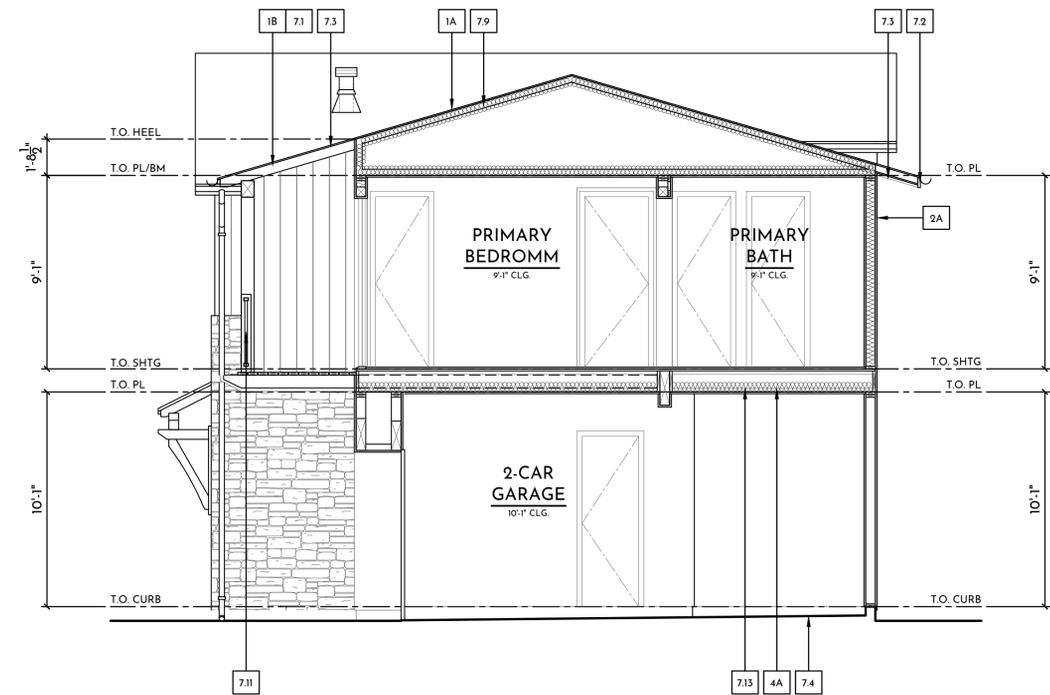
SECTION A-A
ELDEN

SCALE: 1/4" = 1'-0"



SECTION C-C

SCALE: 1/4" = 1'-0"



SECTION B-B

SCALE: 1/4" = 1'-0"

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- ANY DISCREPANCY FOUND IN THESE DRAWINGS IS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ANY CONSTRUCTION
- FIRST FLOOR DIMENSIONS ARE FROM THE TOP OF HOUSE SLAB
- SECOND FLOOR DIMENSIONS ARE FROM THE TOP OF SUB FLOOR SHEATHING
- REFER TO STRUCTURAL DRAWINGS FOR FRAMING MEMBER SPECIES, GRADES, SIZES, SPACING, CONNECTIONS, ROOF AND FLOOR SHEATHING, SHEAR WALLS AND ADDITIONAL INFORMATION
- FOUNDATION: FOUNDATION IS TO BE A CONCRETE SLAB ON GRADE SYSTEM (U.N.O), DESIGNED BY OTHERS
- SOLE PLATES: SOLE PLATES SHALL BE PRESSURE TREATED

SYMBOL LEGEND



SECTION NOTES

- 1A. SLOPED ROOF ASSEMBLY:**
- ROOFING MATERIAL - PER ROOF PLAN
 - ROOFING UNDERLAYMENT FELT - PER MFR'S SPEC'S
 - ROOF SHEATHING - S.S.D.
 - CALIFORNIA FRAMING (WHERE OCCURS)
 - DESIGNED WOOD TRUSSES OR 2X RAFTERS
 - INSULATION PER ENERGY CALCS
 - 2X WOOD FURRING (WHERE OCCURS)
 - GYPSON BOARD AT CEILING (OR FINISH PER INT. SPEC)

1B. SLOPED EXPOSED RAFTERS ROOF ASSEMBLY:

- ROOFING MATERIAL - PER ROOF PLAN
- ROOFING UNDERLAYMENT FELT - PER MFR'S SPEC'S
- 2X T&G STARTER BOARD / ROOF SHEATHING - S.S.D.
- EXPOSED WOOD 4x6 RAFTERS, CONVENTIONALLY FRAMED

2A. EXTERIOR WALL ASSEMBLY:

- 7/8" EXTERIOR STUCCO - 3 COAT (SMOOTH)
- WIRE LATH OVER MIN. TWO LAYERS GRADE 'D' 60 MINUTE BUILDING PAPER WHERE PLYWOOD SHEATHING OCCURS
- PLYWOOD SHEAR PANELS (WHERE OCCURS)
- 2X WALL FRAMING - S.S.D.
- INSULATION PER ENERGY CALCS
- GYPSON WALLBOARD (OR FINISH PER INT. SPEC)

2B. EXTERIOR WALL ASSEMBLY:

- CEMENTITIOUS/FIBER-ASH WOOD COMP. SIDING - TYPE PER ELEV.
- TWO LAYERS GRADE 'D' BUILDING WHERE PLYWOOD SHEATHING OCCURS
- PLYWOOD SHEAR PANELS (WHERE OCCURS)
- 2X WALL FRAMING - S.S.D.
- INSULATION PER ENERGY CALCS
- GYPSON WALLBOARD (OR FINISH PER INT. SPEC)

2C. EXTERIOR WALL ASSEMBLY:

- ADHERED STONE VENEER w/ SCRATCH/BROWN COAT
- TWO LAYERS GRADE 'D' BUILDING WHERE PLYWOOD SHEATHING OCCURS
- PLYWOOD SHEAR PANELS (WHERE OCCURS)
- 2X WALL FRAMING - S.S.D.
- INSULATION PER ENERGY CALCS
- GYPSON WALLBOARD (OR FINISH PER INT. SPEC)

3A. INTERIOR WALL ASSEMBLY (NON-RATED):

- GYPSON WALLBOARD (OR FINISH PER INT. SPEC)
- 2X WALL FRAMING - S.S.D.
- GYPSON WALLBOARD (OR FINISH PER INT. SPEC)

4A. FLOOR/CEILING ASSEMBLY:

- FLOOR FINISH - SEE PLANS
- SUBFLOOR SHEATHING - S.S.D.
- FLOOR JOISTS - S.S.D.
- 2X WOOD / LIGHT GAUGE METAL FURRING (WHERE OCCURS)
- GYPSON BOARD (OR FINISH PER INT. SPEC) (TYPE "X" WHERE OCCURS)

5A. TYPICAL STAIR ASSEMBLY:

- CONTINUOUS HANDRAIL (SECURELY FASTENED TO WALL WHERE SHOWN) BETWEEN 34" MIN. - 38" MAX. ABOVE NOSING OF TREAD
- FINISH MATERIAL PER INT. SPEC.
- 1/8" THICK TREADS (U.N.O.)
- 3/4" THICK RISERS (U.N.O.)
- MIN. (3) 2 x 14 STRINGERS AT STRAIGHT RUNS
- 2 x 6 JOISTS @ 16" O.C. MIN. AT LANDING - S.S.D.
- POSITIVE CONNECTION TO FLOOR - S.S.D.

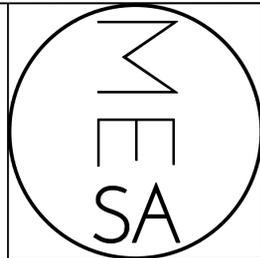
- 7.13 PROVIDE 5/8" TYPE 'X' GYP. BOARD AT GARAGE CEILINGS w/ HABITABLE ROOMS ABOVE AND AT UNDERSIDE OF STAIRS (PER CRC TABLE R302.6)

ENERGY REQUIREMENTS

NOTE: VERIFY WITH ENERGY COMPLIANCE CALCULATIONS.

- EXPOSED WOOD RAFTER TAILS - S.S.D
- EXPOSED WOOD FASCIA - S.S.D
- T&G WOOD STARTER BOARDS - SEE NOTE FOR SIZE
- SLAB FOUNDATION - S.S.D.
- CEMENT BOARD SOFFIT
- GYPSON BOARD SOFFIT
- FURRED CEILING
- DECORATIVE WOOD BEAM (PAINT GRADE)
- INSULATION PER ENERGY CALCS
- HEAT PUMP AIR UNIT IN ATTIC. PROVIDE FUEL GAS, LIGHT, AND SWITCH.
- TRUSS MANUFACTURER TO PROVIDE REQUIRED CLEARANCES.
- DECK/BALCONY GUARD RAIL - 42" A.F.F.

REFER TO EN-1 - EN-4 SHEETS FOR MIN. GLAZING U-FACTOR & SHGC FOR WINDOWS AND DOORS.



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ELEVATIONS
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SOUTHWEST ELEVATION

SCALE: 1/4" = 1'-0"



NORTHWEST ELEVATION

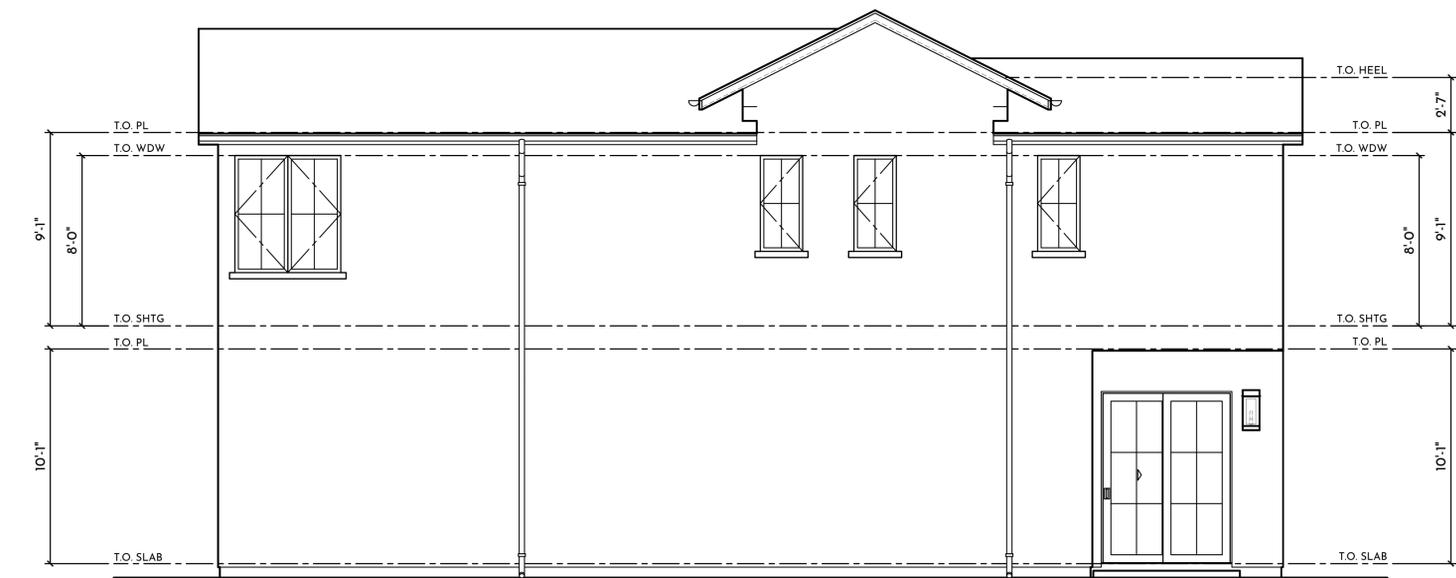
ELDEN

SCALE: 1/4" = 1'-0"



NORTHEAST ELEVATION

SCALE: 1/4" = 1'-0"



SOUTHEAST ELEVATION

SCALE: 1/4" = 1'-0"

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SYMBOL LEGEND

- [X] KEY NOTE
- (X/XXX) DETAIL REFERENCE

ELEVATION NOTES

- 0. SPATIAL**
 - 0.01 LINE OF WALL BEYOND
 - 0.02 WALL OPENING
- 2. SITE**
 - 2.01 SITE WALL | GATE (SEE LANDSCAPE)
 - 2.02 FINISH GRADE
- 3. CONCRETE**
 - 3.01 CONCRETE SLAB ON GRADE (SEE STRUCTURAL)
 - 3.02 CONCRETE/HARDSCAPE STOOP (SEE LANDSCAPE)
- 4. MASONRY**
 - 4.01 THIN STONE VENEER (ADHERED) w/ MORTAR WASH (PLAN 1 - WILDFLOWER BY CREATIVE MINES)
 - 4.02 PRECAST CONCRETE TRIM | HEADER (FOAM TRIM w/ SMOOTH PLASTER FINISH ALTERNATE)

5. METALS

- 5.01 C.R. METAL STUCCO WEEP SCREED, TYP.
- 5.02 C.R. METAL GUTTER, TYP.
- 5.03 C.R. METAL DOWNSPOUT, TIE INTO SITE DRAINAGE - PER CIVIL
- 5.04 C.R. METAL FLASHING AT INTERSECTION
- 5.05 C.R. METAL FLASHING AT TOP OF ALL EXPOSED WOOD (TRIM INCLUDED)
- 5.06 LISTED C.R. METAL HORIZONTAL VENT TERMINATION CAP FOR GAS FIREPLACE PER MANUF. SPECS. SET BOTTOM OF CAP MIN. 8'-0" A.F.F.
- 5.07 C.R. METAL GUARD AND RAILING SYSTEM, +42" A.F.F.
- 5.08 STANDING SEAM METAL ROOF
- 5.09 RECESSED METAL LOUVER VENT (FAUX GABLE DETAIL)

6. WOOD

- 6.01 WOOD FASCIA
- 6.02 WOOD BARGE
- 6.03 WOOD RAFTER TAILS
- 6.04 2X WOOD TRIM
- 6.05 WOOD POST
- 6.06 SHAPED WOOD BEAM
- 6.07 WOOD CORBEL
- 6.08 WOOD GUARD AND RAILING SYSTEM, +42" A.F.F.
- 6.09 SHAPED WOOD KNEE BRACE | KICKER
- 6.10 WOOD TRIM BAND

7. EXTERIOR FINISHES

- 7.01 ROOFING MATERIAL (SEE ROOF PLANS)
- 7.02 1/2" COAT EXTERIOR PLASTER/STUCCO (SMOOTH FINISH)
- 7.03 PLASTER CONTROL JOINT
- 7.04 VERTICAL SIDING - 10X NICKEL-GAP (TRUEXTERIOR SIDING OR APPROVED EQUAL)
- 7.05 HORIZONTAL SIDING - 8X COVE | DUTCH LAP SIDING (TRUEXTERIOR SIDING OR APPROVED EQUAL)
- 7.06 WOOD (COMPOSITE ALTERNATE) SHUTTER

8. OPENINGS

- 8.01 ENTRY DOOR REFER TO DOOR SCHEDULE
- 8.02 ACCESS DOOR REFER TO DOOR SCHEDULE
- 8.03 SECTIONAL ROLL-UP GARAGE DOOR, WOOD GARAGE DOOR (STAIN GRADE)

15. MECHANICAL

- 15.01 A/C CONDENSER LOCATION

16. ELECTRICAL

- 16.01 LIGHT FIXTURE - CARSON GOOSENECK WALL SCONCE - 12" DOME - BLACK - 16" WALL PROJECTION BY REJUVENATION OR APPROVED EQUAL. SEE UTILITY PLAN FOR HEIGHT
- 16.02 LIGHT FIXTURE 1 - FRESNO LARGE 3/4 WALL LANTERN - AGED IRON - BY VISUAL COMFORT OR APPROVED EQUAL. SEE UTILITY PLAN FOR HEIGHT
- 16.03 LIGHT FIXTURE 2 - HALLE LARGE WALL LANTERN - AGED IRON - BY VISUAL COMFORT OR APPROVED EQUAL. SEE UTILITY PLAN FOR HEIGHT
- 16.04 ADDRESS SIGN, +66 AFF (U.N.O.)

PLAN 2

WINDOW SCHEDULE

X	SIZE (WxH)	TYPE	FRAME	COLOR	MANUFACTURER (OR APPROVED EQUAL)	U-FACTOR	SHGC	REMARKS
2A	2'-0" x 4'-4"	CASEMENT	FIBERGLASS	BRONZE	MARVIN	0.29	0.20	
2B	10'-0" x 5'-6"	CASEMENT FIXED				0.29	0.22	2 - 2'-6"x5'-6" CASEMENT w/ 5'-0"x5'-6" FIXED, MULLED
2C	2'-6" x 4'-6"	CASEMENT				0.29	0.20	
2D	7'-6" x 4'-6"	BIFOLD				0.28	0.18	3-PANEL BIFOLD (ACCORDION) WINDOW, 3 - 2'-6"x4'-6"
2E	4'-0" x 4'-6"	CASEMENT				0.29	0.20	2 - 2'-0"x4'-6" CASEMENT, MULLED
2F	5'-0" x 5'-6"	CASEMENT				0.29	0.20	2 - 2'-6"x5'-6" CASEMENT, MULLED
2G	5'-0" x 5'-0"	CASEMENT				0.29	0.20	2 - 2'-6"x5'-0" CASEMENT, MULLED
2H	2'-6" x 5'-6"	CASEMENT				0.29	0.20	
2J	2'-0" x 4'-0"	CASEMENT				0.29	0.20	
2K	2'-6" x 5'-0"	CASEMENT				0.29	0.20	

WINDOW NOTES

- REFER TO FLOOR PLANS FOR TEMPERED GLASS (SAFETY LOCATIONS) AND EGRESS NOTATIONS
- ALL EXTERIOR WINDOWS SHALL COMPLY WITH CRC 337.8.2
- CONFIRM ALL WINDOW U-FACTORS AND SHGCs WITH THE ENERGY COMPLIANCE FORMS
- ALL - ROUGH OPENING VERIFY WITH MANUFACTURER
- SIMULATED DIVIDED LIGHTS (WINDOW MUNTINS) PER EXTERIOR ELEVATIONS

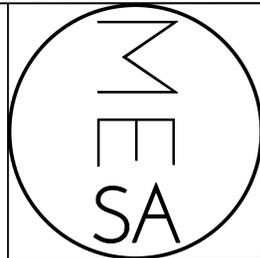
DOOR SCHEDULE

X	SIZE (WxH)	TYPE	THICKNESS	COLOR	MANUFACTURER (OR APPROVED EQUAL)	U-FACTOR	SHGC	REMARKS
201	3'-6" x 8'-0"	ENTRY DOOR		STAINED	CUSTOM	0.30	0.23	SOLID CORE w/ TEMPERED GLAZING, STAIN GRADE, WOOD ENTRY DOOR, FOR EGRESS
202	3'-0" x 8'-0"	FRENCH DOOR	1-3/4"	BRONZE	MARVIN	0.30	0.19	FRENCH DOOR w/ TEMPERED GLAZING
203	2'-8" x 8'-0"	SOLID CORE	1-3/4"	PAINTED		-	-	SOLID CORE, w/ TEMPERED GLAZING, PAINT GRADE, WOOD DOOR
204	16'-0" x 8'-0"	SECTIONAL GAR. DR.		STAINED		-	-	SOLID CORE, WOOD GARAGE DOOR - WOOD PANEL SECTIONAL GARAGE DOOR w/ AUTOMATIC OPENER
205	2'-8" x 8'-0"	SOLID WOOD	1-3/4"	PER INT.		N/A	N/A	SELF-CLOSING, SELF-LATCHING, TIGHT FIT
206	6'-0" x 8'-0"	SLIDING GLASS		BRONZE	MARVIN	0.30	0.19	2-PANEL SLIDING GLASS DOOR OX
21	2'-6" x 8'-0"	HINGED - INTERIOR	1-3/4"	PER INT.		N/A	N/A	SOLID CORE, PAINT GRADE, WOOD INTERIOR DOOR
22	2'-8" x 8'-0"	HINGED - INTERIOR	1-3/4"	PER INT.		N/A	N/A	SOLID CORE, PAINT GRADE, WOOD INTERIOR DOOR
23	3'-0" x 8'-0"	HINGED - INTERIOR	1-3/4"	PER INT.		N/A	N/A	SOLID CORE, PAINT GRADE, WOOD INTERIOR DOOR
24	2'-6" x 8'-0"	POCKET - INTERIOR	1-3/4"	PER INT.		N/A	N/A	SOLID CORE, PAINT GRADE, WOOD INTERIOR DOOR
25	2'-4" x 7'-0"	GLASS - INTERIOR		PER INT.		N/A	N/A	GLASS SWINGING DOOR - TEMPERED
26	6'-0" x 8'-0"	BYPASS - INTERIOR	1-3/4"	PER INT.		N/A	N/A	SOLID CORE, PAINT GRADE, WOOD INTERIOR DOOR
27	8'-0" x 8'-0"	BYPASS - INTERIOR	1-3/4"	PER INT.		N/A	N/A	SOLID CORE, PAINT GRADE, WOOD INTERIOR DOOR
28	2'-4" x 8'-0"	POCKET - INTERIOR	1-3/4"	PER INT.		N/A	N/A	SOLID CORE, PAINT GRADE, WOOD INTERIOR DOOR

DOOR NOTES

- REFER TO FLOOR PLANS FOR TEMPERED GLASS (SAFETY LOCATIONS) AND EGRESS NOTATIONS
- ALL EXTERIOR DOORS WITH GLAZING SHALL COMPLY WITH CRC 337.8.2
- CONFIRM ALL DOORS U-FACTORS AND SHGCs WITH THE ENERGY COMPLIANCE FORMS
- ALL - ROUGH OPENING VERIFY WITH MANUFACTURER
- SIMULATED DIVIDED LIGHTS (DOOR MUNTINS) PER EXTERIOR ELEVATIONS

ENERGY NOTE: ALL EXTERIOR DOORS SHALL BE CAULKED BETWEEN DOOR AND BUILDING, AND SHALL BE WEATHERSTRIPPED



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PLANNING APP - PDES-24-0013 BUILDING DEPARTMENT SUBMITTAL:

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- 2ND SUBMITTAL -
- 3RD SUBMITTAL -
- 4TH SUBMITTAL -

REVISIONS:

SHEET TITLE:

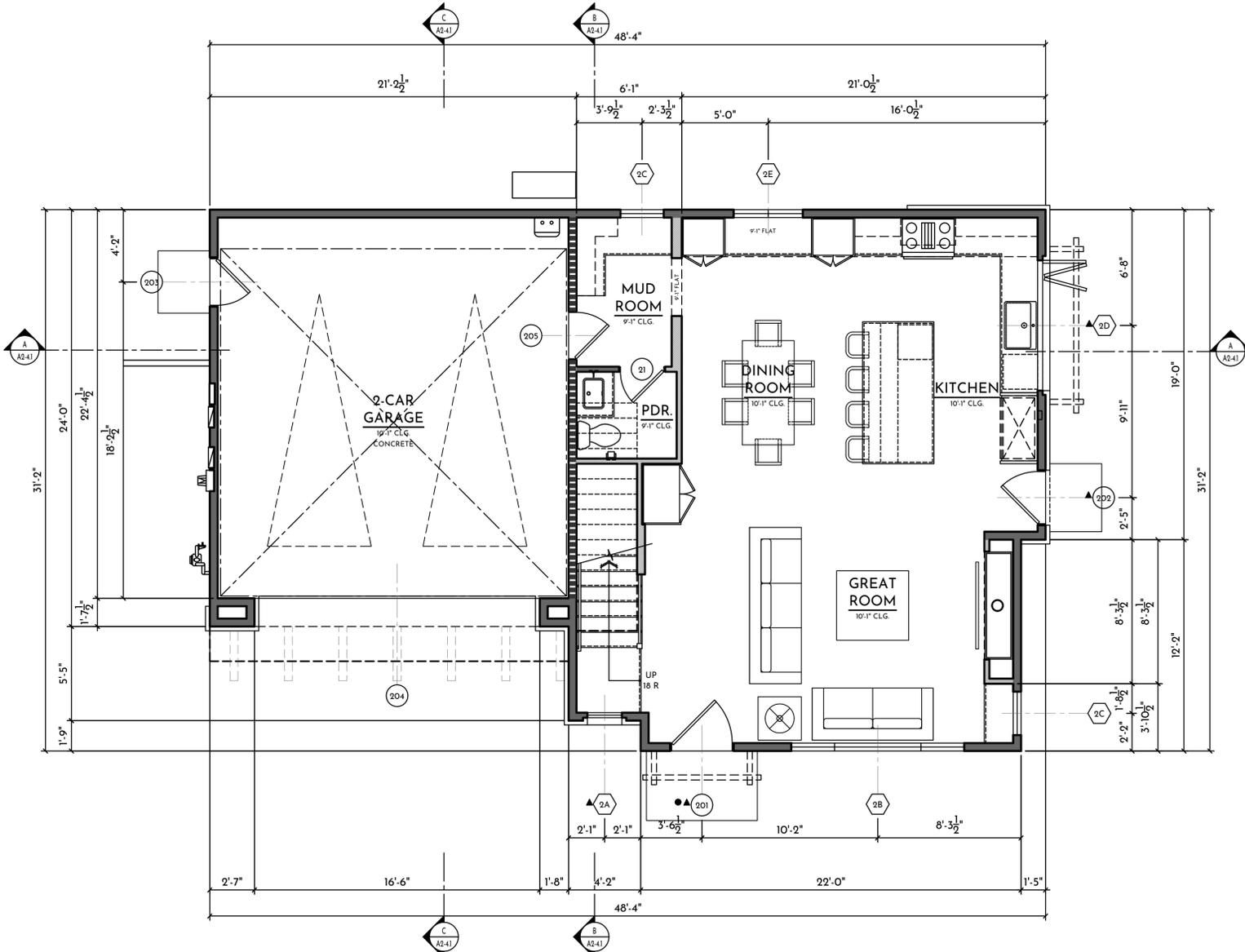
1ST FLOOR PLAN
PLAN 2

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SHEET NUMBER:

A2-2.1

PLOT DATE: 4/19/2025



FIRST FLOOR

PLAN 2



SCALE: 1/4" = 1'-0"

GENERAL NOTES

- HORIZONTAL AND VERTICAL DIMENSIONS SHOWN ARE FROM FACE OF STUD OF FACE OF CONCRETE UNLESS NOTED OTHERWISE
- ANY DISCREPANCY FOUND IN THESE DRAWINGS IS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ANY CONSTRUCTION
- FOR FINISHES REFER TO INTERIOR DESIGNER'S SPEC.
- ALL MECHANICAL EQUIPMENTS, ELECTRICAL FIXTURES, PLUMBING FIXTURES, AND STRUCTURAL MEMBERS ARE SHOWN FOR REFERENCE ONLY. REFER TO CONSULTANTS' DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS BY OTHERS.
- CONTRACTOR TO COORDINATE PLUMBING, MECHANICAL, ELECTRICAL PENETRATIONS AND CONNECTIONS WITH SUBCONTRACTORS
- ALL EQUIPMENT, APPLIANCES, AND FIXTURES TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
- PROVIDE THE FOLLOWING AT EGRESS WINDOWS: 57 SQ. FT. OF CLEAR OPERABLE AREA; NET OPERABLE HEIGHT SHALL BE 24" MIN.; NET OPERABLE WIDTH SHALL BE 20" MIN.; BOTTOM OF CLEAR OPENING SHALL BE A MAX. HEIGHT OF 44"
- WINDOWS/DOORS TO HAVE LABEL INDICATING U-VALUE AND SHGC PER ENERGY CALCS.
- CONTRACTOR TO PROVIDE/CONFIRM INSULATION IS PROVIDED THROUGHOUT BUILDING ENVELOPE.

SYMBOL LEGEND

- X KEY NOTE
- SEE INTERIOR ELEVATION SHEETS FOR CORRESPONDING VIEWS
- ▲ = TEMPERED GLASS
- = EMERGENCY EGRESS WINDOW
- 2x6 WALL FRAMING - S.S.D.
- 2x4 WALL FRAMING - S.S.D.
- GARAGE | DWELLING SEPARATION

FLOOR PLAN NOTES

0. SPATIAL
 - 011 LINE OF FLOOR, DECK, AND/OR WALL ABOVE
 - 012 LINE OF FLOOR AND/OR WALL BELOW
 - 013 LINE OF CEILING CHANGE ABOVE
 - 014 OPENING IN WALL
 - 015 GARAGE CLEAR SPACE (10'-0"x20'-0" MIN.)
4. MASONRY
 - 401 LINE OF ADHERED STONE VENEER FINISH
6. WOOD
 - 601 2x WOOD FRAMING - S.S.D.
 - 602 WOOD HANDRAIL AT 34-38" ABOVE NOSING
 - 603 WOOD GUARD AT 42" A.F.F.
 - 604 WOOD CABINETS - UPPER CABINET
 - 605 WOOD CABINETS - LOWER CABINET
 - 606 WOOD CABINETS - FULL HEIGHT CABINET
 - 607 WOOD CABINETS - SHELVES
 - 608 WOOD CABINETS - FULL HEIGHT CLOSET CABINET
 - 609 WOOD CABINETS - BUILT-IN BANQUETTE SEAT w/ STORAGE BELOW
 - 610 WOOD SPACED DECKING
8. OPENINGS
 - 801 SELF-CLOSING, SELF-LATCHING, TIGHT FITTING, SOLID WOOD 1 3/8" MINIMUM THICK DOOR OR 20 MINUTE DOOR AT OPENINGS FROM DWELLING TO GARAGE
 - 802 ATTIC ACCESS PANEL 30"x30" MIN CLR MAINTAIN 30"x30" CLEAR SPACE TO FLOOR BELOW OPENING
9. FINISHES
 - 901 5/8" GYP BOARD (1/2" MIN) AT GARAGE SIDE TO RESIDENCE & AT GARAGE CEILINGS w/ HABITABLE ROOMS ABOVE (CRC TABLE R302.6)
 - 902 DECORATIVE INTERIOR WALL/CEILING FINISH - PER INT. DESIGNER
 - 903 GYPSUM BOARD LOW WALL w/ WOOD CAP AT 42" A.F.F.
 - 904 GYPSUM BOARD NICHE
 - 905 COUNTERTOP - FINISH PER INT. DESIGNER
 - 906 EXPOSED ROOF FRAMING, T&G UNDERSIDE. SEE STRUCT.
10. SPECIALTIES
 - 1001 MUDSET CERAMIC TILED SHAMPOO NICHE, 14" x 20" R.O. 48" A.F.F.
 - 1002 GAS APPLIANCE (FIREPLACE) - MEZZO 60 BY HEAT & GLO. DIRECT VENT, ELECTRIC IGNITION, ANSI Z 2188-2017 OR APPROVED EQUAL
 - 1003 PROVIDE SOLID BLOCKING FOR FUTURE GRAB BAR REINFORCEMENT PER CRC 327.11 - SEE DETAIL 8/A-D-12
11. EQUIPMENT
 - 1101 36" RANGE WITH OVEN BELOW
 - 1102 45" REFRIGERATOR SPACE
 - 1103 24" DISHWASHER
 - 1104 24" BUILT-IN MICROWAVE DRAWER (w/ TRIM KIT)
 - 1105 EXHAUST RANGE HOOD - VENT TO OUTSIDE AIR
12. FURNISHINGS
 - 1201 SHELF & POLE
 - 1202 SHELF & DOUBLE POLE
 - 1203 TOWEL BAR MOUNTED AT 54" A.F.F.
 - 1204 TOILET PAPER HOLDER MOUNTED AT 26" A.F.F.
 - 1205 TOWEL HOOK MOUNTED AT 54" A.F.F.
15. MECHANICAL / PLUMBING / ELECTRICAL
 - 1501 3/8" DRAIN SINK WITH GARBAGE DISPOSAL
 - 1502 LAVATORY SINK
 - 1503 LAVATORY SINK
 - 1504 WASHER SPACE - PROVIDE FLOOR DRAIN AND SMITTY PAN. INSTALL ON LEFT SIDE OF DRYER
 - 1505 DRYER SPACE - ROUTE DUCT TO OUTSIDE AIR
 - 1506 HOT-MOPPED SHOWER w/ SHATTER RESISTANT GLASS SHOWER ENCLOSURE. PROVIDE NONABSORBENT AT ALL SURFACES IN PRIMARY SHOWERS / WET AREAS. SHOWER SEAT - 20" AFF SLOPED 1/2" PER FOOT, WHERE OCCURS
 - 1507 SHATTER RESISTANT GLASS SHOWER DOOR
 - 1508 FREE STANDING TUB w/ FLOOR MOUNT TUB FILLER
 - 1509 WATER CLOSET (MIN 30" WIDTH AT WALL & 24" MIN. CLEAR IN FRONT)
 - 1510 SHOWER HEAD - 82" AFF
 - 1511 GAS METER - REFER TO EXTERIOR ELEVATIONS FOR LOCATION. MAINTAIN 3'-0" CLEARANCE FROM ANY PIPING TO EDGE OF ELECTRICAL METER
 - 1512 ELECTRIC METER. MAINTAIN 3'-0" CLEAR FROM FACE OF PANEL TO ANY WALL SURFACE OR OBSTRUCTIONS.
 - 1513 CABLE TV/PHONE PANELS
 - 1514 HEAT PUMP AIR UNIT IN ATTIC. PROVIDE FUEL GAS, LIGHT, AND SWITCH MANUFACTURER'S INSTRUCTIONS.
 - 1515 TANKLESS WATER HEATER - BOTTOM @ 48" AFF. REFER TO ENERGY REPORT FOR ENERGY FACTOR SPECS. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
 - 1516 A/C CONDENSER UNIT
 - 1517 ELECTRICAL SUB-PANEL
 - 1518 MECHANICAL CHASE

AREA CALCULATIONS - PLAN 2

FIRST FLOOR (LIVE-ABLE)	835 SQ FT
SECOND FLOOR (LIVE-ABLE)	1,329 SQ FT
TOTAL (LIVE-ABLE)	2,164 SQ FT
GARAGE	474 SQ FT
OUTDOOR	

PLAN 2

WINDOW SCHEDULE

X	SIZE (WxH)	TYPE	FRAME	COLOR	MANUFACTURER (OR APPROVED EQUAL)	U-FACTOR	SHGC	REMARKS
2A	2'-0" x 4'-4"	CASEMENT	FIBERGLASS	BRONZE	MARVIN	0.29	0.20	
2B	10'-0" x 5'-6"	CASEMENT FIXED				0.29	0.20	2 - 2'-6"x5'-6" CASEMENT w/ 5'-0"x5'-6" FIXED, MULLED
2C	2'-6" x 4'-4"	CASEMENT				0.29	0.20	
2D	7'-6" x 4'-4"	BIFOLD				0.28	0.18	3-PANEL BIFOLD (ACCORDION) WINDOW, 3 - 2'-6"x4'-4"
2E	4'-0" x 4'-4"	CASEMENT				0.29	0.20	2 - 2'-0"x4'-4" CASEMENT, MULLED
2F	5'-0" x 5'-6"	CASEMENT				0.29	0.20	2 - 2'-6"x5'-6" CASEMENT, MULLED
2G	5'-0" x 5'-0"	CASEMENT				0.29	0.20	2 - 2'-6"x5'-0" CASEMENT, MULLED
2H	2'-6" x 5'-6"	CASEMENT				0.29	0.20	
2J	2'-0" x 4'-0"	CASEMENT				0.29	0.20	
2K	2'-6" x 5'-0"	CASEMENT				0.29	0.20	

WINDOW NOTES

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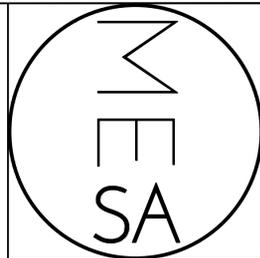
DOOR SCHEDULE

X	SIZE (WxH)	TYPE	THICKNESS	COLOR	MANUFACTURER (OR APPROVED EQUAL)	U-FACTOR	SHGC	REMARKS
201	3'-6" x 8'-0"	ENTRY DOOR		STAINED	CUSTOM	0.30	0.23	SOLID CORE w/ TEMPERED GLAZING, STAIN GRADE, WOOD ENTRY DOOR, FOR EGRESS
202	3'-0" x 8'-0"	FRENCH DOOR	1-3/4"	BRONZE	MARVIN	0.30	0.19	FRENCH DOOR w/ TEMPERED GLAZING
203	2'-8" x 8'-0"	SOLID CORE	1-3/4"	PAINTED				SOLID CORE, w/ TEMPERED GLAZING, PAINT GRADE, WOOD DOOR
204	16'-0" x 8'-0"	SECTIONAL GAR. DR.		STAINED				SOLID CORE, WOOD GARAGE DOOR - WOOD PANEL SECTIONAL GARAGE DOOR w/ AUTOMATIC OPENER
205	2'-8" x 8'-0"	SOLID WOOD	1-3/4"	PER INT.		N/A	N/A	SELF-CLOSING, SELF-LATCHING, TIGHT FIT
206	6'-0" x 8'-0"	SLIDING GLASS		BRONZE	MARVIN	0.30	0.19	2-PANEL SLIDING GLASS DOOR OX
21	2'-6" x 8'-0"	HINGED - INTERIOR	1-3/4"	PER INT.		N/A	N/A	SOLID CORE, PAINT GRADE, WOOD INTERIOR DOOR
22	2'-8" x 8'-0"	HINGED - INTERIOR	1-3/4"	PER INT.		N/A	N/A	SOLID CORE, PAINT GRADE, WOOD INTERIOR DOOR
23	3'-0" x 8'-0"	HINGED - INTERIOR	1-3/4"	PER INT.		N/A	N/A	SOLID CORE, PAINT GRADE, WOOD INTERIOR DOOR
24	2'-6" x 8'-0"	POCKET - INTERIOR	1-3/4"	PER INT.		N/A	N/A	SOLID CORE, PAINT GRADE, WOOD INTERIOR DOOR
25	2'-4" x 7'-0"	GLASS - INTERIOR		PER INT.		N/A	N/A	GLASS SWINGING DOOR - TEMPERED
26	6'-0" x 8'-0"	BYPASS - INTERIOR	1-3/4"	PER INT.		N/A	N/A	SOLID CORE, PAINT GRADE, WOOD INTERIOR DOOR
27	8'-0" x 8'-0"	BYPASS - INTERIOR	1-3/4"	PER INT.		N/A	N/A	SOLID CORE, PAINT GRADE, WOOD INTERIOR DOOR
28	2'-4" x 8'-0"	POCKET - INTERIOR	1-3/4"	PER INT.		N/A	N/A	SOLID CORE, PAINT GRADE, WOOD INTERIOR DOOR

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152 ALBERT PLACE LLC.

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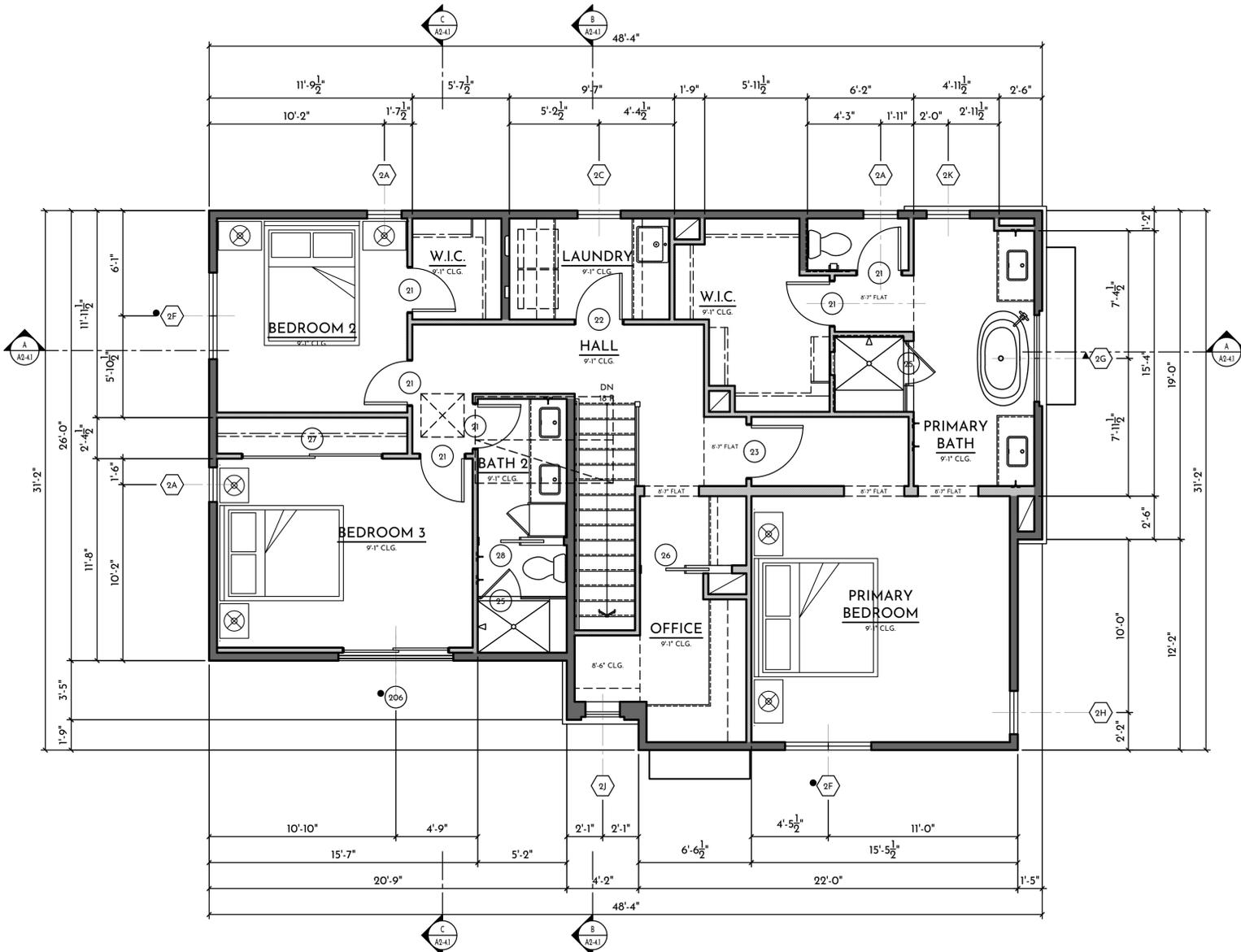
2ND FLOOR PLAN
PLAN 2

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SHEET NUMBER:

A2-2.2

PLOT DATE: 4/19/2025



SECOND FLOOR

PLAN 2

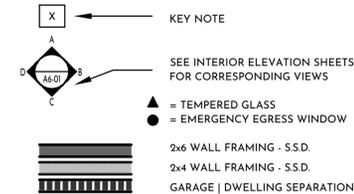


SCALE: 1/4" = 1'-0"

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SYMBOL LEGEND



FLOOR PLAN NOTES

- 0. SPATIAL**
 - 011 LINE OF FLOOR, DECK, AND/OR WALL ABOVE
 - 012 LINE OF FLOOR AND/OR WALL BELOW
 - 013 LINE OF CEILING CHANGE ABOVE
 - 014 OPENING IN WALL
 - 015 GARAGE CLEAR SPACE (10'-0"x20'-0" MIN.)
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 - 401 LINE OF ADHERED STONE VENEER FINISH
- 6. WOOD**
 - 601 2x WOOD FRAMING - S.S.D.
 - 602 WOOD HANDRAIL AT 34-38" ABOVE NOSING
 - 603 WOOD GUARD AT 42" A.F.F.
 - 604 WOOD CABINETS - UPPER CABINET
 - 605 WOOD CABINETS - LOWER CABINET
 - 606 WOOD CABINETS - FULL HEIGHT CABINET
 - 607 WOOD CABINETS - SHELVES
 - 608 WOOD CABINETS - FULL HEIGHT CLOSET CABINET
 - 609 WOOD CABINETS - BUILT-IN BANQUET SEAT w/ STORAGE BELOW
 - 610 WOOD SPACED DECKING
- 8. OPENINGS**
 - 801 SELF-CLOSING, SELF-LATCHING, TIGHT FITTING, SOLID WOOD 1 3/8" MINIMUM THICK DOOR OR 20 MINUTE DOOR AT OPENINGS FROM DWELLING TO GARAGE
 - 802 ATTIC ACCESS PANEL 30"x30" MIN CLR MAINTAIN 30"x30" CLEAR SPACE TO FLOOR BELOW OPENING
- 9. FINISHES**
 - 901 5/8" GYP BOARD (1/2" MIN) AT GARAGE SIDE TO RESIDENCE & AT GARAGE CEILINGS w/ HABITABLE ROOMS ABOVE (CRC TABLE R302.6)
 - 902 DECORATIVE INTERIOR WALL/CEILING FINISH - PER INT. DESIGNER
 - 903 GYPSUM BOARD LOW WALL w/ WOOD CAP AT 42" A.F.F.
 - 904 GYPSUM BOARD NICHE
 - 905 COUNTERTOP - FINISH PER INT. DESIGNER
 - 906 EXPOSED ROOF FRAMING, T&G UNDERSIDE. SEE STRUCT.
- 10. SPECIALTIES**
 - 1001 MUSET CERAMIC TILED SHAMPOO NICHE, 14" x 20" R.O. 48" A.F.F.
 - 1002 GAS APPLIANCE (FIREPLACE) - MEZZO 60 BY HEAT & GLO. DIRECT VENT, ELECTRIC IGNITION, ANSI Z 2188-2017 OR APPROVED EQUAL
 - 1003 PROVIDE SOLID BLOCKING FOR FUTURE GRAB BAR REINFORCEMENT PER CRC 327.11 - SEE DETAIL 8/AD-12
- 11. EQUIPMENT**
 - 1101 36" RANGE WITH OVEN BELOW
 - 1102 45" REFRIGERATOR SPACE
 - 1103 24" DISHWASHER
 - 1104 24" BUILT-IN MICROWAVE DRAWER (w/ TRIM KIT)
 - 1105 EXHAUST RANGE HOOD - VENT TO OUTSIDE AIR
- 12. FURNISHINGS**
 - 1201 SHELF & POLE
 - 1202 SHELF & DOUBLE POLE
 - 1203 TOWEL BAR MOUNTED AT 54" A.F.F.
 - 1204 TOILET PAPER HOLDER MOUNTED AT 26" A.F.F.
 - 1205 TOWEL HOOK MOUNTED AT 54" A.F.F.
- 15. MECHANICAL / PLUMBING / ELECTRICAL**
 - 1501 1501 DROPPIN SINK WITH GARBAGE DISPOSAL
 - 1502 LAVATORY SINK
 - 1503 LAUNDRY SINK
 - 1504 WASHER SPACE - PROVIDE FLOOR DRAIN AND SMITTY PAN. INSTALL ON LEFT SIDE OF DRYER
 - 1505 DRYER SPACE - ROUTE DUCT TO OUTSIDE AIR
 - 1506 HOT-MOPPED SHOWER w/ SHATTER RESISTANT GLASS SHOWER ENCLOSURE. PROVIDE NONABSORBENT AT ALL SURFACES IN PRIMARY SHOWERS / WET AREAS. SHOWER SEAT - 20" AFF SLOPED 1/2" PER FOOT, WHERE OCCURS
 - 1507 SHATTER RESISTANT GLASS SHOWER DOOR
 - 1508 FREE STANDING TUB w/ FLOOR MOUNT TUB FILLER
 - 1509 WATER CLOSET (MIN 30" WIDTH AT WALL & 24" MIN. CLEAR IN FRONT)
 - 1510 SHOWER HEAD - 82" AFF
 - 1511 GAS METER - REFER TO EXTERIOR ELEVATIONS FOR LOCATION. MAINTAIN 3'-0" CLEARANCE FROM ANY PIPING TO EDGE OF ELECTRICAL METER
 - 1512 ELECTRIC METER. MAINTAIN 3'-0" CLEAR FROM FACE OF PANEL TO ANY WALL SURFACE OR OBSTRUCTIONS.
 - 1513 CABLE TV/PHONE PANELS
 - 1514 HEAT PUMP AIR UNIT IN ATTIC. PROVIDE FUEL GAS, LIGHT, AND SWITCH MANUFACTURER'S INSTRUCTIONS.
 - 1515 TANKLESS WATER HEATER - BOTTOM @ 48" A.F.F. REFER TO ENERGY REPORT FOR ENERGY FACTOR SPECS. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
 - 1516 A/C CONDENSER UNIT
 - 1517 ELECTRICAL SUB-PANEL
 - 1518 MECHANICAL CHASE

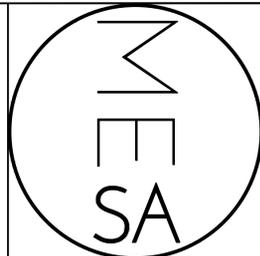
AREA CALCULATIONS - PLAN 2

FIRST FLOOR (LIVE-ABLE)	835 SQ FT
SECOND FLOOR (LIVE-ABLE)	1,329 SQ FT
TOTAL (LIVE-ABLE)	2,164 SQ FT
GARAGE	474 SQ FT
OUTDOOR	

ATTIC VENTILATION CALCULATIONS						
AREA	A	B		C		D
	ATTIC AREA	REQUIRED VENTING		VENTS w/ 1/2" MESH O'HAGIN VENT=72		TOTAL VENTING PROVIDED
	(SQ. FT.)	(SQ. IN.)		(SQ. IN.)		(SQ. IN.)
AREA 1	1,375	330	HIGH	(5)72=360	HIGH	360
		330	LOW	(5)72=360	LOW	360

ROOF NOTE:
CENTERLINE AT LOWER ATTIC VENT LOCATIONS INDICATES ALIGNMENT WITH A WINDOW, DOOR OR OPENING BELOW PER ELEVATION.

ENERGY NOTE: ALL EXTERIOR DOORS SHALL BE CAULKED BETWEEN DOOR AND BUILDING, AND SHALL BE WEATHERSTRIPPED



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ROOF PLAN
PLAN 2

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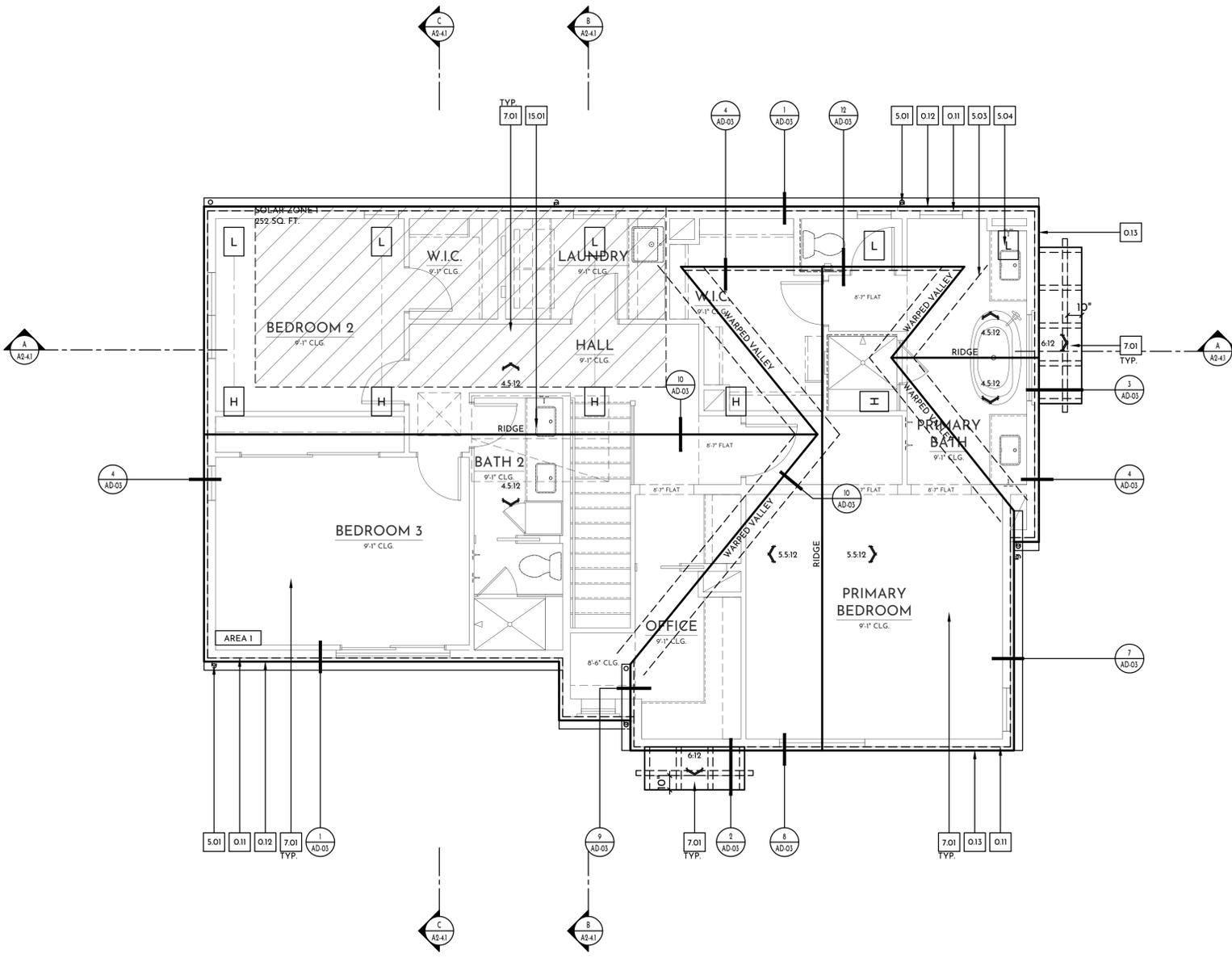
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REQUIRED ATTIC VENTILATION

THE ATTIC VENTILATION CALCULATION ARE PER C.R.C R806.2 AS FOLLOWS:

- A. ATTIC AREA (SQUARE FEET).
- B. DIVIDE (A) BY 300 AND MULTIPLY BY 144 TO CALCULATE THE TOTAL REQUIRED MINIMUM NET FREE VENTING AREA IN SQUARE INCHES. DIVIDE BY 2 TO SET THE MAXIMUM NET FREE VENTING REQUIRED HIGH AND THE MINIMUM NET FREE VENTING REQUIRED LOW. (AT LEAST 40% AND NO MORE THAN 50% OF THE REQUIRED VENTING AREA SHALL BE PROVIDED BY HIGH VENTS LOCATED NO MORE THAN 3 FEET VERTICALLY BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, WITH THE BALANCE OF VENTING PROVIDED BY EAVE/LOW VENTS).
- * DIVIDE (A) BY 150 AND MULTIPLY BY 144 TO CALCULATE THE TOTAL REQUIRED MINIMUM NET FREE VENTING AREA IN SQUARE INCHES. (NO HIGH/LOW VENTING REQUIREMENTS WHEN USING 1/150.)
- C. TOTAL SQUARE INCHES OF NET FREE VENTILATING AREA PROVIDED BY O'HAGIN ROOF AIR VENTS. (72 SQ. IN. OF FREE AREA MIN. EACH VENT) PROVIDE O'HAGIN PRIMARY VENT SUB-FLASHING w/ 6" FLANGE AND DIVERTER AT HIGH SIDE. VENT FLASHING TO BE 26 GA G.I.
- D. TOTAL SQUARE INCHES OF NET FREE VENTILATING AREA PROVIDED

- H HIGH VENT
- L LOW VENT
- VENT NOT REQ. TO MEET HIGH OR LOW



ROOF PLAN
PLAN 2



SCALE: 1/4" = 1'-0"

GENERAL NOTES

- HORIZONTAL AND VERTICAL DIMENSIONS SHOWN ARE FROM FACE OF STUD OF FACE OF CONCRETE UNLESS NOTED OTHERWISE
- ANY DISCREPANCY FOUND IN THESE DRAWINGS IS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ANY CONSTRUCTION
- ALL MECHANICAL EQUIPMENTS, ELECTRICAL FIXTURES, PLUMBING FIXTURES, AND STRUCTURAL MEMBERS ARE SHOWN FOR REFERENCE ONLY. REFER TO CONSULTANTS DRAWINGS FOR DESIGN, DETAILS AND DIMENSIONS BY OTHERS.
- CONTRACTOR TO COORDINATE PLUMBING, MECHANICAL, ELECTRICAL PENETRATIONS AND CONNECTIONS WITH SUBCONTRACTORS
- ALL EQUIPMENT, APPLIANCES, AND FIXTURES TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
- ALL ROOFING TO BE A MINIMUM CLASS A (REFLECTANCE = 0.10 & EMISSIVITY = 0.85)
COMPOSITION ROOF:
-GAF TIMBERLINE HD (ESR 1475) OR 'APPROVED
EQUAL'
STANDING SEAM METAL ROOF:
-TAYLOR METAL EASY LOCK 24 GAUGE - 16" SEAM (UL ER#25913-01)
- PROVIDE THE FOLLOWING MINIMUM DIMENSIONS FOR VERTICAL LEG

ON ROOF UNDERSHOTS:

- 8" AT COMPOSITION SHINGLE ROOFS
- PLUMBING VENTS, EXHAUST VENTS OR SIMILAR TERMINATION ACCESSORIES SHALL BE ROUTED TO A PLANE ON THE ROOF THAT IS LEAST VISIBLE FROM PUBLIC VIEW AND GROUPED TOGETHER WHEN POSSIBLE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ARCHITECT PRIOR TO INSTALLATION AND CONFIRM LOCATION.
- ALL EXPOSED METAL ON ROOF SHALL BE CORROSION RESISTANT AND BE PAINTED TO MATCH THE COLOR OF THE ROOF MATERIAL UNO.
- ALL PENETRATIONS IN VALLEYS SHALL BE LOCATED 18" MIN. OUTSIDE VALLEY WATERWAYS, AND 18" MIN. FROM OTHER PENETRATIONS OR PROJECTIONS, SUCH AS PIPES, WALLS, CURBS, ETC. ALL PENETRATIONS SHALL BE OFFSET 18" MIN. FROM WATERWAY TERMINATIONS SUCH AS VALLEY ENDS AND TILE PAN ENDS, ETC. ALL PENETRATIONS SHALL BE VERTICALLY PLUMB THROUGH ROOF SHEATHING AND EXTEND 12" MIN. ABOVE SHEATHING. 26 GA. MIN. METAL FLASHING (TYP.)
- FRAMER TO PROVIDE VENTILATION TO AREAS OF ATTIC ISOLATED BY OVER-FRAMING, PROVIDE A 22"x30" ACCESS WAY AT OVER-FRAMING THAT IS OVER 30" CLEAR IN HEIGHT.

SYMBOL LEGEND

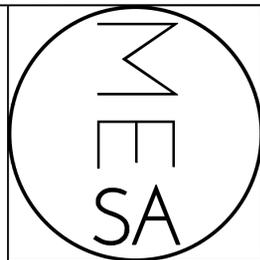
- X KEY NOTE
- LINE OF EXTERIOR FACE OF FRAMING / STRUCTURE BELOW
- <XXX ROOF PITCH SYMBOL.
• ARROW POINTS DOWNSLOPE
• FIRST NUMBER IS VERTICAL RISE
• SECOND NUMBER IS HORIZ. RUN
- Metal Valley Flashing
- Metal Saddle and Cricket Flashing

ROOF PLAN NOTES

- 0. SPATIAL
011 LINE OF FLOOR AND/OR WALL BELOW
012 LINE OF EAVE
013 LINE OF RAKE/ BARGE
014 GABLE END TRUSS W/ RECESSED FALSE VENT DETAIL PER ELEVATION. SEE DETAILS FOR VERTICAL TRUSS MEMBER COORDINATION
- 5. METALS
501 LINE OF CR. METAL GUTTER / DOWNSPOUT
502 CR. METAL CRICKET/SADDLE FLASHING
503 CR. METAL VALLEY FLASHING
504 O'HAGIN ROOF VENT
505 CR. METAL DIRECT VENT CAP (INSTALL PER MANUFACTURER'S INSTRUCTIONS)
- 7. THERMAL PROTECTION
701 COMPOSITE ASPHALT SHINGLE ROOF
702 STANDING SEAM METAL ROOF
- 15. MECHANICAL
1501 MECHANICAL UNIT (IN ATTIC)

TYPICAL DOWNSPOUT AND GUTTER COORDINATE CONNECTION TO STORM DRAINAGE SYSTEM. REFER TO CIVIL DWGS.

- 250 SQ. FT. OF SOLAR READY ZONE FOR FUTURE INSTALLATION. PROVIDE A LOCATION FOR INVERTERS AND METERING EQUIPMENT FOR FUTURE SYSTEMS ALONG w/ A PATHWAY FOR ROUTING CONDUIT FROM THE SOLAR ZONES TO THE POINT OF INTERCONNECTION w/ THE ELECTRICAL SERVICE AND PATHWAY FOR ROUTING OF PLUMBING FROM THE SOLAR ZONE TO THE WATER-HEATING SYSTEM.



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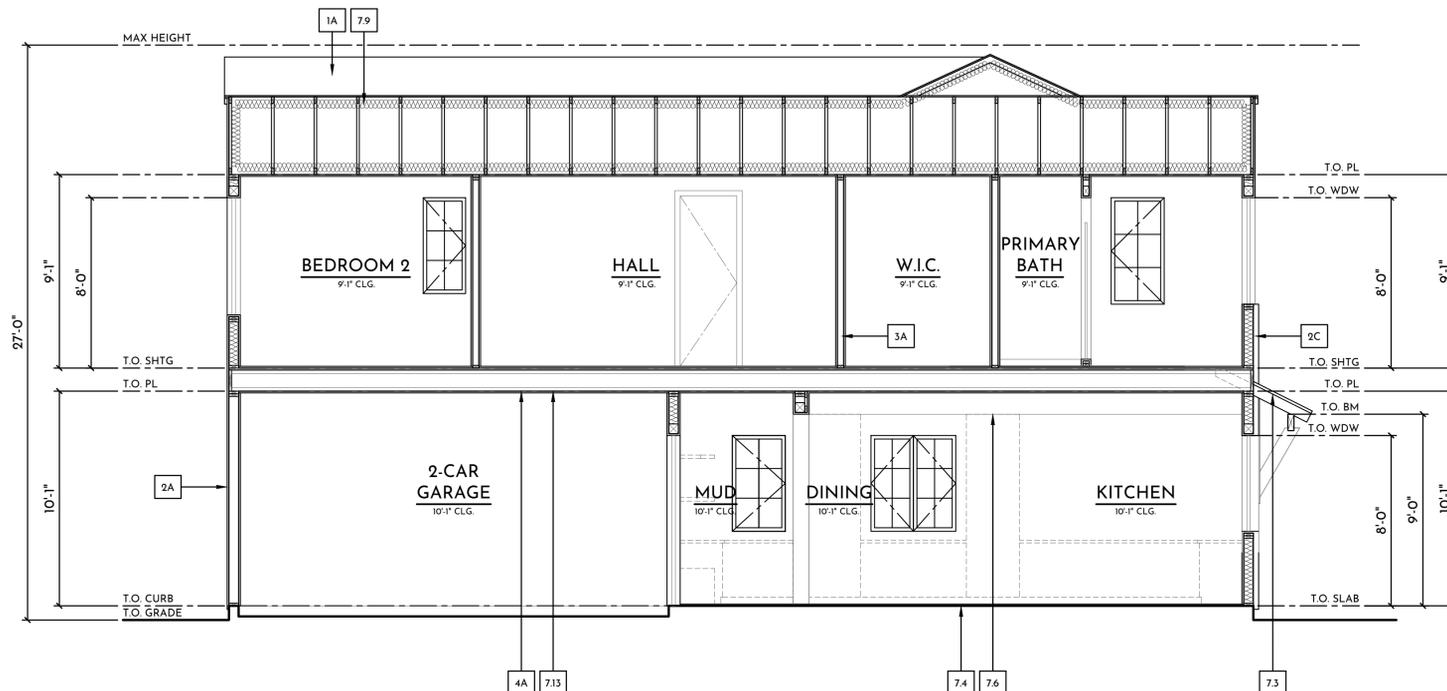
SECTIONS
PLAN 2

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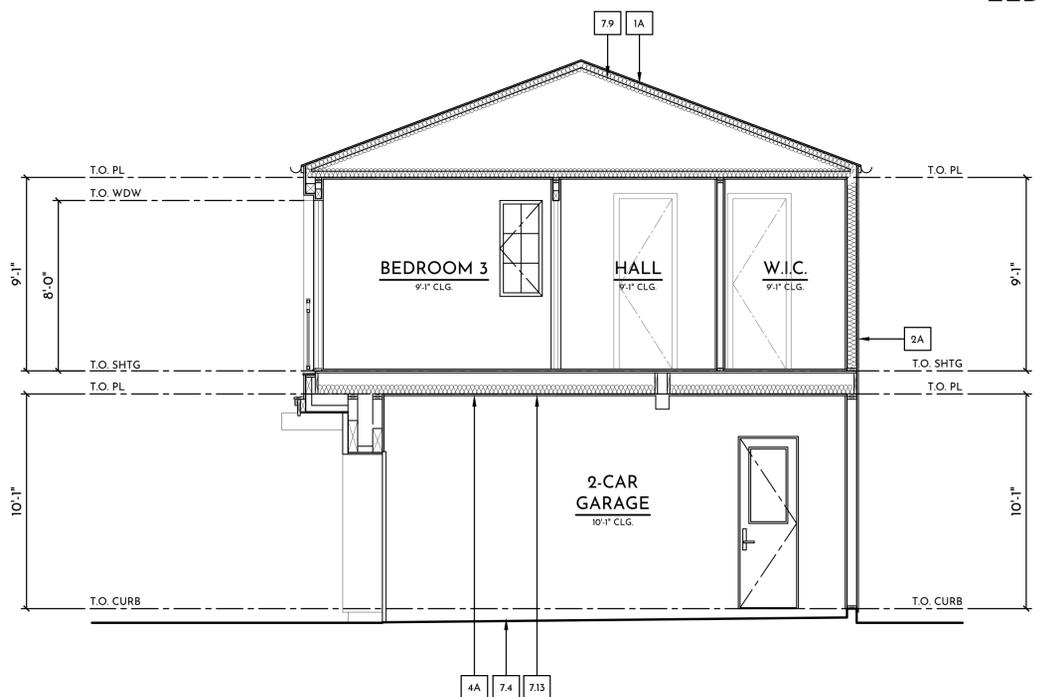
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SECTION A-A

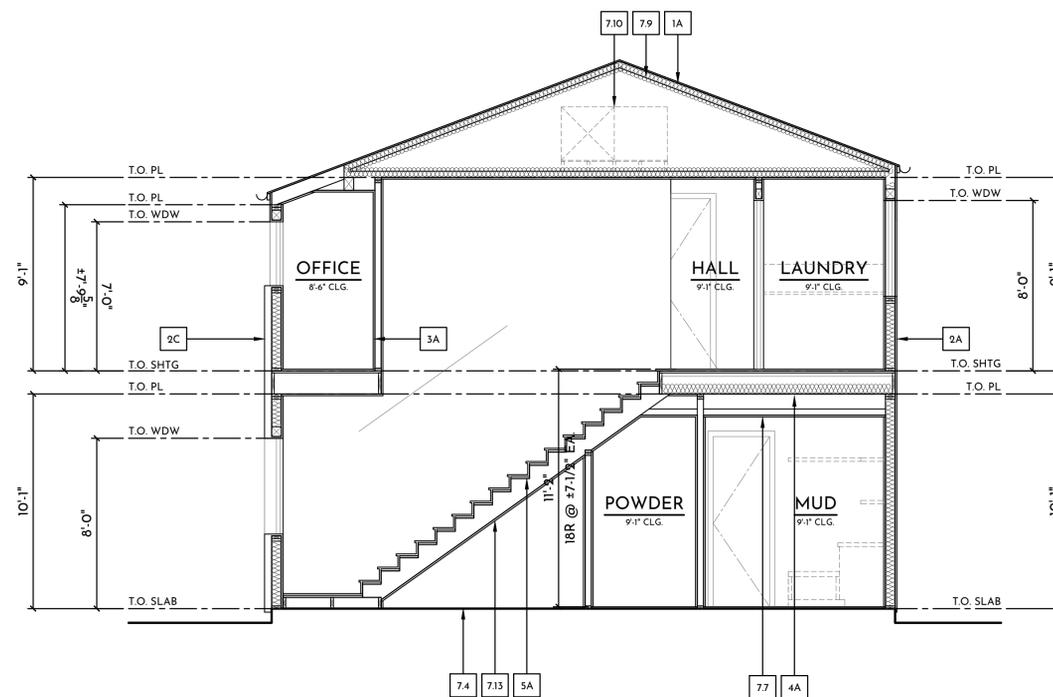
ELDEN

SCALE: 1/4" = 1'-0"



SECTION C-C

SCALE: 1/4" = 1'-0"



SECTION B-B

SCALE: 1/4" = 1'-0"

GENERAL NOTES

- HORIZONTAL AND VERTICAL DIMENSIONS SHOWN ARE FROM FACE OF STUD OF FACE OF CONCRETE UNLESS NOTED OTHERWISE
- ANY DISCREPANCY FOUND IN THESE DRAWINGS IS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ANY CONSTRUCTION
- FIRST FLOOR DIMENSIONS ARE FROM THE TOP OF HOUSE SLAB
- SECOND FLOOR DIMENSIONS ARE FROM THE TOP OF SUB FLOOR SHEATHING
- REFER TO STRUCTURAL DRAWINGS FOR FRAMING MEMBER SPECIES, GRADES, SIZES, SPACING, CONNECTIONS, ROOF AND FLOOR SHEATHING, SHEAR WALLS AND ADDITIONAL INFORMATION
- FOUNDATION: FOUNDATION IS TO BE A CONCRETE SLAB ON GRADE SYSTEM (U.N.O), DESIGNED BY OTHERS
- SOLE PLATES: SOLE PLATES SHALL BE PRESSURE TREATED

SYMBOL LEGEND



SECTION NOTES

- 1A. SLOPED ROOF ASSEMBLY:**
- ROOFING MATERIAL - PER ROOF PLAN
 - ROOFING UNDERLAYMENT FELT - PER MFR'S SPEC'S
 - ROOF SHEATHING - S.S.D.
 - CALIFORNIA FRAMING (WHERE OCCURS)
 - DESIGNED WOOD TRUSSES OR 2X RAFTERS
 - INSULATION PER ENERGY CALCS
 - 2X WOOD FURRING (WHERE OCCURS)
 - GYPSONUM WALLBOARD AT CEILING (OR FINISH PER INT. SPEC)

1B. SLOPED EXPOSED RAFTERS ROOF ASSEMBLY:

- ROOFING MATERIAL - PER ROOF PLAN
- ROOFING UNDERLAYMENT FELT - PER MFR'S SPEC'S
- 2X T&G STARTER BOARD / ROOF SHEATHING - S.S.D.
- EXPOSED WOOD 4X6 RAFTERS, CONVENTIONALLY FRAMED

2A. EXTERIOR WALL ASSEMBLY:

- 7/8" EXTERIOR STUCCO - 3 COAT (SMOOTH)
- WIRE LATH OVER MIN. TWO LAYERS GRADE 'D' 60 MINUTE BUILDING PAPER WHERE PLYWOOD SHEATHING OCCURS
- PLYWOOD SHEAR PANELS (WHERE OCCURS)
- 2X WALL FRAMING - S.S.D.
- INSULATION PER ENERGY CALCS
- GYPSONUM WALLBOARD (OR FINISH PER INT. SPEC)

2B. EXTERIOR WALL ASSEMBLY:

- CEMENTITIOUS/FIBER-ASH WOOD COMP. SIDING - TYPE PER ELEV.
- TWO LAYERS GRADE 'D' BUILDING WHERE PLYWOOD SHEATHING OCCURS
- PLYWOOD SHEAR PANELS (WHERE OCCURS)
- 2X WALL FRAMING - S.S.D.
- INSULATION PER ENERGY CALCS
- GYPSONUM WALLBOARD (OR FINISH PER INT. SPEC)

2C. EXTERIOR WALL ASSEMBLY:

- ADHERED STONE VENEER w/ SCRATCH/BROWN COAT
- TWO LAYERS GRADE 'D' BUILDING WHERE PLYWOOD SHEATHING OCCURS
- PLYWOOD SHEAR PANELS (WHERE OCCURS)
- 2X WALL FRAMING - S.S.D.
- INSULATION PER ENERGY CALCS
- GYPSONUM WALLBOARD (OR FINISH PER INT. SPEC)

3A. INTERIOR WALL ASSEMBLY (NON-RATED):

- GYPSONUM WALLBOARD (OR FINISH PER INT. SPEC)
- 2X WALL FRAMING - S.S.D.
- GYPSONUM WALLBOARD (OR FINISH PER INT. SPEC)

4A. FLOOR/CEILING ASSEMBLY:

- FLOOR FINISH - SEE PLANS
- SUBFLOOR SHEATHING - S.S.D.
- FLOOR JOISTS - S.S.D.
- 2X WOOD / LIGHT GAUGE METAL FURRING (WHERE OCCURS)
- GYPSONUM BOARD (OR FINISH PER INT. SPEC.) (TYPE "X" WHERE OCCURS)

5A. TYPICAL STAIR ASSEMBLY:

- CONTINUOUS HANDRAIL (SECURELY FASTENED TO WALL WHERE SHOWN) BETWEEN 34" MIN. - 38" MAX. ABOVE NOSING OF TREAD
- FINISH MATERIAL PER INT. SPEC.
- 1/8" THICK TREADS (U.N.O.)
- 3/4" THICK RISERS (U.N.O.)
- MIN. (3) 2 x 14 STRINGERS AT STRAIGHT RUNS
- 2 x 6 JOISTS @ 16" O.C. MIN. AT LANDING - S.S.D.
- POSITIVE CONNECTION TO FLOOR - S.S.D.

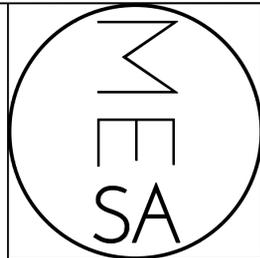
7.13 PROVIDE 5/8" TYPE 'X' GYP. BOARD AT GARAGE

- CEILINGS w/ HABITABLE ROOMS ABOVE AND AT UNDERSIDE OF STAIRS (PER CRC TABLE R302.6)
- EXTERIOR WALLS (2X6) - R-21
- GLAZING - SEE SCHEDULES
- FLOOR (OVER GARAGE) - R-19
- ROOF (ATTIC) - R-38
- CEILING (BELOW ATTIC) - R-19
- EXPOSED WOOD RAFTER TAILS - S.S.D
- EXPOSED WOOD FASCIA - S.S.D
- T&G WOOD STARTER BOARDS - SEE NOTE FOR SIZE
- SLAB FOUNDATION - S.S.D.
- CEMENT BOARD SOFFIT
- GYPSONUM BOARD SOFFIT
- FURRED CEILING
- DECORATIVE WOOD BEAM (PAINT GRADE)
- INSULATION PER ENERGY CALCS
- HEAT PUMP AIR UNIT IN ATTIC. PROVIDE FUEL GAS, LIGHT, AND SWITCH.
- TRUSS MANUFACTURER TO PROVIDE REQUIRED CLEARANCES
- DECK/BALCONY GUARD RAIL +42" A.F.F.

ENERGY REQUIREMENTS

NOTE: VERIFY WITH ENERGY COMPLIANCE CALCULATIONS.

REFER TO EN-1, EN-4 SHEETS FOR MIN. GLAZING U-FACTOR & SHGC FOR WINDOWS AND DOORS.



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ELEVATIONS
PLAN 2

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SOUTHWEST ELEVATION

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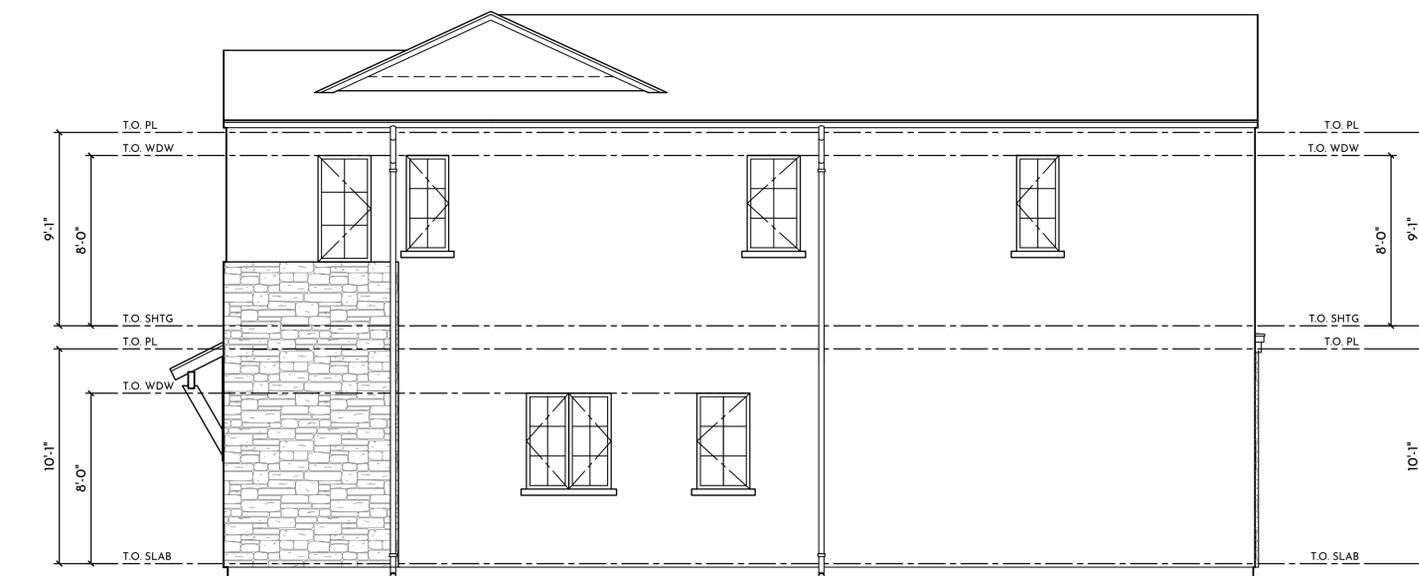
NORTHWEST ELEVATION

SCALE: 1/4" = 1'-0"



NORTHEAST ELEVATION

SCALE: 1/4" = 1'-0"



SOUTHEAST ELEVATION

SCALE: 1/4" = 1'-0"

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- SECOND FLOOR DIMENSIONS ARE FROM THE TOP OF SUB FLOOR SHEATHING
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- ALL EQUIPMENT, APPLIANCES, AND FIXTURES TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.

SYMBOL LEGEND

- KEY NOTE
- DETAIL REFERENCE

ELEVATION NOTES

- 0. SPATIAL**
 - 0.01 LINE OF WALL BEYOND
 - 0.02 WALL OPENING
- 2. SITE**
 - 2.01 SITE WALL | GATE (SEE LANDSCAPE)
 - 2.02 FINISH GRADE
- 3. CONCRETE**
 - 3.01 CONCRETE SLAB ON GRADE (SEE STRUCTURAL)
 - 3.02 CONCRETE/HARDSCAPE STOOP (SEE LANDSCAPE)
- 4. MASONRY**
 - 4.01 THIN STONE VENEER (ADHERED) w/ MORTAR WASH (PLAN 1 - WILDFLOWER BY CREATIVE MINES)
 - 4.02 PRECAST CONCRETE TRIM / HEADER (FOAM TRIM w/ SMOOTH PLASTER FINISH ALTERNATE)

5. METALS

- 5.01 C.R. METAL STUCCO WEEP SCREED, TYP.
- 5.02 C.R. METAL GUTTER, TYP.
- 5.03 C.R. METAL DOWNSPOUT, TIE INTO SITE DRAINAGE - PER CIVIL
- 5.04 C.R. METAL FLASHING AT INTERSECTION
- 5.05 C.R. METAL FLASHING AT TOP OF ALL EXPOSED WOOD (TRIM INCLUDED)
- 5.06 LISTED C.R. METAL HORIZONTAL VENT TERMINATION CAP FOR GAS FIREPLACE PER MANUF. SPECS. SET BOTTOM OF CAP MIN. 8'-0" A.F.F.
- 5.07 C.R. METAL GUARD AND RAILING SYSTEM, +42" A.F.F.
- 5.08 STANDING SEAM METAL ROOF
- 5.09 RECESSED METAL LOUVER VENT (FAUX GABLE DETAIL)

6. WOOD

- 6.01 WOOD FASCIA
- 6.02 WOOD BARGE
- 6.03 WOOD RAFTER TAILS
- 6.04 2X WOOD TRIM
- 6.05 WOOD POST
- 6.06 SHAPED WOOD BEAM
- 6.07 WOOD CORBEL
- 6.08 WOOD GUARD AND RAILING SYSTEM, +42" A.F.F.
- 6.09 SHAPED WOOD KNEE BRACE | KICKER
- 6.10 WOOD TRIM BAND

7. EXTERIOR FINISHES

- 7.01 ROOFING MATERIAL (SEE ROOF PLANS)
- 7.02 1/2" COAT EXTERIOR PLASTER/STUCCO (SMOOTH FINISH)
- 7.03 PLASTER CONTROL JOINT
- 7.04 VERTICAL SIDING - 10X NICKEL-GAP (TRUEX EXTERIOR SIDING OR APPROVED EQUAL)
- 7.05 HORIZONTAL SIDING - 8X COVE | DUTCH LAP SIDING (TRUEX EXTERIOR SIDING OR APPROVED EQUAL)
- 7.06 WOOD (COMPOSITE ALTERNATE) SHUTTER

8. OPENINGS

- 8.01 ENTRY DOOR REFER TO DOOR SCHEDULE
- 8.02 ACCESS DOOR REFER TO DOOR SCHEDULE
- 8.03 SECTIONAL ROLL-UP GARAGE DOOR, WOOD GARAGE DOOR (STAIN GRADE)

15. MECHANICAL

- 15.01 A/C CONDENSER LOCATION

16. ELECTRICAL

- 16.01 LIGHT FIXTURE - CARSON GOOSENECK WALL SCONCE - 12" DOME - BLACK - 16" WALL PROJECTION BY REJUVENATION OR APPROVED EQUAL. SEE UTILITY PLAN FOR HEIGHT
- 16.02 LIGHT FIXTURE 1 - FRESNO LARGE 3/4 WALL LANTERN - AGED IRON - BY VISUAL COMFORT OR APPROVED EQUAL. SEE UTILITY PLAN FOR HEIGHT
- 16.03 LIGHT FIXTURE 2 - HALLE LARGE WALL LANTERN - AGED IRON - BY VISUAL COMFORT OR APPROVED EQUAL. SEE UTILITY PLAN FOR HEIGHT
- 16.04 ADDRESS SIGN, +66 AFF (U.N.O.)