

<u>PROJECT DATA</u>						
ROOM NAME	AREA	LOAD	OCC.	REQD EXIT	PROVIDED EXIT	
WAITING ROOM	220	100	3	1	1	
RETAIL SHOWROOM	1,249	100	12	1	2	
OFFICE	135	100	1	1	1	
STORAGE:	380	300	1	1	1	
BREAKROOM:	207	300	1	1	1	
RESTROOM:	75	300	1	1	1	
TOTAL GROSS FLOOR AREA						= 2,280 SQ.FT.

PARKING TABULATIONS

PARKING SPACES 2,280 / 250 = 9 SPACES REQUIRED
 10 SPACES PROVIDED

2' X 6' BIKE STORAGE PROVIDED

1 STORY BUILDING
LOT AREA 8,800 SQ.FT.

OCCUPANCY USE:
RETAIL SPACE

SCOPE OF WORK:
TENANT IMPROVEMENT TO AN EXISTING COMMERCIAL SPACE FOR THE
USE OF RETAIL CANNABIS OPERATION.

ARCHITECTURAL:
GULIAN DESIGN ARCHITECTS, INC.
9555 NAPLES PLAZA, SUITE 212
LONG BEACH, CA 90803
(562) 434-6993 PH
(562) 434-1544 FAX
CONTACT: EDWARD GULIAN
eg@guliandesign.com

STRUCTURAL ENGINEERING:
AB STRUCTURAL ENGINEERING
STRUCTURAL CONSULTANTS
3450 SPRING STREET UNIT 106
LONG BEACH, CA 90806
(562) 235-4572
CONTACT: AHMED BOUZARIF - "ALAN"
ENGINEER OF RECORD. Zouheir Salah RPE# 42851

<u>PROJECT LEGEND</u>	
<u>CLIENT:</u> EVOLVE HERBAL, LLC 1355 NEWPORT BLVD. COSTA MESA, CA 92627	
<u>PROJECT ADDRESS</u> 1355 NEWPORT BLVD. COSTA MESA, CA 92627	
<u>LEGAL DESCRIPTION:</u> APN: 425-425-21	
<u>ZONING INFORMATION</u>	
ZONE:	C-2 (GENERAL BUSINESS)
OCCUPANCY:	B-1
FLOOD ZONE:	X
CONSTRUCTION TYPE:	TYPE V-B
FIRE SPRINKLERS:	N/A
<u>ENFORCING CODES:</u>	
CURRENT EDITION OF THE CALIFORNIA BUILDING CODE TITLE 24 OF THE CALIFORNIA CODES OF REGULATIONS	
PART 1	CALIFORNIA ADMINISTRATION CODE (CAC)
PART 2	CALIFORNIA BUILDING CODE (CBC)
PART 3	CALIFORNIA RESIDENTIAL CODE (CRC)
PART 4	CALIFORNIA ELECTRICAL CODE (CEC)
PART 5	CALIFORNIA MECHANICAL CODE (CMC)
PART 6	CALIFORNIA PLUMBING CODE (CPC)
PART 7	CALIFORNIA ENERGY CODE (CEEC)
PART 8	VACANT
PART 9	CALIFORNIA HISTORICAL BUILDING CODE (CHBC)
PART 10	CALIFORNIA FIRE CODE (CFG)
PART 11	CALIFORNIA EXISTING BUILDING CODE (CEBC)
PART 12	CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGreen)

SITE PLAN NOTES

1. ALL DIMENSIONS ON THIS PLAN ARE CLEAR DIMENSIONS FROM FINISH TO PROPERTY LINES. CONTRACTORS SHALL VERIFY DISTANCES TO ACCOMMODATE STRUCTURE AND FINISHES TO ALLOW FOR THESE CLEAR DIMENSIONS - TYP.

2. AFTER DEMOLITION AND REMOVAL OF EXISTING STRUCTURE, CONTRACTOR SHALL CONTRACT A SOILS ENGINEER TO VERIFY 40% SOIL COMPACTION.

3. ALL UTILITIES SHALL BE REPLACED AND UPGRADED. ELECTRICAL SHALL BE FOR TOILET, SECURITY, FIRE, GAS. GAS SHALL BE RAN TO NEW METER LOCATION INDICATED BY DEPARTMENT OF GAS. WATER SUPPLY SHALL BE RAN FROM EXISTING WATER METER INTO HOUSE WITH 1-1/2" MAIN COPPER PIPING.

4. DURING CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE TEMPORARY FACILITIES FOR TOILET, UTILITY FENCING AND ALL UTILITIES TO PERFORM WORK AT SITE WITH ADEQUATE EFFICIENCY.

CONSTRUCTION NOISE REGULATIONS

THE MUNICIPAL CODE PROHIBITS ANY CONSTRUCTION REQUIRING A PERMIT FROM PRODUCING UNUSUALLY LOUD NOISE DURING THE FOLLOWING HOURS:

WEEKDAYS AND FEDERAL HOLIDAYS: 7:00 P.M. TO 7:00 A.M. THE FOLLOWING WEEKDAY.

SATURDAYS: AFTER 4:00 A.M. AND AFTER 6:00 P.M.

SUNDAYS: ALL DAY.

UNUSUAL NOISE IS THAT WHICH ANNOYS OR DISTURBS A REASONABLE PERSON OF NORMAL SENSITIVITY. IN ADDITION TO HEALTH DEPARTMENT STAFF, THE REGULATIONS MAY BE ENFORCED BY POLICE OFFICERS. A PERSON FOUND GUILTY OF VIOLATING THE REGULATIONS IS SUBJECT TO A FINE OR IMPRISONMENT, OR BOTH. THE LANDOWNER, CONSTRUCTION COMPANY OWNER, CONTRACTOR, SUB-CONTRACTOR OR EMPLOYER CAN BE A CO-DEFENDANT WHENEVER AN EMPLOYEE IS PROSECUTED FOR VIOLATING THE NOISE REGULATIONS. IF GOOD CAUSE IS SHOWN, THE HEALTH DEPARTMENT NOISE CONTROL OFFICER MAY GRANT A PERMIT ALLOWING WORK ON SUNDAYS FROM 4:00 A.M. TO 6:00 P.M. THE BUILDING OFFICIAL MAY AUTHORIZE EMERGENCY WORK TO PROCEED AT ANY TIME PERIOD.

THE NOISE CONTROL OFFICER SHOULD BE CONTACTED AT (562) 570-4000 FOR ANY ADDITIONAL INFORMATION.

5. REMOVE ALL EXTERIOR STUCCO, AND PREPARE FOR NEW SMOOTH STUCCO FINISH.

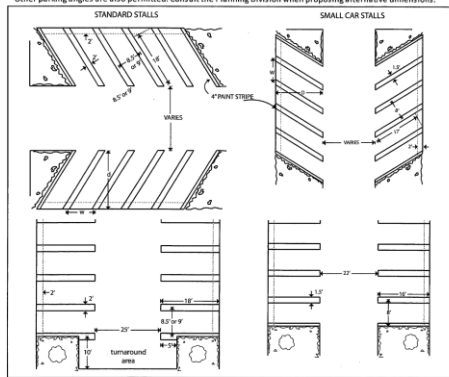
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COSTA MESA, CA

DATE: 10-21-2023

SHEET OF 15

STANDARDS STALLS					SMALL CAR STALLS				
Parking	Aisle Width 1 way/2 way	Stall Dimensions		Parking	Aisle Width 1 way/2 way	Stall Dimensions			
		D (Commercial and Industrial)	W (Residential)			D	W		
30	15/20'	16'	18'	30	15/20'	13'	16 1/2'		
45	15/20'	18 1/2'	13'	45	15/20'	14 1/2'	12'		
60	15/20'	20'	12'	60	15/20'	12'	11'		
75	15/20'	20'	10 1/2'	75	15/20'	16'	9'		
90	21/21'	18'	9 1/2'	9	20/20'	16'	9'		
80	23/23'	18'	9'	80	18 1/2/20'	16'	8'		
90	25/25'	18'	9'	90	22/22'	16'	8'		



7. All parking areas containing more than 2 spaces shall provide directed motion access to and from the public, unless an exception is provided for the Planning Director.

8. Parking areas shall provide internal circulation as sufficient, designated turnaround areas. Turnaround areas, shown on the reverse of this sheet, shall be provided for all streets of arterial classification exceeding 100 ft wide. Other turnaround arrangements provided for same nonresidential stall depth may be approved by the Planning Director.

9. For nonresidential stall depth, the maximum allowance of bumper overlap onto a landscaped area is 2 feet for standard and small car stalls, and 1 foot for compact car stalls. For residential stall depth, the maximum allowance of bumper overlap onto a landscaped area is 1 foot for standard and small car stalls.

10. Curbpots and stalls in parking structures shall provide a clear inside dimension equal to the required width for space stalls, vertical supports shall be provided for all spaces and shall be designed to provide the same stability as approved by the Planning Director.

11. Residential garage parking stalls shall maintain an unobstructed inside dimension of at least 10 feet wide, 20 feet long. Vertical supports shall be provided for all spaces and shall be designed to provide the same stability as approved by the Planning Director.

12. Stallpiles and carports with vertical restrictions at the side walls (walls, fences, shrubs, etc.) shall be increased by 1 foot over the width minimum.

13. When necessary due to constraints, minor reductions in the aisle width may be approved by the Planning Director with the width increased accordingly.

14. Stallpiles shall be drawn to scale.

15. Small car parking shall be reasonably distributed throughout the project site and shall be subject to review and approval of the Planning Director.

16. Small car stalls shall be 8 feet wide, 16 feet long. Compact car stalls shall be 7 feet wide, 16 feet long. Standard car stalls shall be 9 feet wide, 16 feet long. If not provided at each of said parallel parking or 8 feet stall shall be provided between any other parking space.

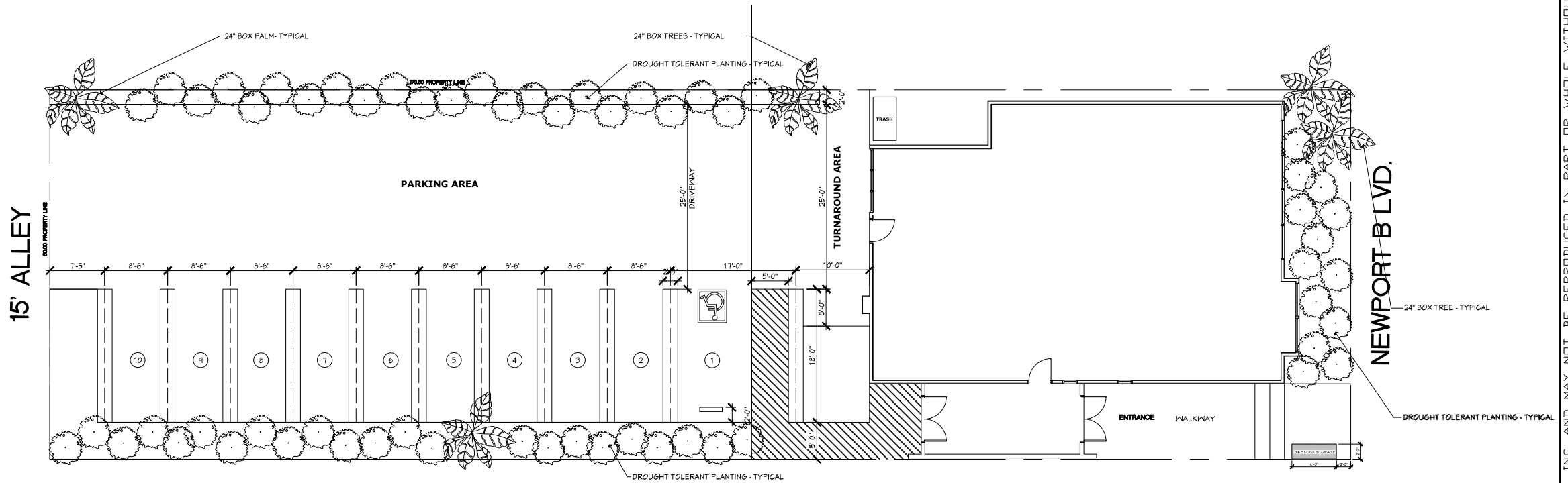
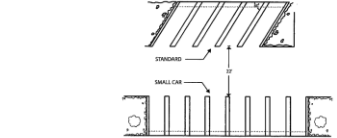
STANDARD

SMALL CAR

OR

Total number of Parking Spaces	Required Minimum Number of Accessible Spaces
1 - 25	1
26 - 50	2
51 - 75	3
76 - 100	4
101 - 150	5
151 - 200	6
201 - 300	7
301 - 400	8
401 - 500	9
501 - 1000	*
1001 - over	**

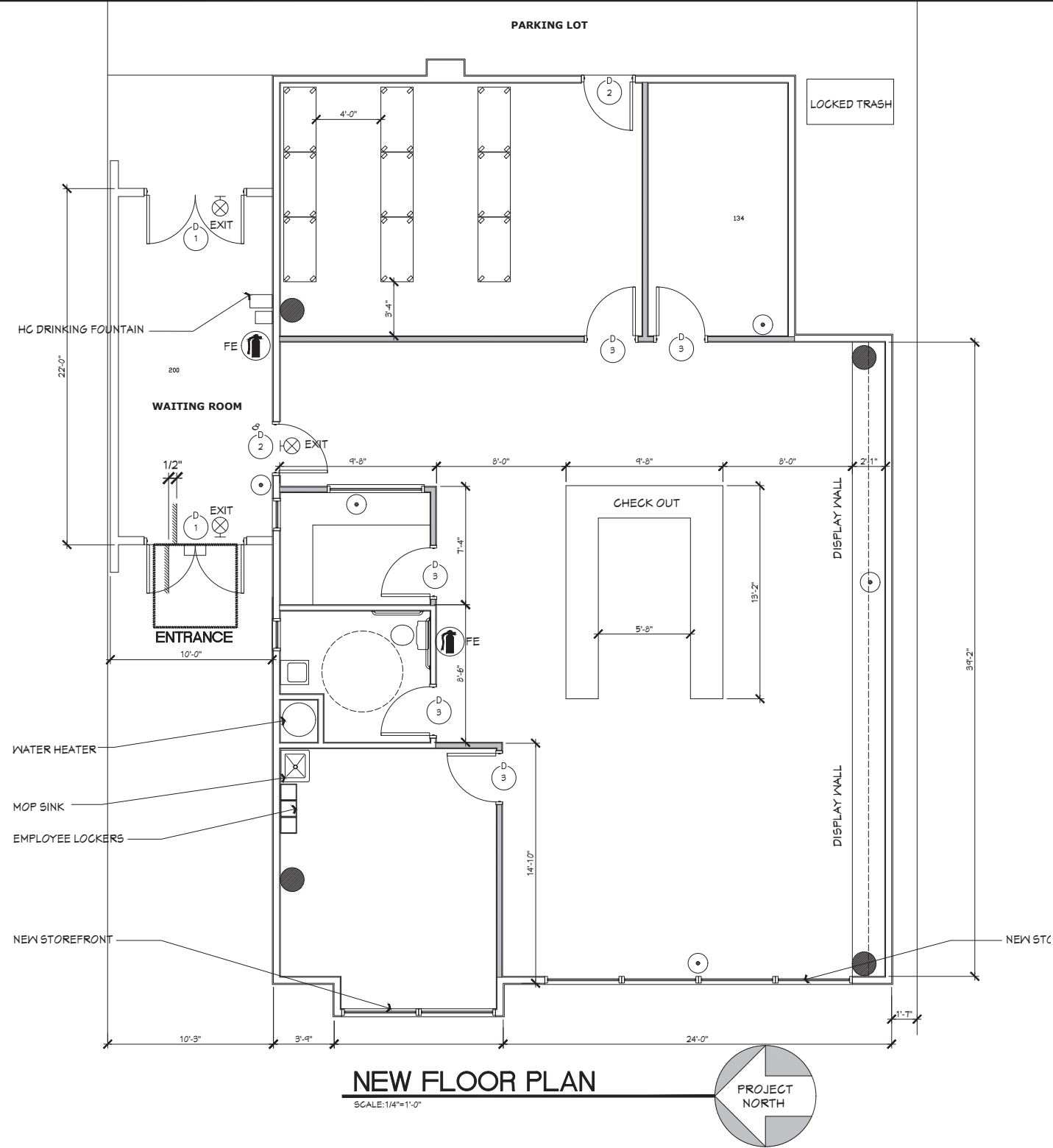
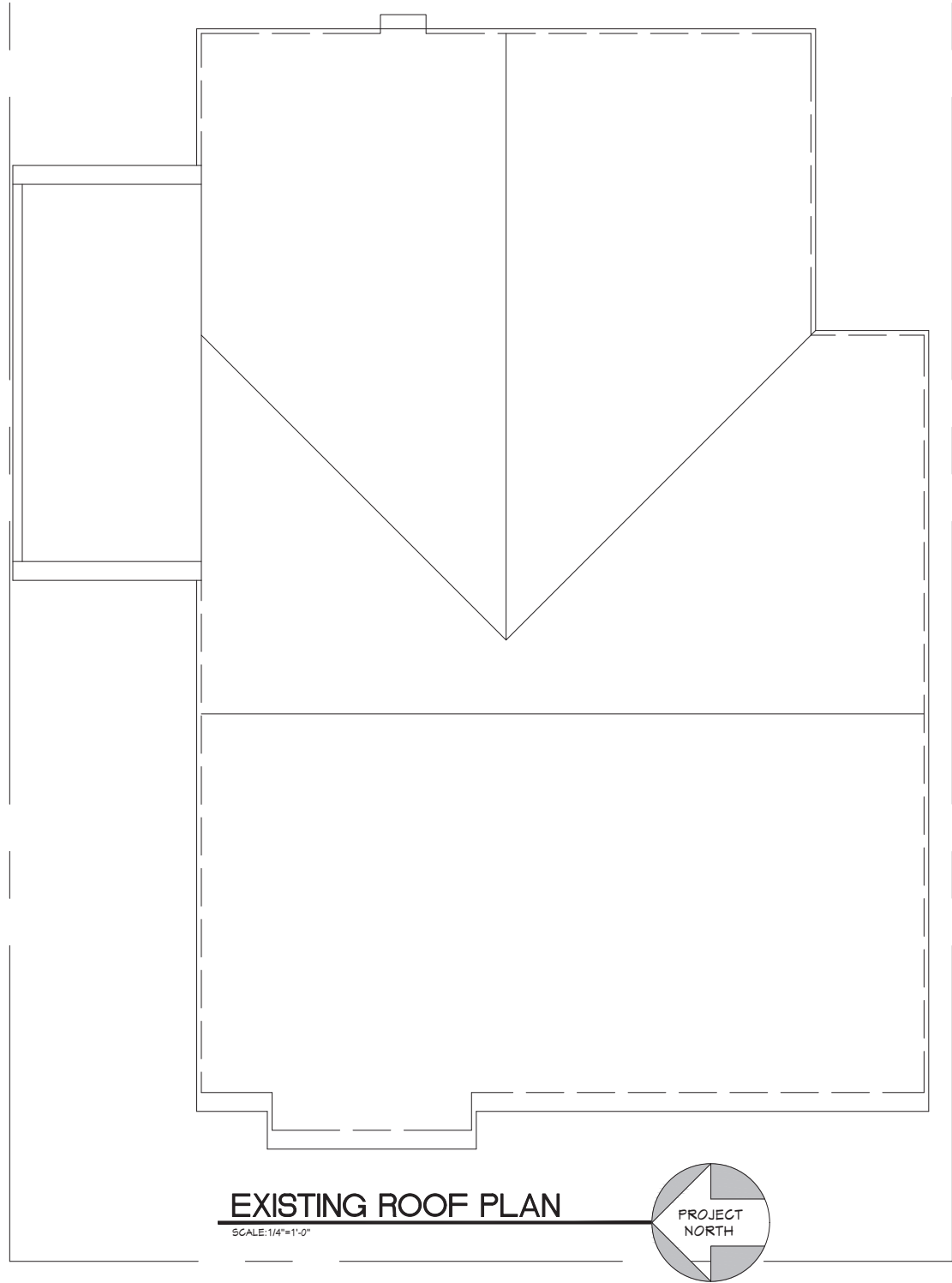
One handicapped stall shall be at least 18 feet in length and 17 feet wide. Additional handicapped stalls shall be at least 18 feet in length and 14 feet wide. Handicap parking design and location shall be reviewed and approved by the Building Division.



SCALE: 1/8"=1'-0"

PARKING AREA: 25 SQ. FT. PER SPACE
 REQUIRED: 25 SQ. FT. X 10 = 250 SQ. FT.
 PROVIDED:
 PARKING AREA: 198 SQ. FT.
 FRONT AREA: 336 SQ. FT.
 TOTAL LANDSCAPE: 1,134 SQ. FT.

TREES: 1 TREE PER 8 SPACES
REQUIRED: 10 SPACES = 1 TREE
PROVIDED: 3 TREES



WALL TYPES LEGEND	
	EXISTING INTERIOR WALLS - TO REMAIN
	EXISTING INTERIOR WALLS - TO BE DEMOLISHED

GULIAN DESIGN ARCHITECTS
5855 NAPLES PLAZA, SUITE #202
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(562) 434-6993

REVISIONS:

△	
△	
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△	
△	

**EVOLVE HERBAL, LLC
CANNABIS RETAIL**
1858 NEWPORT BLVD.
COSTA MESA, CA

**DEMOLITION PLAN
FIRST FLOOR**

DRAWN BY:	EVG
SCALE:	NOTED
CAD FILE:	XXXXXXXXXX
PROJECT NO.:	52-21
DATE:	10-21-2023

A1.0
SHEET ____ OF 15

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