

PROJECT SUMMARY									
ZONING SUMMARY									
PROJECT SITE INFORMATION									
		APN #	ADDRESS		ZONING		LOT AREA (SF)	LOT AREA (ACRE)	
					EXISTING / PROPOSED		19,147 SF	.440 ACRES	
		425-351-06	1540 SUPERIOR AVE. COSTA MESA		19 WEST URBAN PLAN / MESA WEST BLUFFS URBAN PLAN		19,147 SF	.440 ACRES	
PROJECT CONSTRUCTION TYPE		3 STORY TYPE V-B 13D (R3 OCCUPANCY)							
SETBACKS		ALLOWED			PROPOSED		NOTES		
	SUPERIOR AVE. (WEST)	15'-0" FRONT YARD			15'-0" FRONTYARD		MESA WEST BLUFFS URBAN PLAN		
	INDUSTRIAL WAY (SOUTH)	5'-0" SIDE YARD			10'-0" SIDE YARD				
	EAST	0'-0" REAR YARD			32'-0" REAR YARD				
	NORTH	0'-0" SIDE YARD			5'-6" TO 7'-0" SIDE YARD				
DENSITY									
		22 DU. / AC. = 10 DU.			9 UNITS		MESA WEST BLUFFS URBAN PLAN		
					GROSS DENSITY = 20 DU./AC.				
FLOOR AREA RATIO									
		1.0			0.98		MESA WEST BLUFFS URBAN PLAN		
LOT COVERAGE									
					90% MAX.	8,136 SF	42%	MESA WEST BLUFFS URBAN PLAN TABLE A2	
FLOOR AREA									
					TOTAL =		18,815 SF		
					RESIDENTIAL =		12,791 SF		
					NONRESIDENTIAL WORKSPACE =		2,645 SF		
					GARAGE =		3,379 SF		
BUILDING HEIGHT									
		4 STORIES 60'-0" MAX.			3 STORIES / 0" TO T.O. STAIR ENCLOSURE 42'-		MESA WEST BLUFFS URBAN PLAN TABLE A1		
PARKING SUMMARY									
		REQUIRED			PROPOSED			PARKING BREAK DOWN	
	MESA WEST BLUFFS URBAN PLAN TABLE A2	UNIT A1 1.5 SPACES PER UNIT 6 SPACES			PRIVATE GARAGE = 14 SPACES			GARAGE = 14 SPACES	
		UNIT A2 1.5 SPACES PER UNIT 6 SPACES			OPEN PARKING = 9 SPACES			TUCK-UNDER= 4 SPACES	
		UNIT A3 2.0 SPACES PER UNIT 2 SPACES			TUCK-UNDER PARKING = 4 SPACES			ACCESSIBLE = 1 SPACE	
		GUEST 1.5 SPACES PER UNIT 14 SPACES			BICYCLE SPACE = 2 SPACE			STANDARD = 8 SPACES	
								BICYCLE = 2 SPACES	
		TOTAL = 28 SPACES			TOTAL = 28 SPACES			TOTAL = 28 SPACES	
UNIT SUMMARY									
PLAN	DESCRIPTION	GARAGE	QUANTITY	NET AREA	NET AREA SUBTOTAL	GROSS AREA	GROSS AREA SUBTOTAL	ROOF DECK / DECK	TOTAL DECK
UNIT A1	2 BR + OFF. / 2 & 2-HALF BATH TH	258 SF	4 UNITS	1,506 SF	6,024 SF	1,612 SF	6,448 SF	235 SF	940 SF
UNIT A2	3 BR + OFF. / 2 & 2-HALF BATH TH	475 SF	4 UNITS	1,620 SF	6,480 SF	1,729 SF	6,916 SF	279 SF	1,116 SF
UNIT A3	2 BR + OFF. / 2 & 2-HALF BATH TH	447 SF	1 UNITS	1,930 SF	1,930 SF	2,072 SF	2,072 SF	334 SF	334 SF
PROJECT UNIT TOTAL		3,379 SF	9 UNITS		14,434 SF		15,436 SF		2,390 SF
BUILDING SUMMARY									
	RESIDENTIAL	UTILITY / MECHANICAL	GARAGE	NONRESIDENTIAL WORKSPACE		FAR BUILDING FLOOR AREA (F.A.R.)		TOTAL GROSS BUILDING FLOOR AREA	
BUILDING 1	5,740 SF	40 SF	1,438 SF	1,285 SF		8,463 SF		8,503 SF	
BUILDING 2	7,051 SF	40 SF	1,941 SF	1,360 SF		10,352 SF		10,392 SF	
TOTAL	12,791 SF	80 SF	3,379 SF	2,645 SF		18,815 SF		18,895 SF	
OPEN SPACE / AMMENITY SUMMARY									
COMMON OPEN SPACE		REQUIRED			MESA WEST BLUFFS URBAN PLAN TABLE A2				
					PROPOSED				
		OPEN SPACE - 30% OF LOT AREA 5,744 SF			PRIVATE DECK = 865 SF				
		(UP TO 10% [1,940 SF] OF ROOF DECK CAN BE COUNTED TOWARDS REQ.)			ROOF DECK = 1,525 SF				
					GROUND AREA = 4,970 SF				
		TOTAL =			5,744 SF	TOTAL =		7,360 SF	
BICYCLE SUMMARY									
		REQUIRED			TOTAL REQUIRED				
SHORT TERM BICYCLE SPACE		2 MIN. PER CGC 5.106.4.1.1			2 SPACES		SHORT TERM SPACES = 2 SPACES		
		SHORT TERM BICYCLE SPACE REQUIRED			2 SPACES		TOTAL PROVIDED BICYCLE SPACE = 2 SPACES		

VICINITY MAP



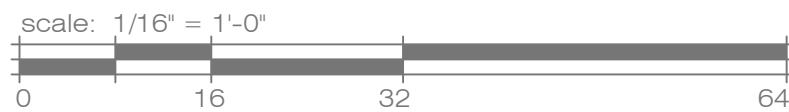
SHEET INDEX

SD-1.0	PROJECT INFORMATION
TTM1	TENTATIVE TRACT MAP (FOR REFERENCE)
C1	PRELIMINARY GRADING PLAN (FOR REFERENCE)
C2	SECTIONS (FOR REFERENCE)
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SD-2.1	BUILDING PLANS
SD-2.2	BUILDING PLANS
SD-2.3	UNIT PLANS
SD-2.4	UNIT PLANS
SD-2.5	UNIT PLANS
SD-3.1	PERSPECTIVE
SD-3.2	BUILDING ELEVATIONS
SD-3.3	BUILDING ELEVATIONS
SD-4.1	MATERIAL BOARD
L-1	PRELIMINARY LANDSCAPE PLAN
L-2	PRELIMINARY PLANT PALETTE IMAGERY
L-3	PRELIMINARY IRRIGATION CALCS. & STATEMENTS

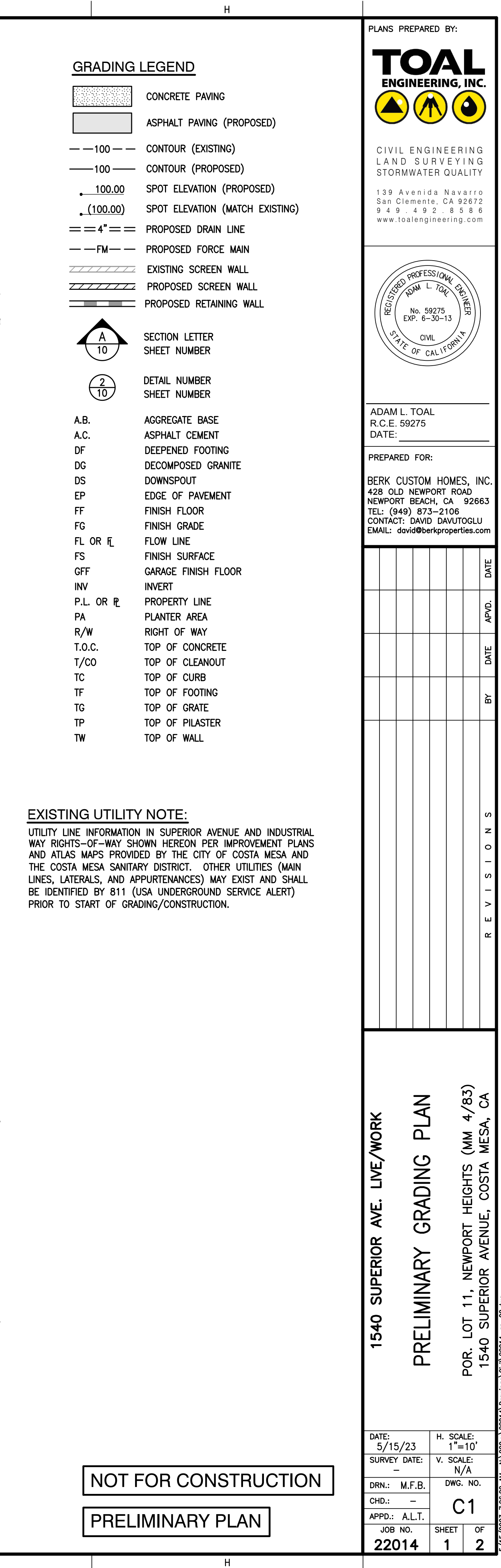
1540 SUPERIOR AVE. LIVE / WORK - COSTA MESA, CA

PROJECT INFORMATION

APPLICANT / OWNER
BERK CUSTOM HOMES, INC.



WITHEE MALCOLM ARCHITECTS
A BSB DESIGN STUDIO
970 W 190th St Suite 250| torrance | ca 90504
310.217.8885 | witheemalcdm.com
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1. ACTUAL LIMITS OF EXCAVATION TO BE DETERMINED IN THE FIELD BY THE SOILS ENGINEER.
2. TEMPORARY CONSTRUCTION SLOPES SHOWN HEREON ARE BASED ON RECOMMENDATIONS CONTAINED IN THE PROJECT SOILS REPORT. JOBSITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR, WHO IS RECOMMENDED TO IMPLEMENT SAFETY PRACTICES REQUIRED BY CAL/OSHA BASED ON EARTH MATERIALS EXPOSED DURING GRADING OPERATIONS. THIS MAY RESULT IN TEMPORARY CONSTRUCTION SLOPES DIFFERENT THAN THOSE SHOWN HEREON OR MAY REQUIRE SHORING.
3. RETAINING WALLS ARE SHOWN FOR REFERENCE ONLY AND ARE TO BE CONSTRUCTED PER SEPARATE PLANS AND PERMIT.
4. FOR FOOTING AND FOUNDATION PLANS, SEE STRUCTURAL DRAWINGS.
5. RETAINING WALL BACKFILL SHALL CONFORM TO THE SOILS REPORT AND THE STRUCTURAL DRAWINGS.

[illegible]

DATE: 5/15/23	H. SCALE: N/A	
SURVEY DATE: —	V. SCALE: N/A	
URN.: M.F.B.	DWG. NO.	
HD.: —	C2	
PPD.: A.L.T.		
JOB NO. 22014	SHEET 2	OF 2

PRELIMINARY PLAN

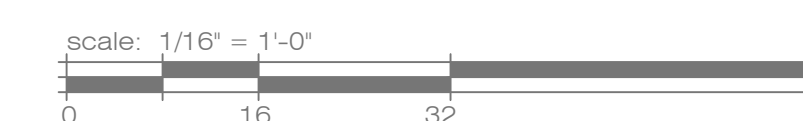


LEGEND			
	RESIDENTIAL UNITS		PROPOSED TRANSFORMER
	LIVE / WORK		EXISTING FIRE HYDRANT
	UTILITY AREA		ACCESSIBLE ROUTE
	COLOR STAMPED CONCRETE DRIVE		ADAPTABLE UNITS AT GRADE LEVEL

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CONCEPTUAL SITE PLAN

APPLICANT / OWNER
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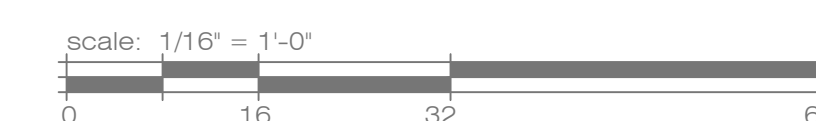
LEGEND

- RESIDENTIAL STAIR
- ROOF USED FOR MECHANICAL EQUIP.
- ROOF DECK / USABLE ROOF

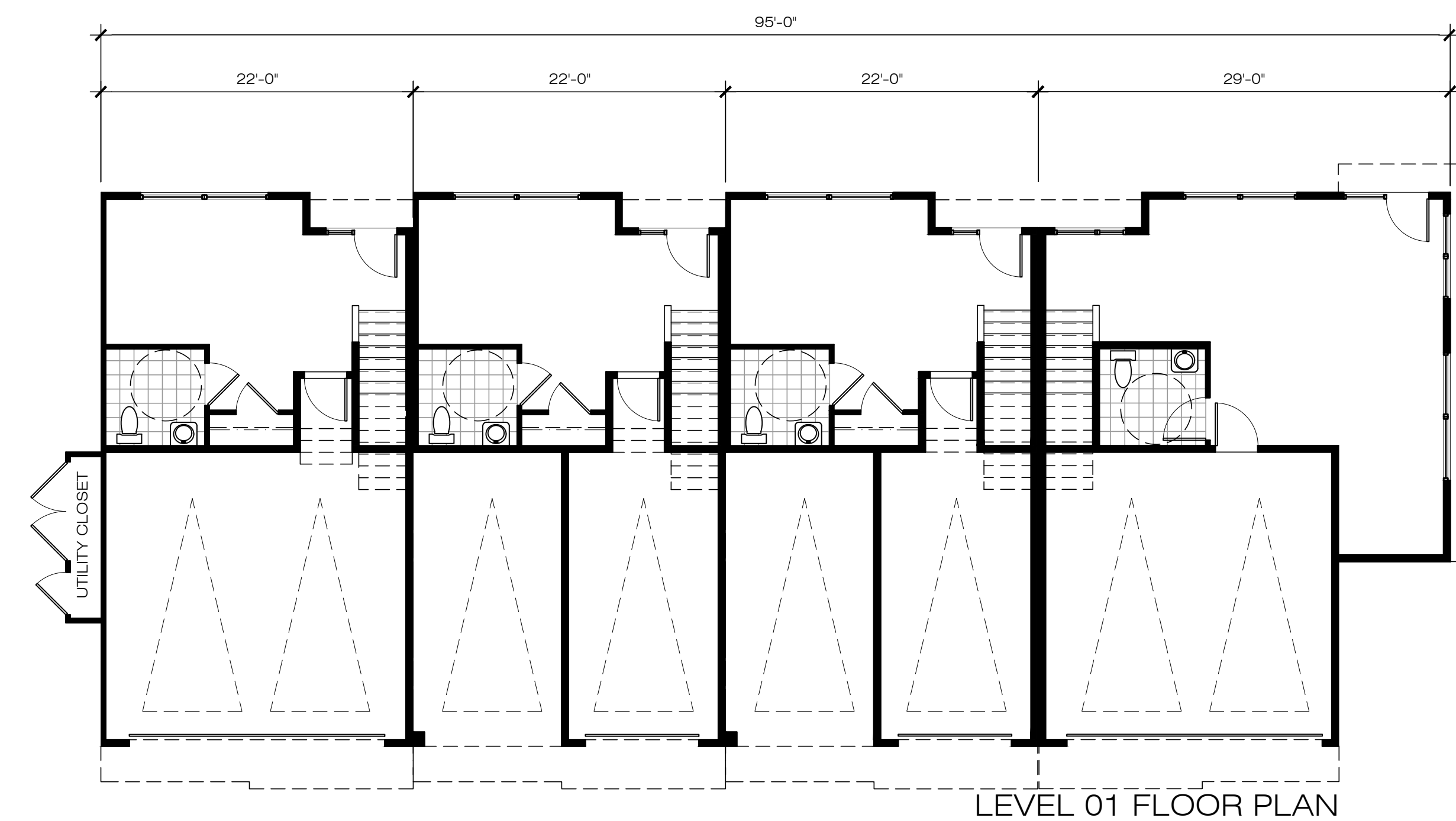
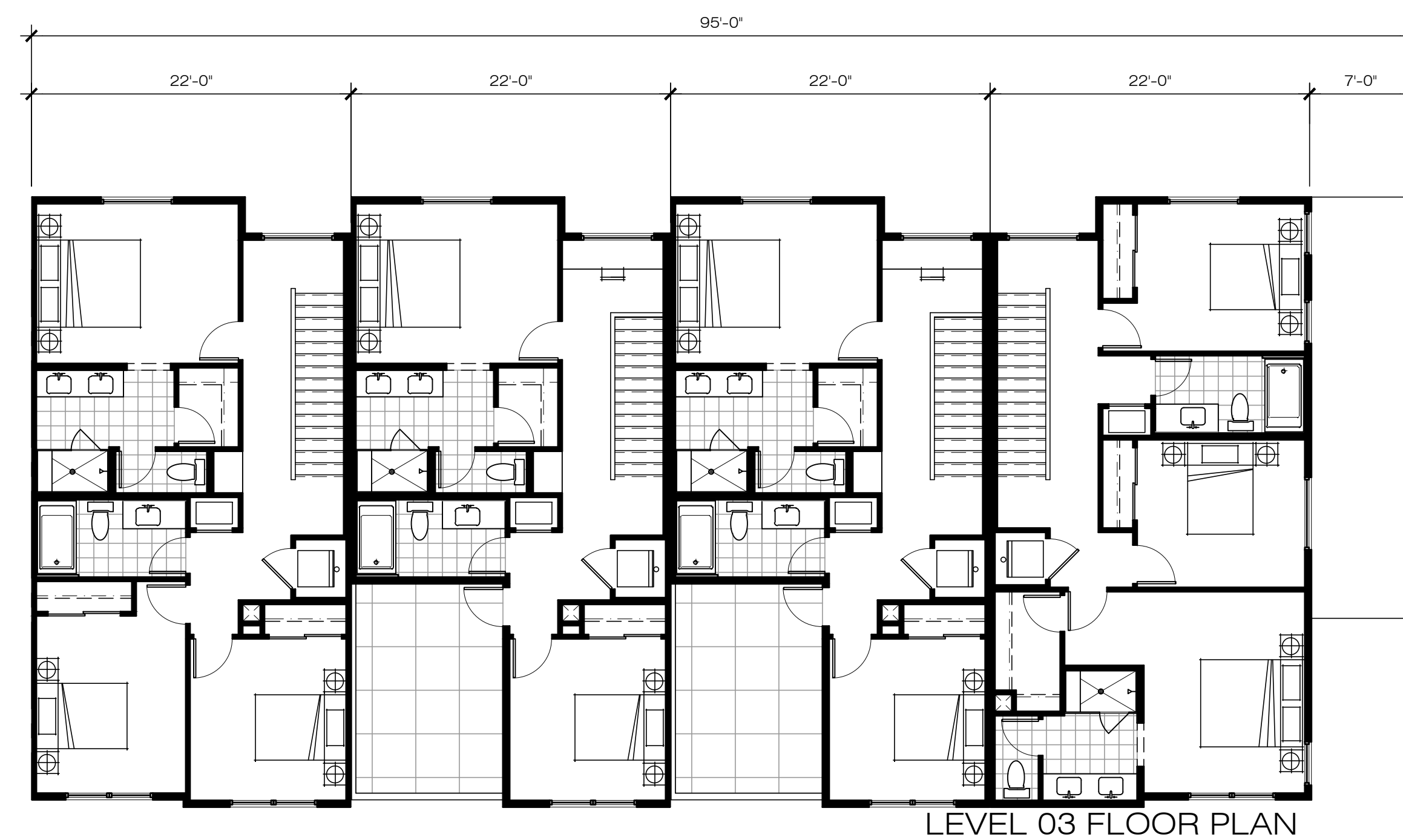
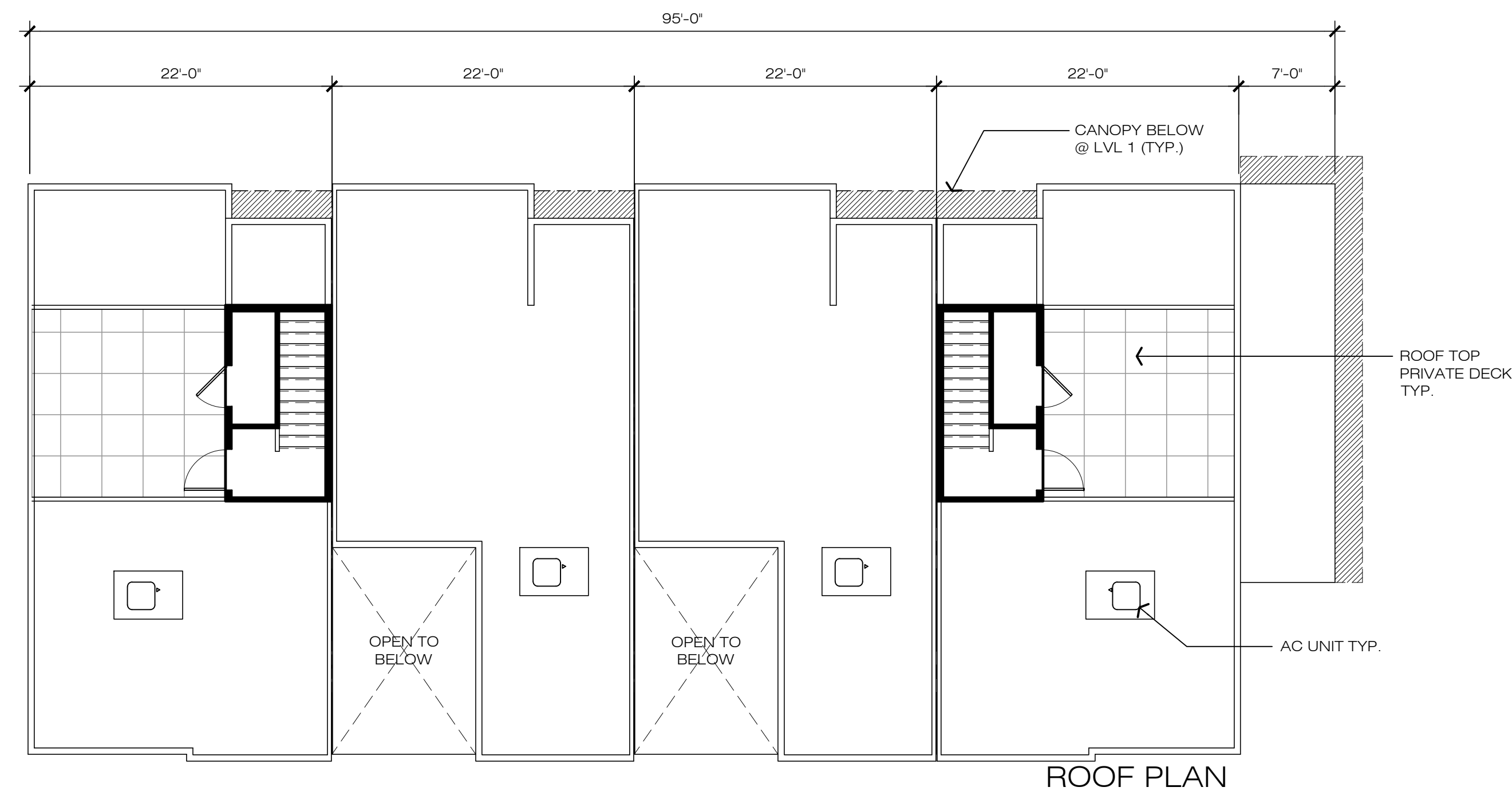
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BUILDING ROOF PLAN

APPLICANT / OWNER
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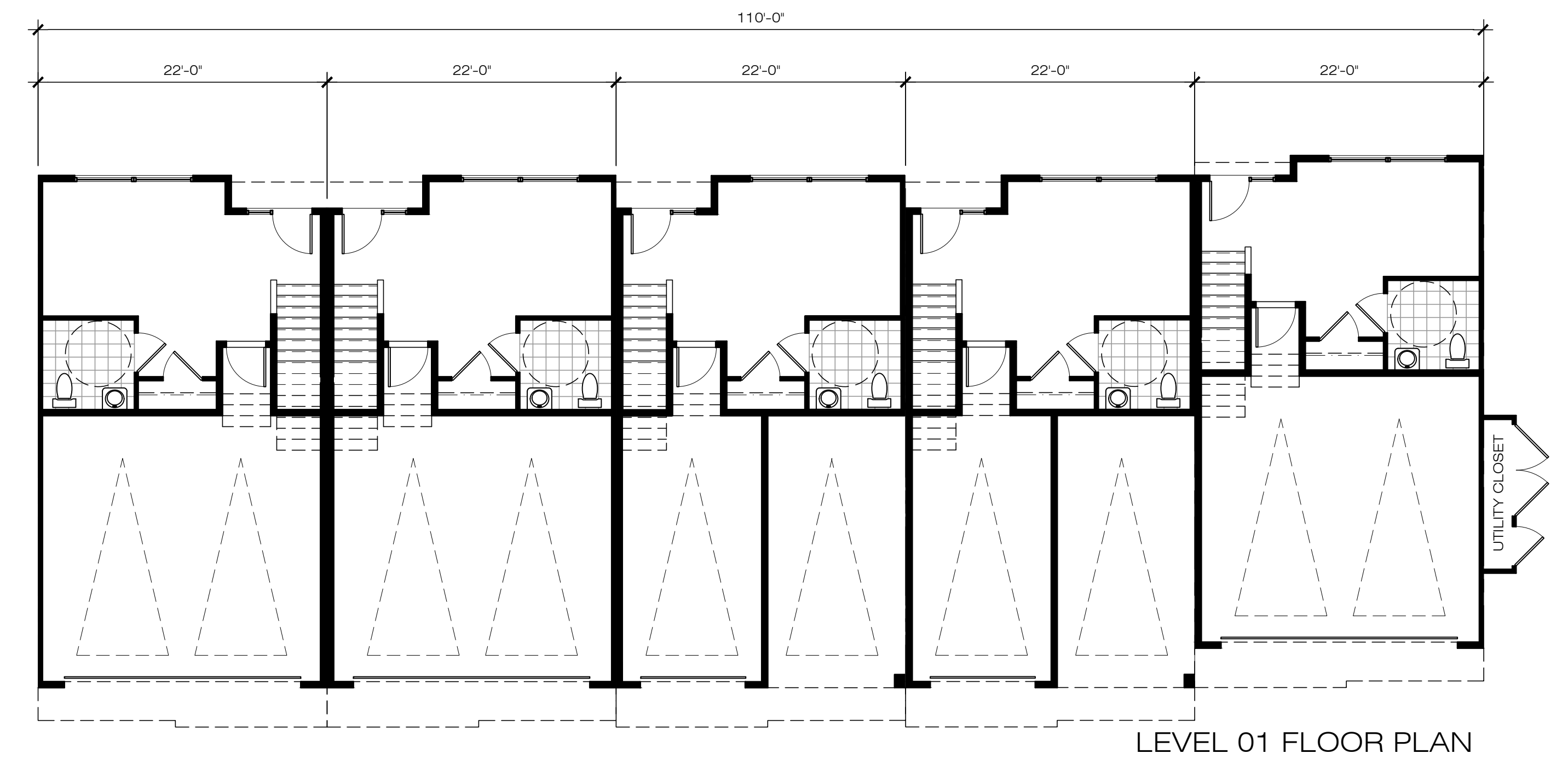
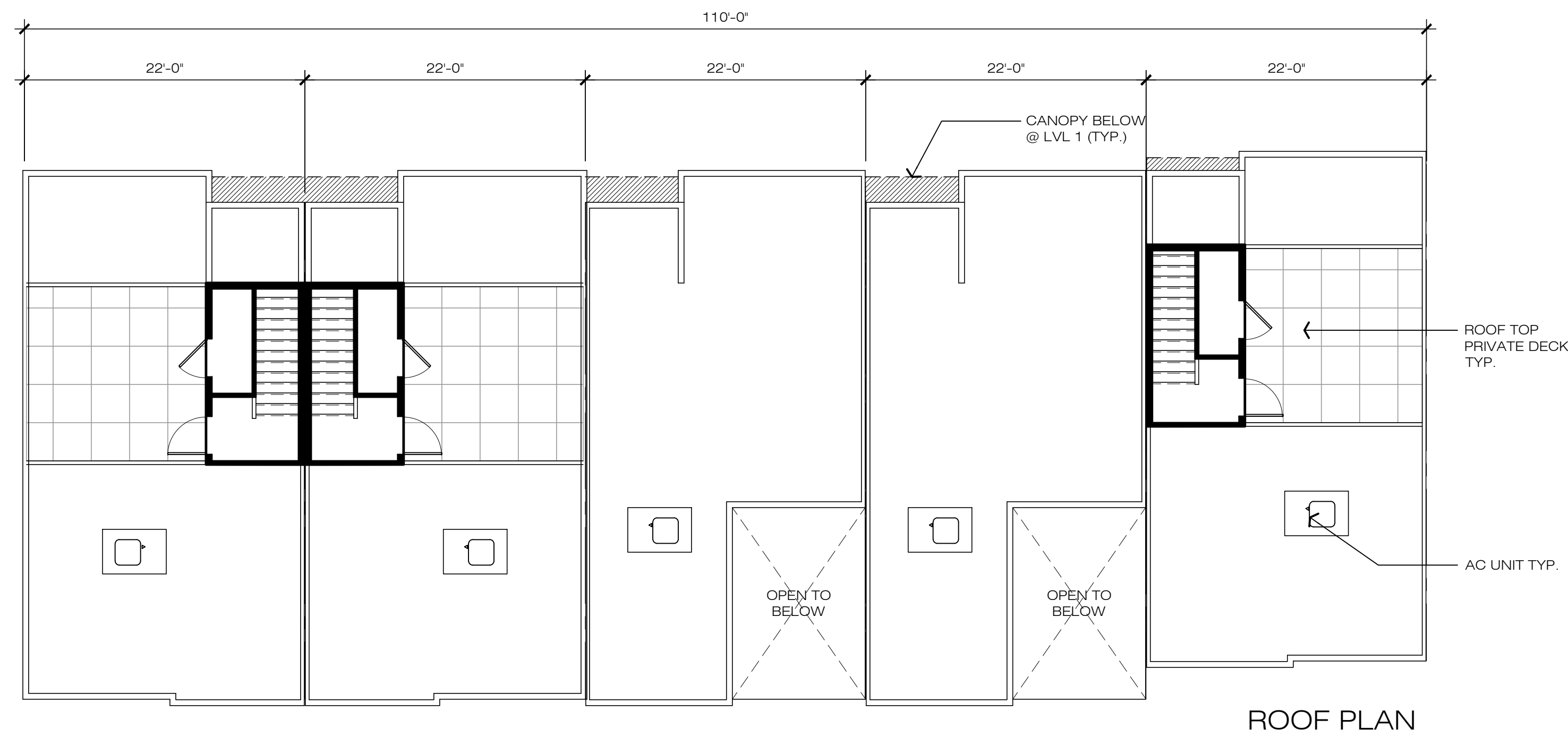
COMPOSITE 4-PLEX BUILDING PLANS

APPLICANT / OWNER
BERK CUSTOM HOMES, INC.

scale: 1/8" = 1'-0"
0 4 8 16 32



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COMPOSITE 5-PLEX BUILDING PLANS

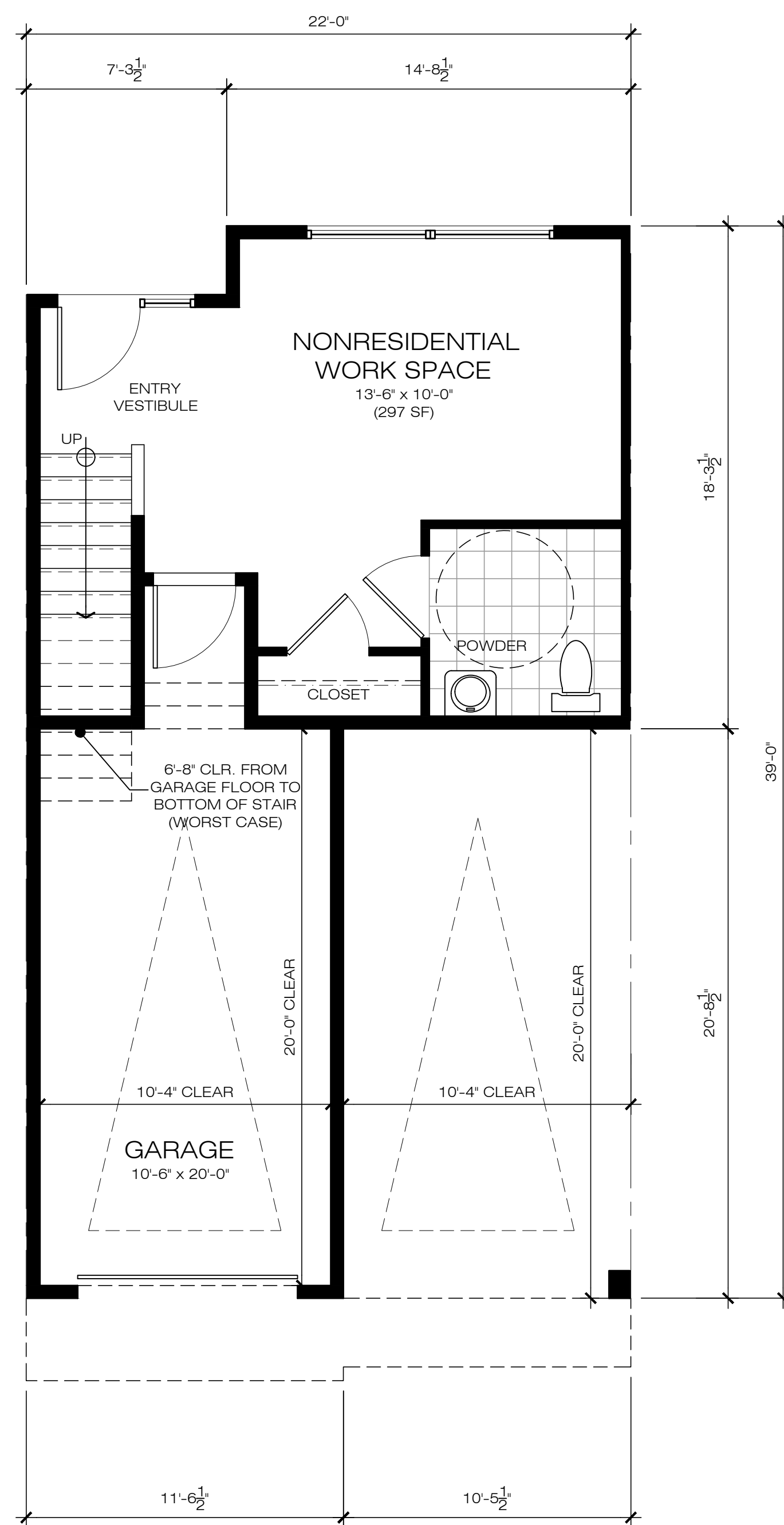
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BERK CUSTOM HOMES, INC.

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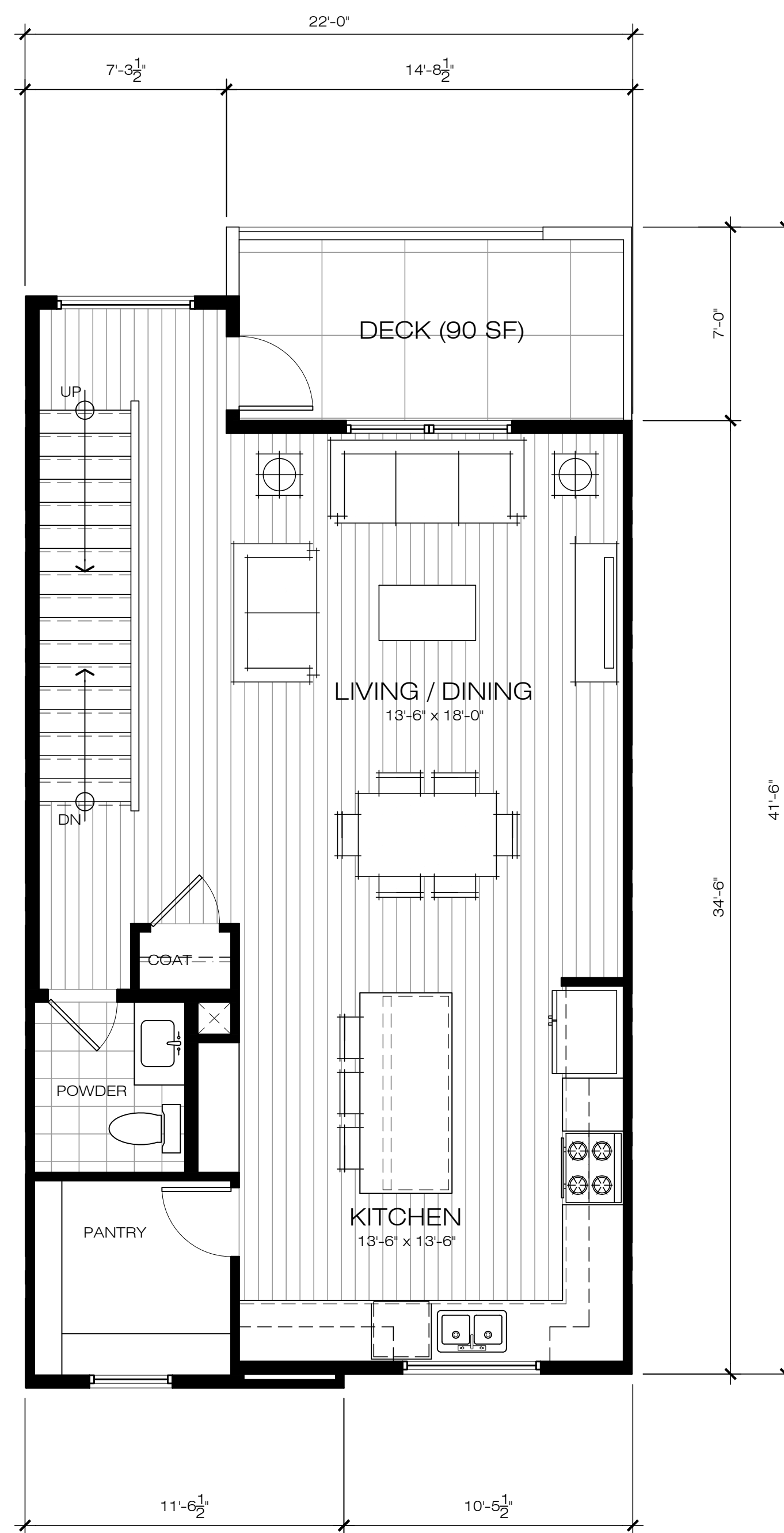
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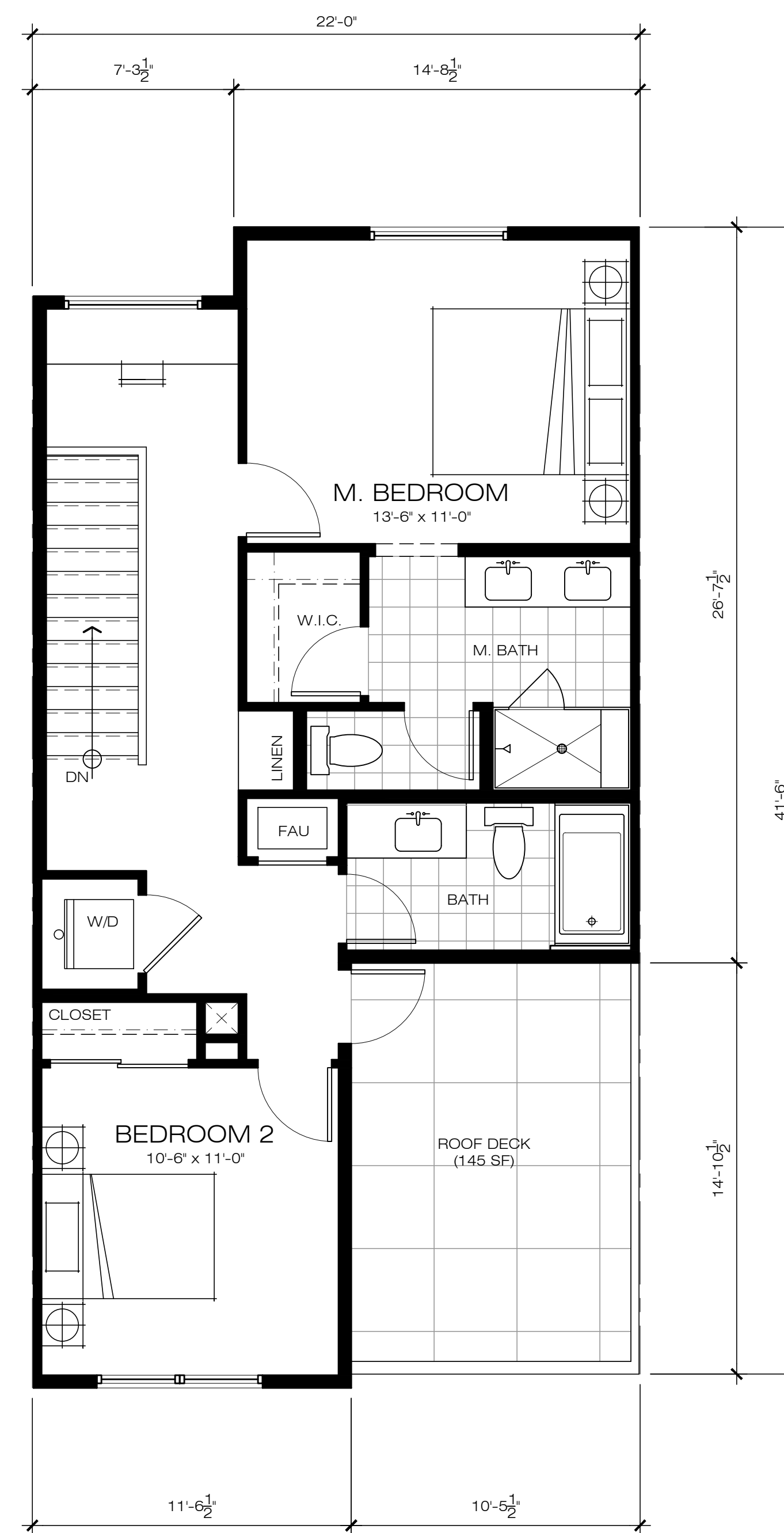
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FIRST FLOOR
GROSS SF = 297 S.F.
LIVABLE SF = 272 S.F.



SECOND FLOOR
GROSS SF = 634 S.F.
LIVABLE SF = 597 S.F.



THIRD FLOOR
GROSS SF = 681 S.F.
LIVABLE SF = 637 S.F.

TH UNIT TYPE A1
2 BEDROOM + 2 & 2(1/2) BATH
GROSS UNIT SF = 1,612 S.F.
LIVABLE UNIT SF = 1,506 S.F.
DECK AREA = 90 S.F. / ROOF DECK = 145 S.F.
4 UNITS

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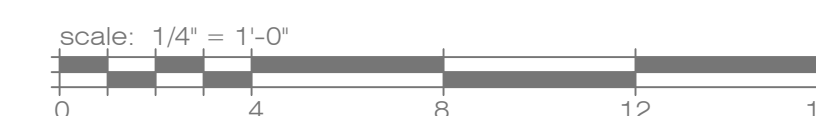
UNIT PLAN - TOWNHOME

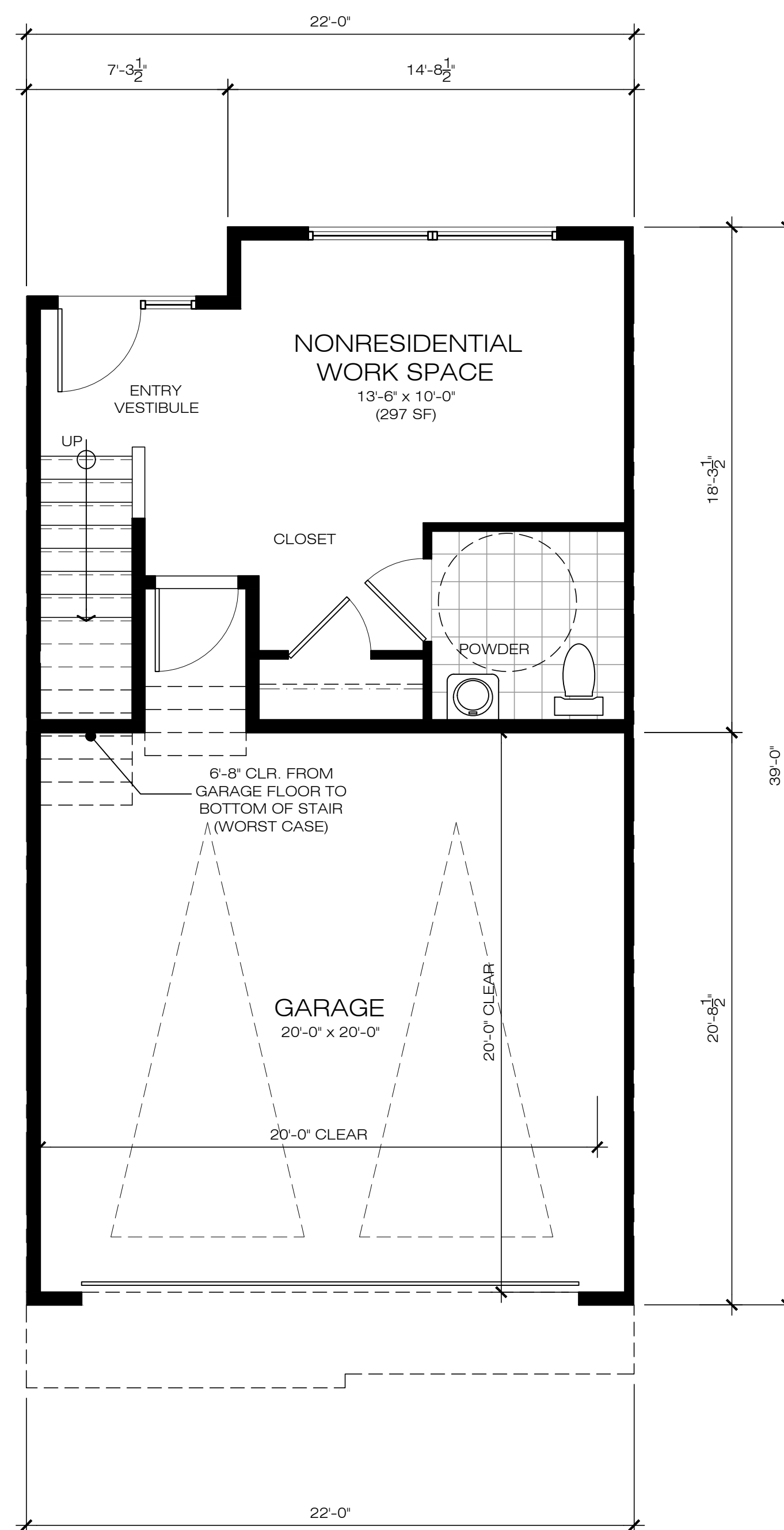
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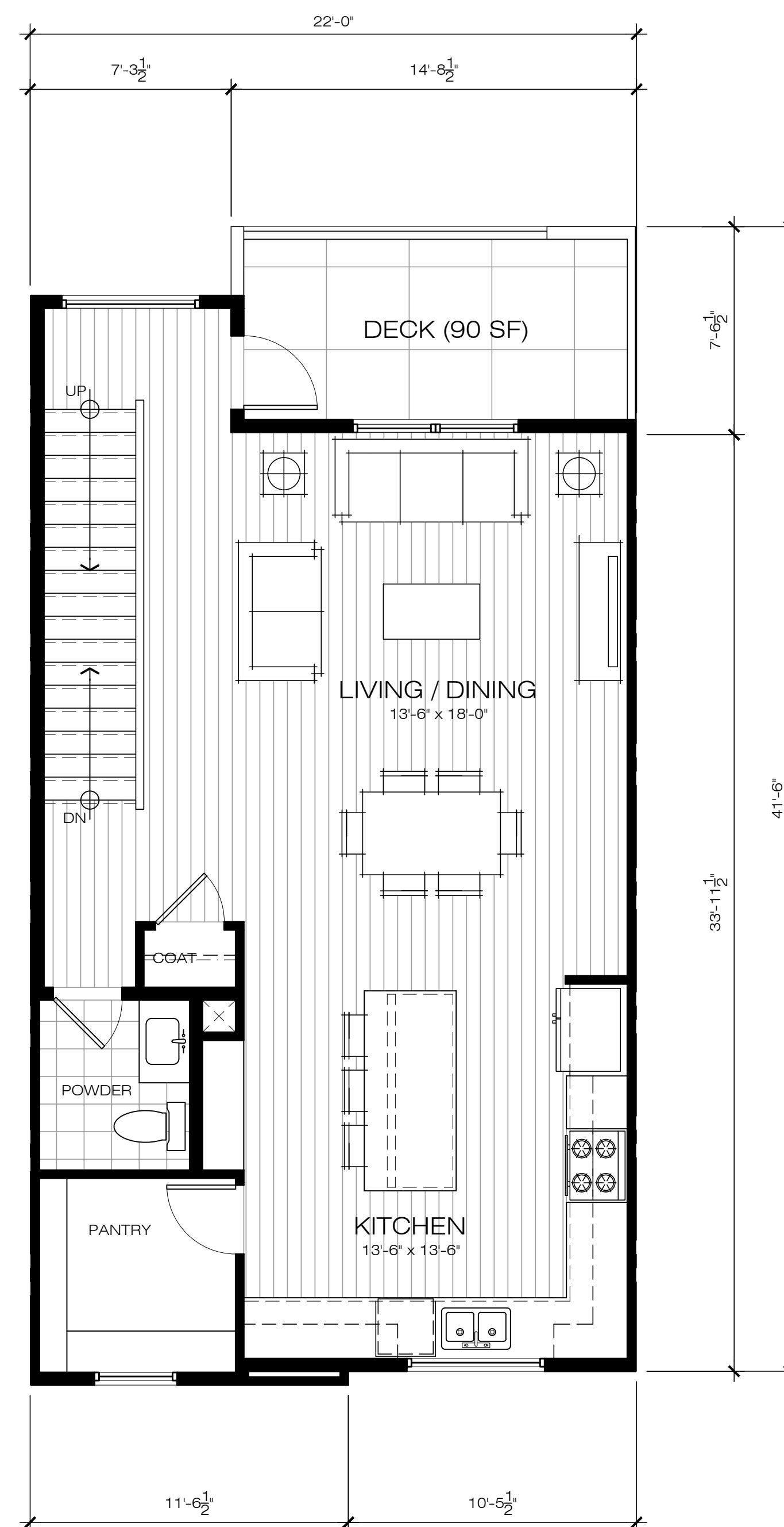
June 27, 2023

2.3

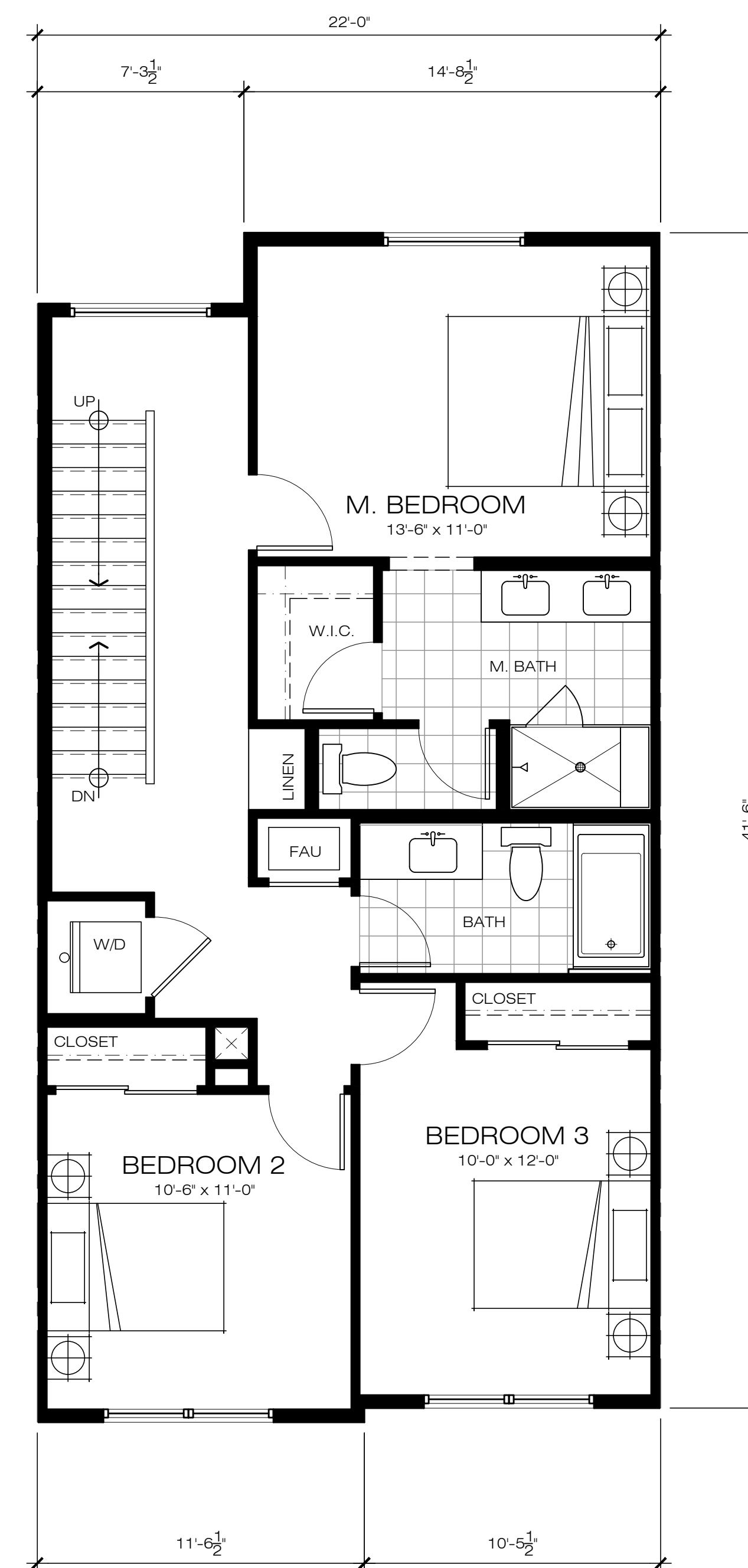




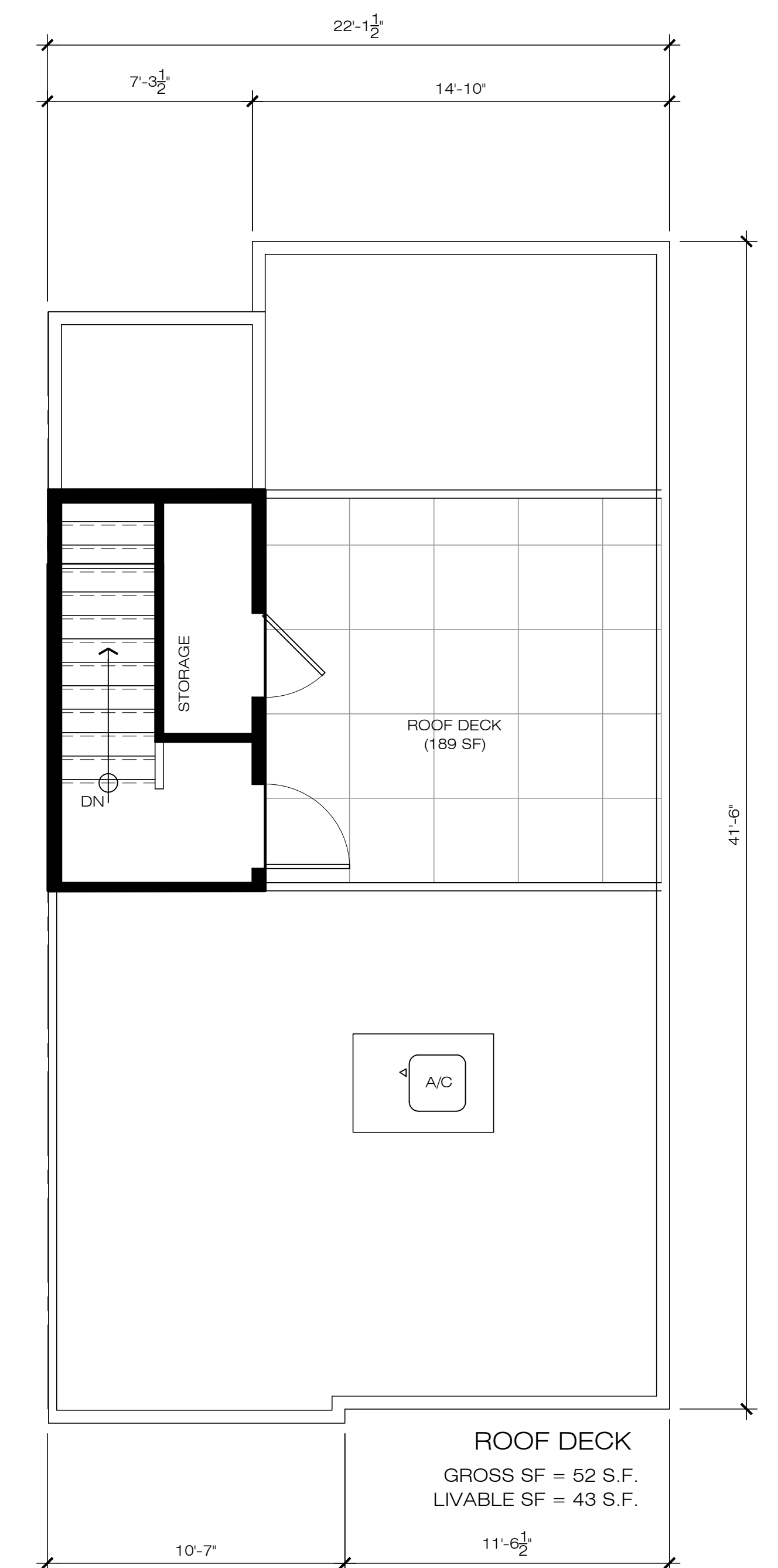
FIRST FLOOR
GROSS SF = 297 S.F.
LIVABLE SF = 272 S.F.



SECOND FLOOR
GROSS SF = 634 S.F.
LIVABLE SF = 597 S.F.



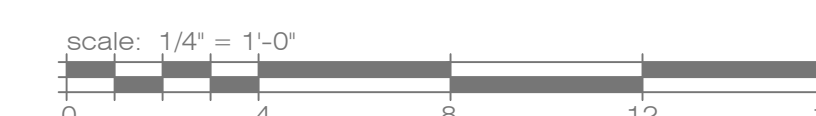
THIRD FLOOR
GROSS SF = 746 S.F.
LIVABLE SF = 708 S.F.



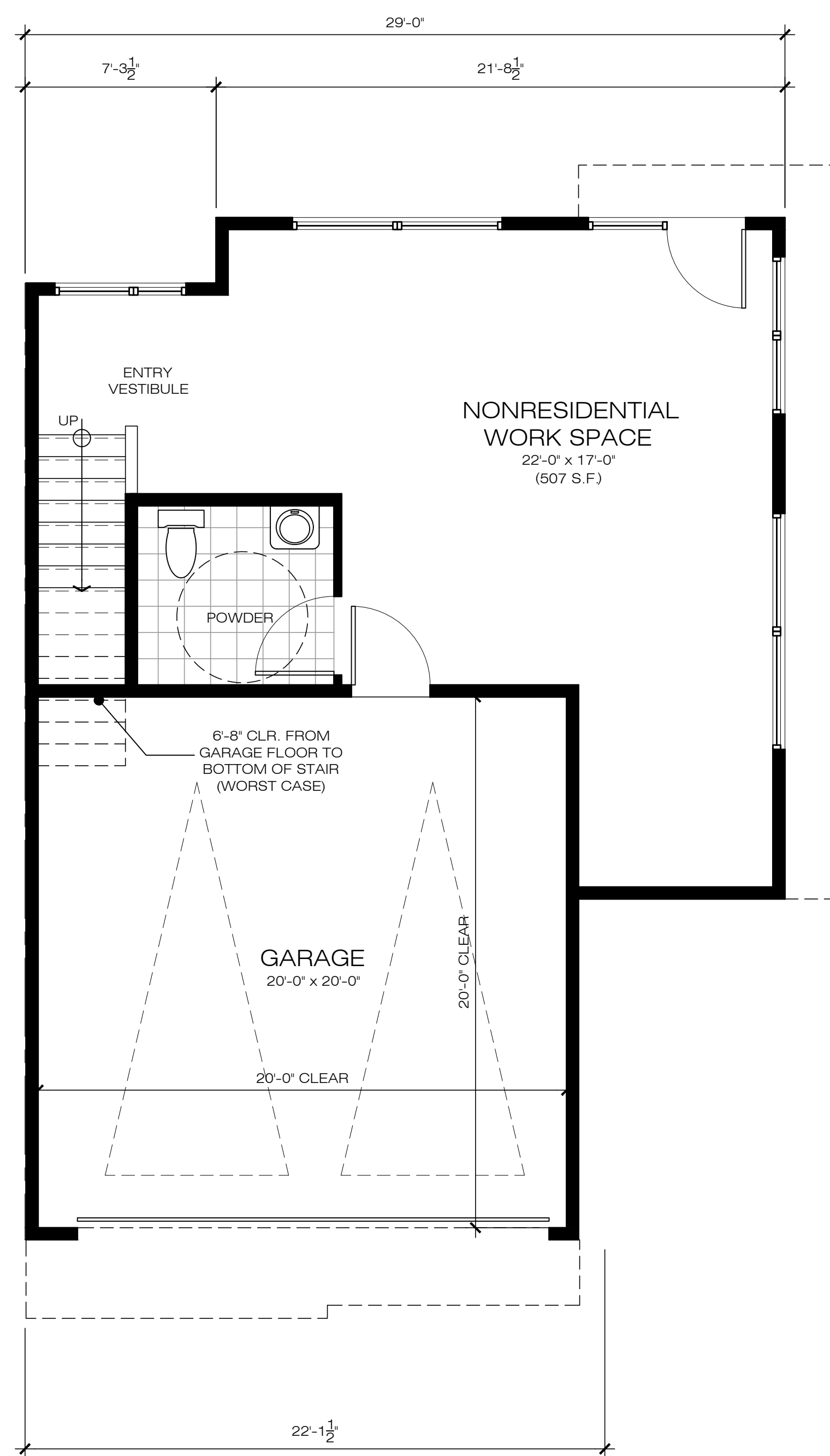
TH UNIT TYPE A2	
3 BEDROOM + 2 & 2(1/2) BATH	
GROSS UNIT SF = 1,729 S.F.	
LIVABLE UNIT SF = 1,620 S.F.	
DECK AREA = 90 S.F. / ROOF DECK = 189 S.F.	
4 UNITS	

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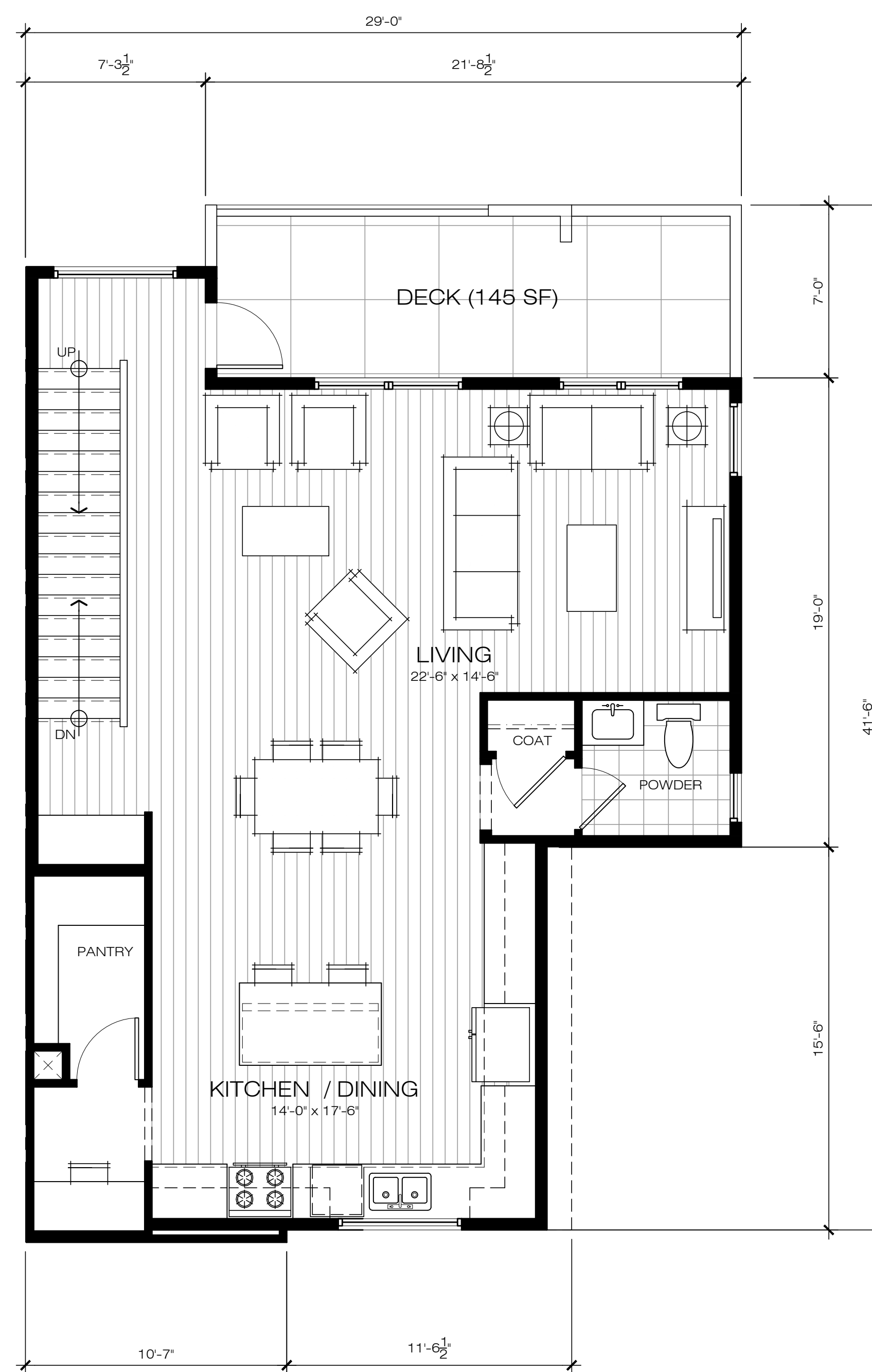
APPLICANT / OWNER
BERK CUSTOM HOMES, INC.



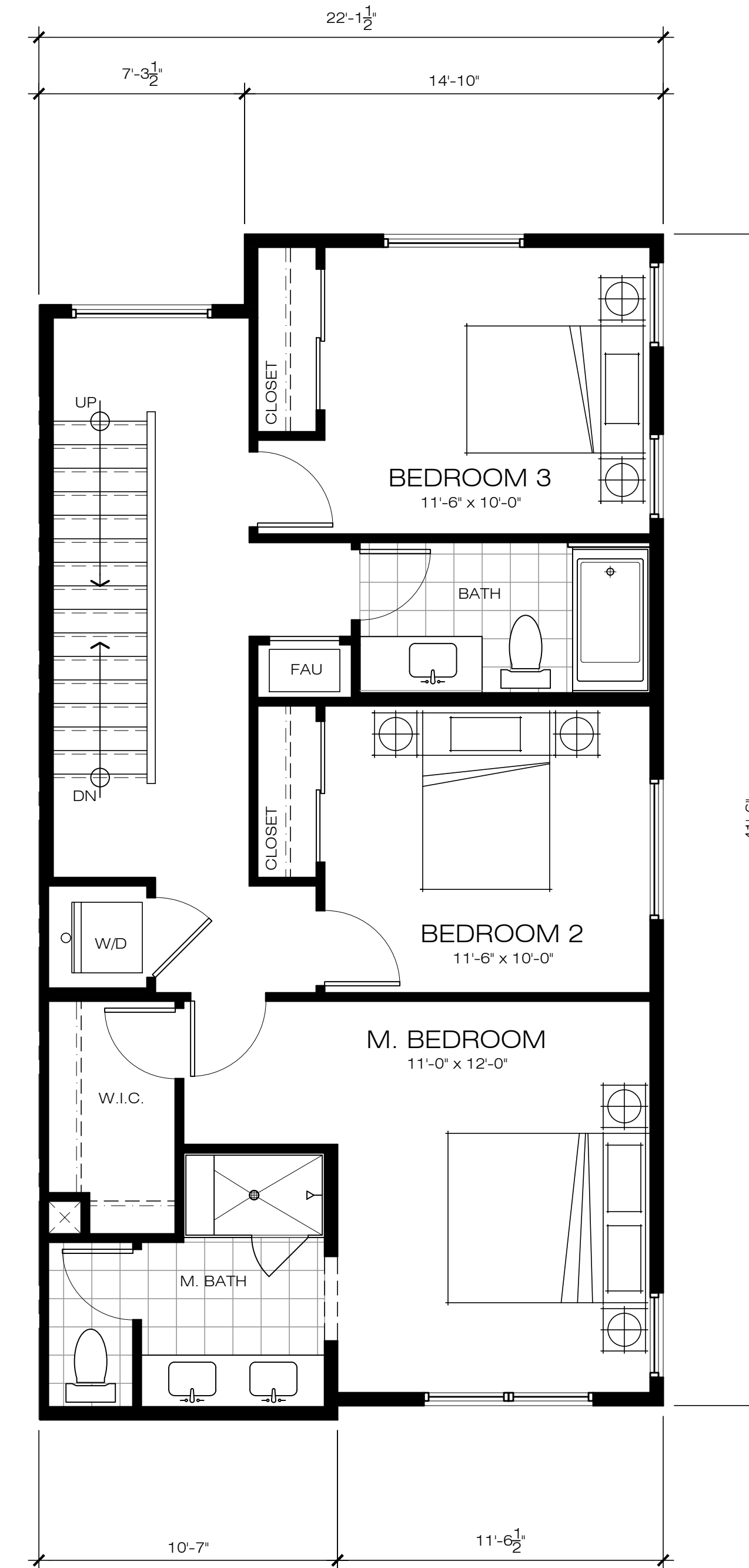
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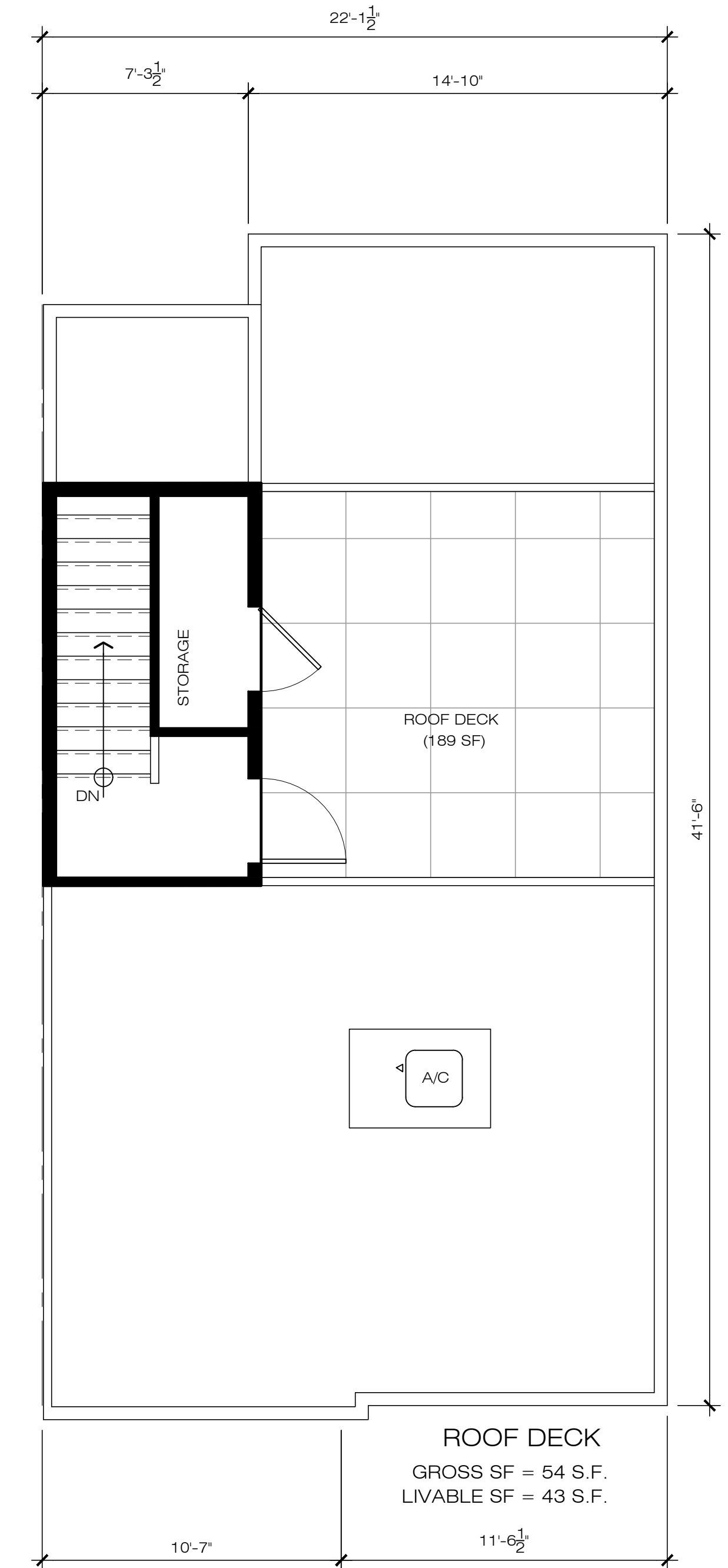
FIRST FLOOR
GROSS SF = 507 S.F.
LIVABLE SF = 469 S.F.



SECOND FLOOR
GROSS SF = 757 S.F.
LIVABLE SF = 707 S.F.



THIRD FLOOR
GROSS SF = 754 S.F.
LIVABLE SF = 711 S.F.



TH UNIT TYPE A3	
3 BEDROOM + 2 & 2(1/2) BATH	
GROSS UNIT SF = 2,072 S.F.	
LIVABLE UNIT SF = 1,930 S.F.	
DECK AREA = 145 S.F. / ROOF DECK = 189 S.F.	
1 UNITS	

1540 SUPERIOR AVE. LIVE / WORK - COSTA MESA, CA

APPLICANT / OWNER
BERK CUSTOM HOMES, INC.

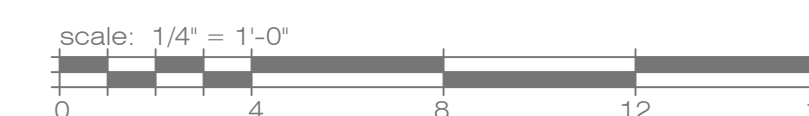
UNIT PLAN - TOWNHOME

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2.5



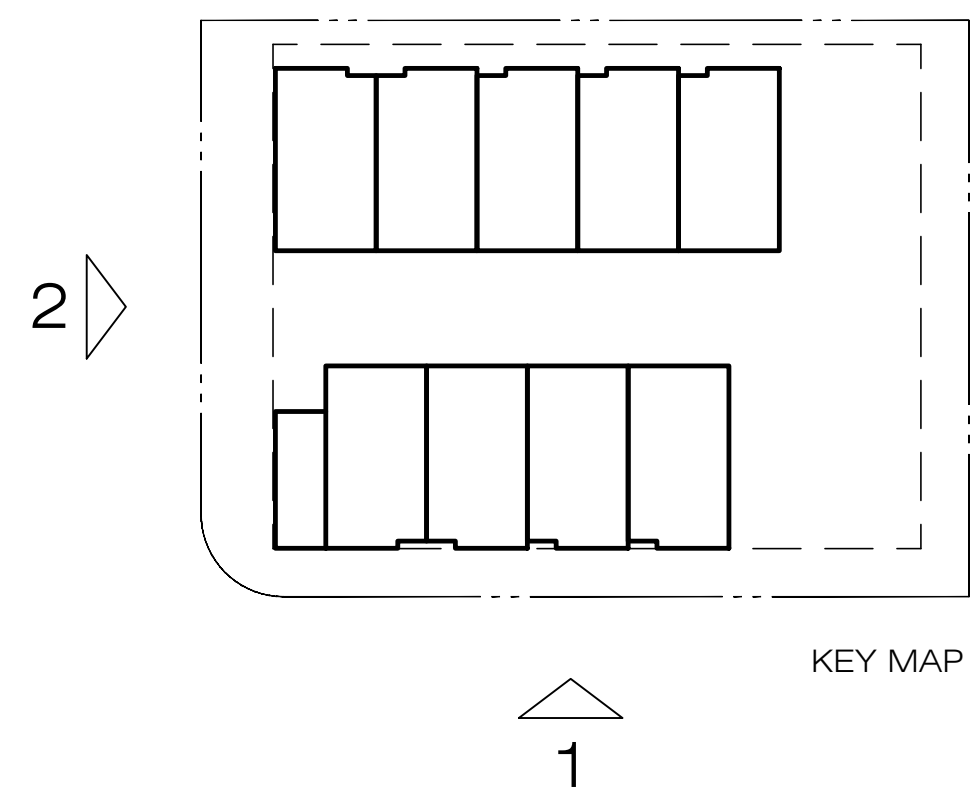


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CONCEPTUAL IMAGERY

APPLICANT / OWNER
 BERK CUSTOM HOMES, INC.

WM
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1. (INDUSTRIAL WAY) SIDE ELEVATION

MATERIAL LEGEND

- ① EXTERIOR CEMENT STUCCO COLOR 1
- ② EXTERIOR CEMENT STUCCO COLOR 2
- ③ SYNTHETIC EXTERIOR BOARD
- ④ SYNTHETIC CEMENT BOARD
- ⑤ EXTERIOR VENEER FINISH
- ⑥ DUAL GLAZED VINYL WINDOWS WHITE COLORED FRAME
- ⑦ PAINTED METAL GUARD RAIL
- ⑧ GLASS GUARD RAIL
- ⑨ METAL CANOPY
- ⑩ SCREED LINE
- ⑪ PAINTED EXTERIOR METAL DOOR
- ⑫ GARAGE DOOR



2. (SUPERIOR AVE.) FRONT ELEVATION

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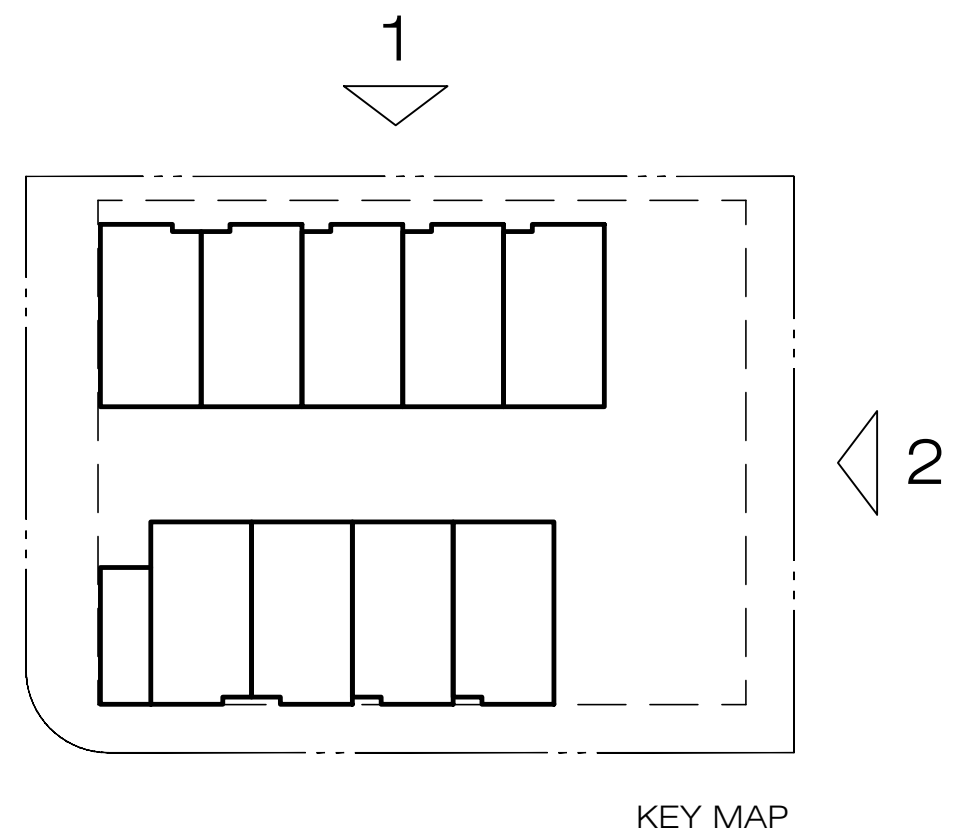
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BUILDING ELEVATIONS

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scale: 1/8" = 1'-0"
0 4 8 16 32





1. (NORTH) SIDE ELEVATION

- MATERIAL LEGEND**
- ① EXTERIOR CEMENT STUCCO COLOR 1
 - ② EXTERIOR CEMENT STUCCO COLOR 2
 - ③ SYNTHETIC EXTERIOR BOARD
 - ④ SYNTHETIC CEMENT BOARD
 - ⑤ EXTERIOR VENEER FINISH
 - ⑥ DUAL GLAZED VINYL WINDOWS WHITE COLORED FRAME
 - ⑦ PAINTED METAL GUARD RAIL
 - ⑧ GLASS GUARD RAIL
 - ⑨ METAL CANOPY
 - ⑩ SCREED LINE
 - ⑪ PAINTED EXTERIOR METAL DOOR
 - ⑫ GARAGE DOOR



2. (EAST) FRONT ELEVATION

1540 SUPERIOR AVE. LIVE / WORK - COSTA MESA, CA

BUILDING ELEVATIONS

APPLICANT / OWNER
BERK CUSTOM HOMES, INC.

scale: 1/8" = 1'-0"
0 4 8 16 32



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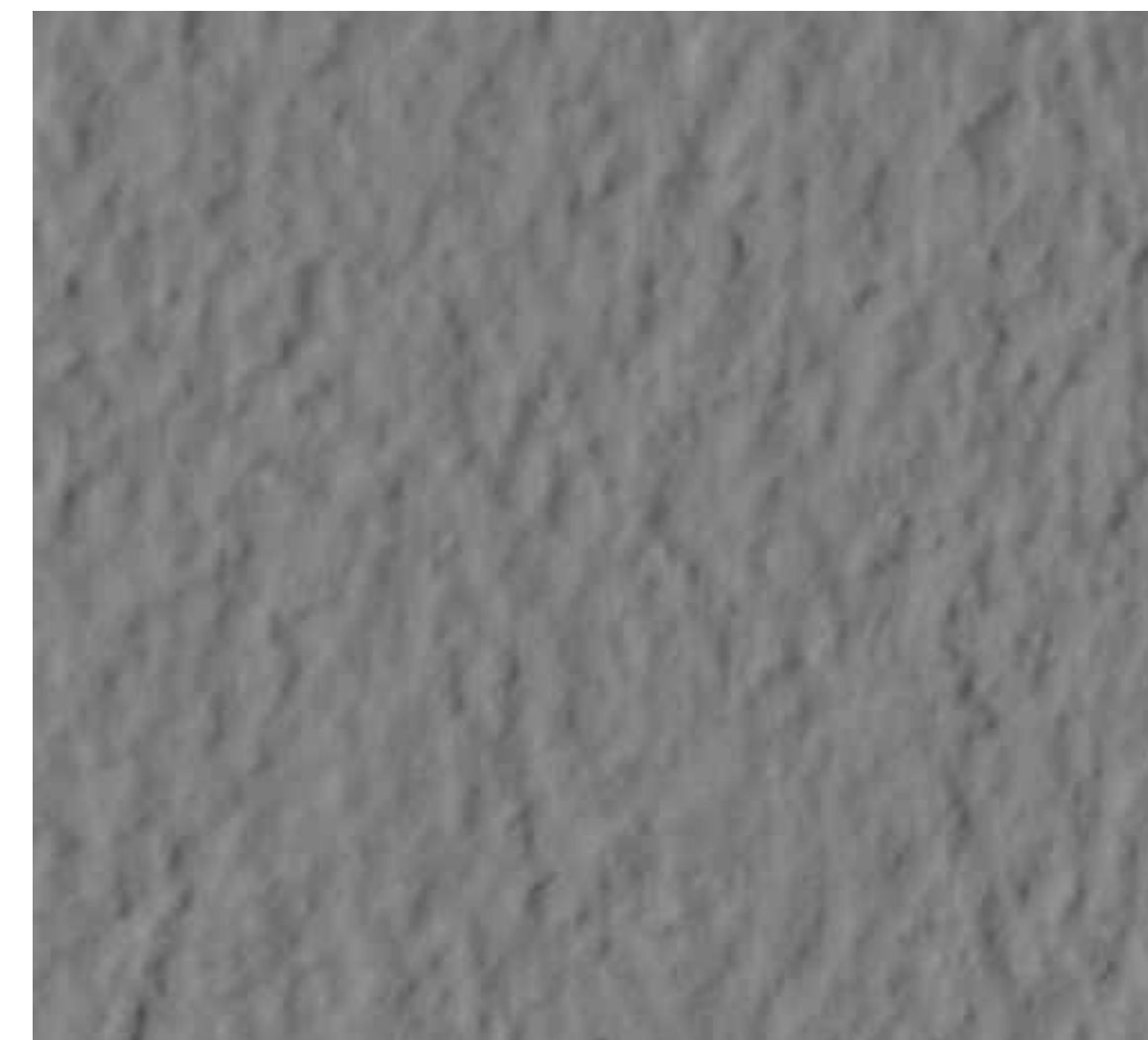
1 EXTERIOR VENEER



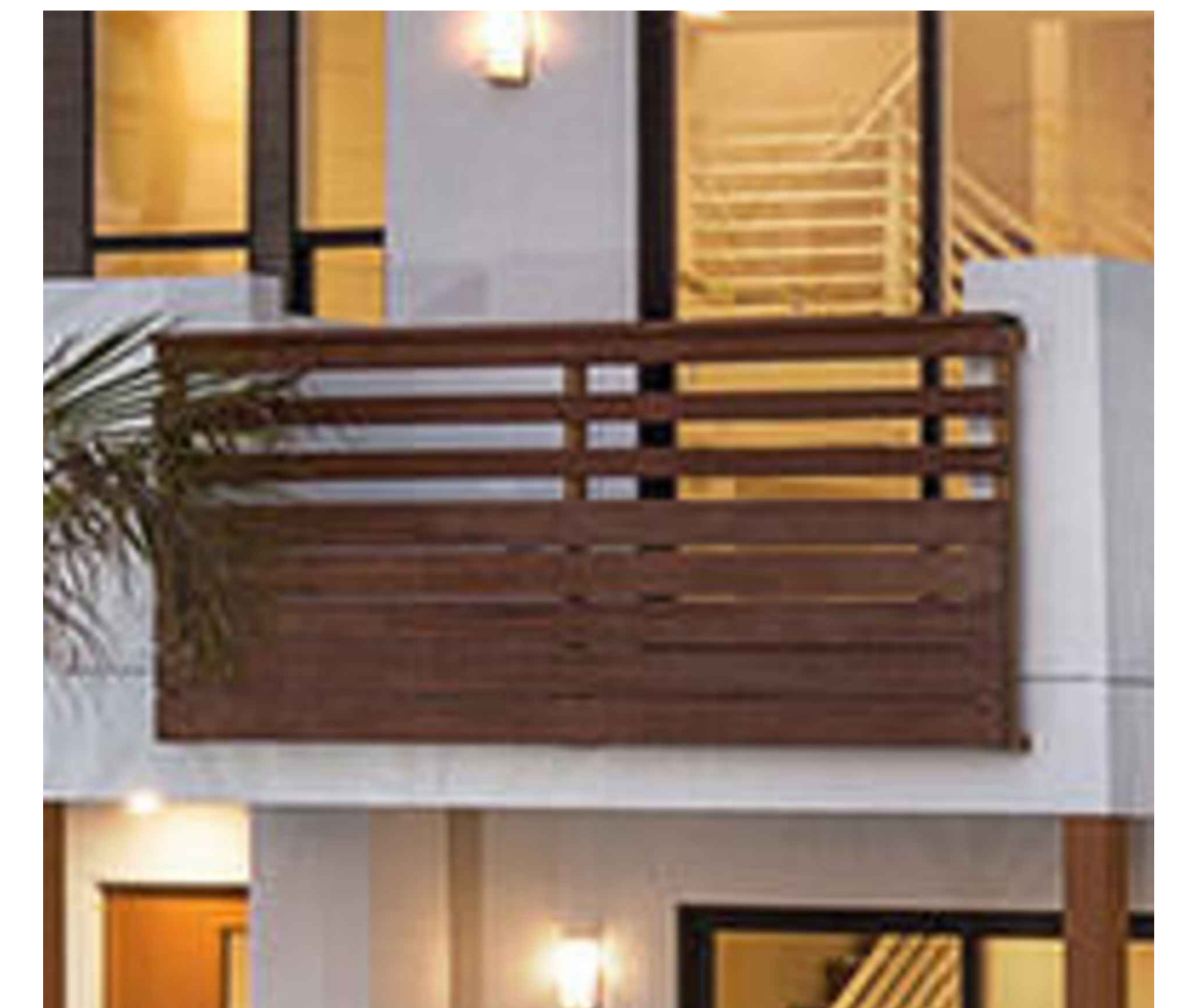
2 STUCCO



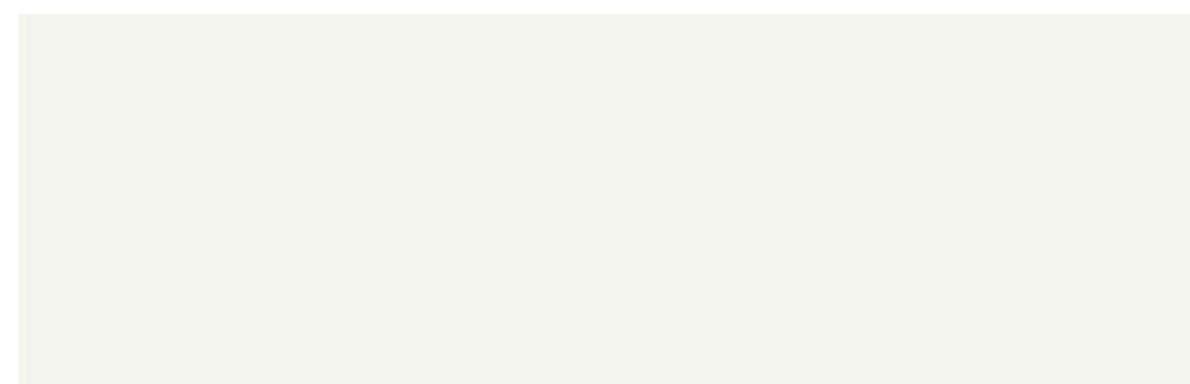
3 HORIZONTAL SYNTHETIC BOARD
JAMES HARDIE OR SIMILAR



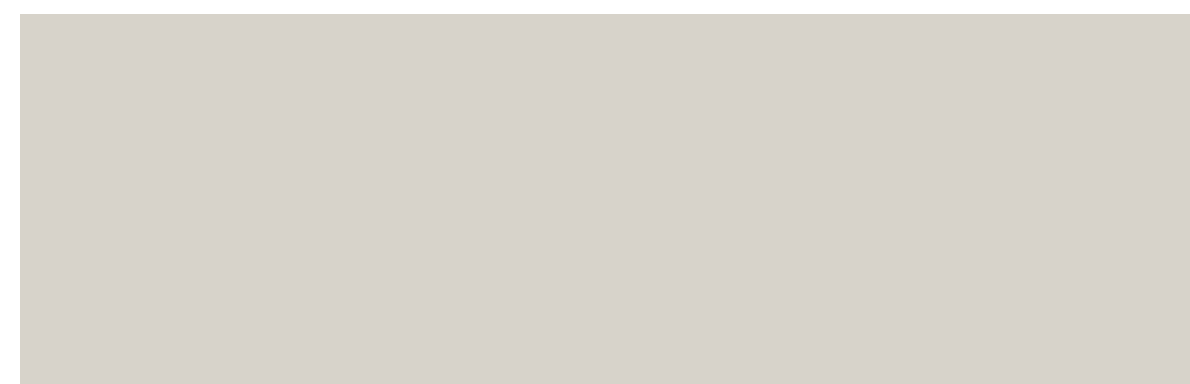
4 VERTICAL CEMENT BOARD
JAMES HARDIE OR SIMILAR



5 COMPOSITE MATERIAL BOARDS
TREX OR SIMILAR
USED FOR GUARDRAIL AND CLADDING



A SHERWIN WILLIAM - 9541
WHITE SNOW



B SHERWIN WILLIAM - 7647
CRUSHED ICE



C SHERWIN WILLIAM - 9684
AZULE



D SHERWIN WILLIAM - 2817
ROCKWOOD AMBER



E SHERWIN WILLIAM - 2803
ROCKWOOD TERRA COTTA

1540 SUPERIOR AVE. LIVE / WORK - COSTA MESA, CA

APPLICANT / OWNER
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MATERIAL BOARD

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PRELIMINARY LANDSCAPE LEGEND

SYMBOL	BOTANICAL NAME DROUGHT TOLERANT TREES	COMMON NAME	SIZE	QUANTITY	HYDROZONE (WATER USE - HYDROZONE #)	REMARKS	INSTALLED SIZE (HEIGHT X WIDTH)	MATURE SIZE (HEIGHT X WIDTH)
	PARKINSONIA x 'DESERT MUSEUM'	DESERT MUSEUM PALO VERDE	24" BOX	2	L-1	STANDARD THORNLESS FLOWERING DECIDUOUS ACCENT	7'-9" H X 3'-5" W	20'-30" H X 20'-25" W
	CERCIS OCCIDENTALIS	WESTERN REDBUD	24" BOX	2	L-1	STANDARD NATIVE FLOWERING DECIDUOUS ACCENT	9'-11" H X 4'-5" W	10'-20" H X 10'-20" W
	CHILOPSIS LINEARIS	DESERT WILLOW	24" BOX	1	L-1	MULTI NATIVE FLOWERING DECIDUOUS ACCENT	3'-4" H X 3'-4" W	15'-30" H X 10'-20" W
	CUPRESSUS SEMPERVIRENS 'GLAUCU'	ITALIAN CYPRESS	15 GALLON	6	L-1	COLUMNAR ACCENT / EVERGREEN SCREEN	6'-7" H X 1'-2" W	60' H X 5'-10' W
DROUGHT TOLERANT SHRUBS, ORNAMENTAL GRASSES, SUCCULENTS, AND GROUND COVERS								
	ECHIU CANDICANS	PRIDE OF MADEIRA	5 GAL. @ 8" O.C.	2	L-2	FLOWERING EVERGREEN SHRUB	6'-8" H X 8'-10" W	
	CARPENTERIA CALIFORNICA BUSH ANEMONE 'ELIZABETH'		5 GAL. @ 6" O.C.	5	L-2	NATIVE FLOWERING EVERGREEN SHRUB	8" H X 5'-6" W	
	SALVIA CLEVELANDII	CLEVELAND SAGE	5 GAL. @ 5" O.C.	18	L-2	NATIVE FLOWERING EVERGREEN SHRUB	3'-5" H X 4'-5" W	
	LEONOTIS LEONURUS	LIONS TAIL	5 GAL. @ 5" O.C.	1,171 S.F. (APPROX. 150 TOTAL)	L-2	FLOWERING EVERGREEN SHRUB	5'-6" H X 4'-5" W	
	AGAVE 'BLUE GLOW'	BLUE GLOW AGAVE	5 GAL. @ 2' O.C.			SUCCULENT ACCENT	18"-24" H X 18"-24" W	
	ALOE VERA	MEDICINAL ALOE	5 GAL. @ 2' O.C.			FLOWERING SUCCULENT	18"-24" H X 18"-24" W	
	BERBERIS REPENS	CREEPING BARBERRY	5 GAL. @ 3' O.C.			NATIVE FLOWERING EVERGREEN SHRUB	18"-30" H X 2'-3" W	
	ACHILLEA MILLEFOLIUM	COMMON YARROW	1 GAL. @ 3' O.C.			NATIVE FLOWERING PERENNIAL	18"-30" H X 2'-3" W	
	ACHILLEA 'MOONSHINE'	MOONSHINE YARROW	1 GAL. @ 3' O.C.			FLOWERING PERENNIAL	2' H X 2'-3" W	
	ARISTIDA PURPUREA	PURPLE THREE-AWN	1 GAL. @ 2' O.C.			NATIVE CLUMPING ORNAMENTAL GRASS	18"-24" H X 18"-24" W	
	ERIGERON GLAUCUS	SEASIDE DAISY	1 GAL. @ 2' O.C.			NATIVE FLOWERING PERENNIAL	10"-12" H X 2' W	
	IRIS DOUGLASIANA	DOUGLAS IRIS	1 GAL. @ 2' O.C.			NATIVE FLOWERING PERENNIAL	12"-18" H X 1'-2" W	
	SISYRINCHIUM BELLUM	WESTERN BLUE-EYED GRASS	1 GAL. @ 1' O.C.			NATIVE FLOWERING PERENNIAL	6"-12" H X 6"-12" W	
	BOUGAINVILLEA 'BARBARA KARST'	BARBARA KARST BOUGAINVILLEA	15 GAL.	14	L-3	FLOWERING EVERGREEN VINE ON STEEL CABLE TRELLIS - DIAMOND PATTERN	6' H X 6' W (TRELLIS)	
DESCRIPTION								
PRELIMINARY PAVING			QUANTITY	REMARKS				
	NEW INTEGRAL COLOR CONCRETE WALKWAYS		2,740 S.F.	EXPOSED AGGREGATE INTEGRAL COLOR CONCRETE WITH HIGHLIGHT BANDS - COLORS TO BE SELECTED BY OWNER				
SITE FURNISHINGS								
	NEW METAL BIKE RACKS AT OPEN SPACE AREA		4	EQUIPMENT AND COLOR TO BE SELECTED BY OWNER				

PRELIMINARY KEYNOTES

- 1
- NEW NATIVE AND MEDITERRANEAN DROUGHT TOLERANT LANDSCAPE (1,973 S.F.) - SEE SHEET L-2 FOR PLANT PALETTE - SEE PLANTING LEGEND THIS SHEET
- 2
- NEW NATIVE AND MEDITERRANEAN DROUGHT TOLERANT TREES - 11 TOTAL (176 S.F.) - SEE SHEET L-2 FOR PLANT PALETTE - SEE PLANTING LEGEND THIS SHEET
- 3
- NEW DROUGHT TOLERANT VINES - 14 TOTAL (224 S.F.) - SEE SHEET L-2 FOR PLANT PALETTE - SEE PLANTING LEGEND THIS SHEET
- 4
- BIO-RETENTION PLANTER LOCATION - SEE CIVIL PLANS FOR REFERENCE
- 5
- NEW PAVING / HARDSCAPE BY OTHERS - SEE ARCHITECTURAL AND CIVIL PLANS FOR REFERENCE
- 6
- EXISTING PAVING / HARDSCAPE TO REMAIN
- 7
- NEW BLOCK WALL - SEE ARCHITECTURAL AND CIVIL PLANS FOR REFERENCE
- 8
- EXISTING BLOCK WALL - SEE ARCHITECTURAL AND CIVIL PLANS FOR REFERENCE
- 9
- PROPOSED BUILDINGS - SEE ARCHITECTURAL PLANS FOR REFERENCE
- 10
- NEW COMMON OPEN SPACE AREA
- 11
- NEW DECORATIVE PAVING - INTEGRAL COLOR CONCRETE - SEE PLANTING LEGEND THIS SHEET
- 12
- FOUR (4) NEW BIKE RACKS - EQUIPMENT TO BE SELECTED BY OWNER - COLOR TO BE SELECTED

TITLE 13, CHAPTER VII, LANDSCAPE STANDARDS - COMPLIANCE TABLE PER CODE 13-105, LANDSCAPING REQUIREMENTS REQUIRED: TWENTY-FIVE (25) SQUARE FEET OF LANDSCAPE PER PARKING SPACE PROVIDED TOTAL PARKING SPACES (ON-GRADE): NINE (9) TOTAL CODE REQUIRED TOTAL: 225 S.F. OF LANDSCAPE ADJACENT TO PARKING AREA TOTAL PROVIDED NEW LANDSCAPE AREAS AT PARKING LOT: 778 S.F. (CODE COMPLIANT)	PER CODE 13-106, REQUIRED LANDSCAPE REQUIREMENTS REQUIRED: ONE 15 GALLON OR LARGER TREE PER 200 S.F. OF LANDSCAPE AREA REQUIRED: 50% OF ALL TREES SHALL BE EVERGREEN REQUIRED: 25% OF THE REQUIRED TREES SHALL BE 24" BOX OR LARGER REQUIRED: 1 TREE PER SIX PARKING SPACES CODE REQUIRED TOTALS: 10 TREES WITH 5 EVERGREEN AND 3 AT 24" BOX SIZE TOTAL PROVIDED TREES: 11 TREES WITH 6 EVERGREEN AND 5 ARE 24" BOXES REQUIRED: ONE SHRUB PER 25 S.F. OF LANDSCAPE AREA (80 REQUIRED) TOTAL PROVIDED SHRUBS: 177 SHRUBS WITH 48 TOTAL 5 GALLONS INSTALLED (CODE COMPLIANT)
--	--

ADDITIONAL LANDSCAPE NOTES:
TOTAL SITE AREA: 19,149 S.F.
TOTAL LANDSCAPE AREA: 1,973 S.F. (10.3% OF SITE AREA)
TOTAL EXISTING LANDSCAPE AREA TO REMAIN: 0 S.F.
TOTAL PROPOSED NEW LANDSCAPE AREA: 1,973 S.F.
TOTAL EXISTING OPEN SPACE AREA: 0 S.F.
TOTAL PROPOSED OPEN SPACE AREA (PRIVATE): 2,377 S.F.
TOTAL PROPOSED OPEN SPACE AREA (COMMON): 5,171 S.F.
PROPOSED NEW VINES: 11 WITHIN LIMIT OF WORK
PROPOSED NEW TREES: 11 WITHIN LIMIT OF WORK
PARKING SPACES PROVIDED: 28 TOTAL ON-SITE - 9 AT PARKINGLOT
TOTAL BUILDING AREA: 7,700 S.F. (40% OF SITE AREA)
TOTAL HARDSCAPE AREA: 9,461 S.F. (50% OF SITE AREA)
TYPE OF CONSTRUCTION: NEW LANDSCAPE AT A NEW
LIVE / WORK DEVELOPMENT SITE (WELO IS APPLICABLE)
WATER: POTABLE WATER
WATER PURVEYOR: CITY OF COSTA MESA

NOTE:
I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND
APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE
PRELIMINARY LANDSCAPE DESIGN PLAN. SEE PRELIMINARY
WELO CALCULATIONS THIS SHEET.

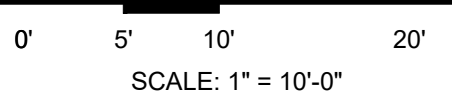


JDC
Landscape Architects
Planners

L-1 PRELIMINARY LANDSCAPE PLAN

COSTA MESA TOWNHOMES - 1540 SUPERIOR AVENUE, COSTA MESA, CA 92626

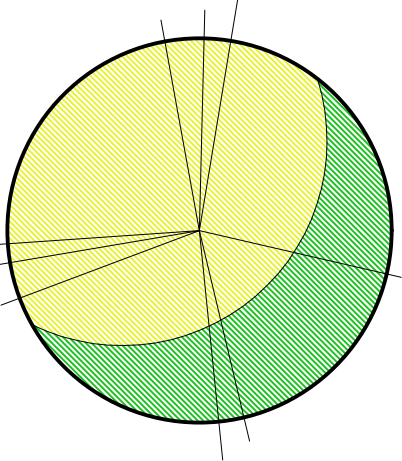
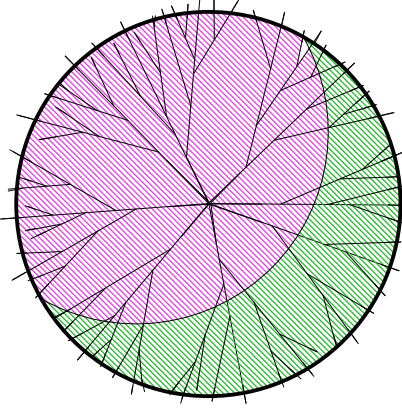
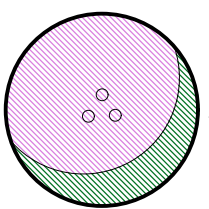
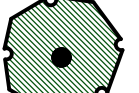
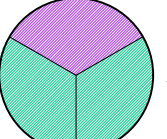
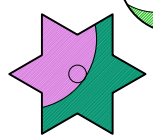
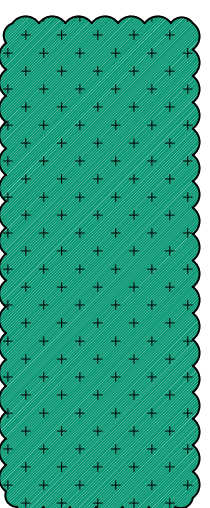
DATE: 11/09/22



NORTH

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PRELIMINARY LANDSCAPE LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	HYDF (WAT) HYDR
DROUGHT TOLERANT TREES					
	PARKINSONIA x 'DESERT MUSEUM'	DESERT MUSEUM PALO VERDE	24" BOX	2	
	CERCIS OCCIDENTALIS	WESTERN REDBUD	24" BOX	2	
	CHILOPSIS LINEARIS	DESERT WILLOW	24" BOX	1	
	CUPRESSUS SEMPERVIRENS 'GLAUCA'	ITALIAN CYPRESS	15 GALLON	6	
DROUGHT TOLERANT SHRUBS, ORNAMENTAL GRASSES, SUCCULENTS, AND GROUND COVERS					
	ECHIU M CANDICANS	PRIDE OF MADEIRA	5 GAL. @ 8' O.C.	2	
	CARPINTERIA CALIFORNICA	BUSH ANEMONE 'ELIZABETH'	5 GAL. @ 6' O.C.	5	
	SALVIA CLEVELANDII	CLEVELAND SAGE	5 GAL. @ 5' O.C.	18	
	LEONOTIS LEONURUS	LIONS TAIL	5 GAL. @ 5' O.C.	1,171 S.F. (APPROX. 150 TOTAL)	
	AGAVE 'BLUE GLOW'	BLUE GLOW AGAVE	5 GAL. @ 2' O.C.		
	ALOE VERA	MEDICINAL ALOE	5 GAL. @ 2' O.C.		
	BERBERIS REPENS	CREeping BARBERRY	5 GAL. @ 3' O.C.		
	ACHILLEA MILLEFOLIUM	COMMON YARROW	1 GAL. @ 3' O.C.		
	ACHILLEA 'MOONSHINE'	MOONSHINE YARROW	1 GAL. @ 3' O.C.		
	ARISTIDA PURPUREA	PURPLE THREE-AWN	1 GAL. @ 2' O.C.		
	ERIGERON GLAUCUS	SEASIDE DAISY	1 GAL. @ 2' O.C.		
	IRIS DOUGLASIANA	DOUGLAS IRIS	1 GAL. @ 2' O.C.		
	SISYRINCHIUM BELLUM	WESTERN BLUE-EYED GRASS	1 GAL. @ 1' O.C.		
	BOUGAINVILLEA 'BARBARA KARST'	BARBARA KARST BOUGAINVILLEA	15 GAL.	14	



AGAVE BLUE GLOW
BLUE GLOW AGAVE



ALOE VERA
MEDICINAL ALOE



ECHIU M CANDICANS
PRIDE OF MADEIRA



SALVIA CLEVELANDII
CLEVELAND SAGE



LEONOTIS LEONURUS
LION'S TAIL



ACHILLEA MOONSHINE
MOONSHINE YARROW



BERBERIS REPENS
CREeping BARBERRY



ACHILLEA MILLEFOLIUM
COMMON YARROW



ARISTIDA PURPUREA
PURPLE THREE-AWN



ERIGERON GLAUCUS
SEASIDE DAISY



IRIS DOUGLASIANA
DOUGLAS IRIS



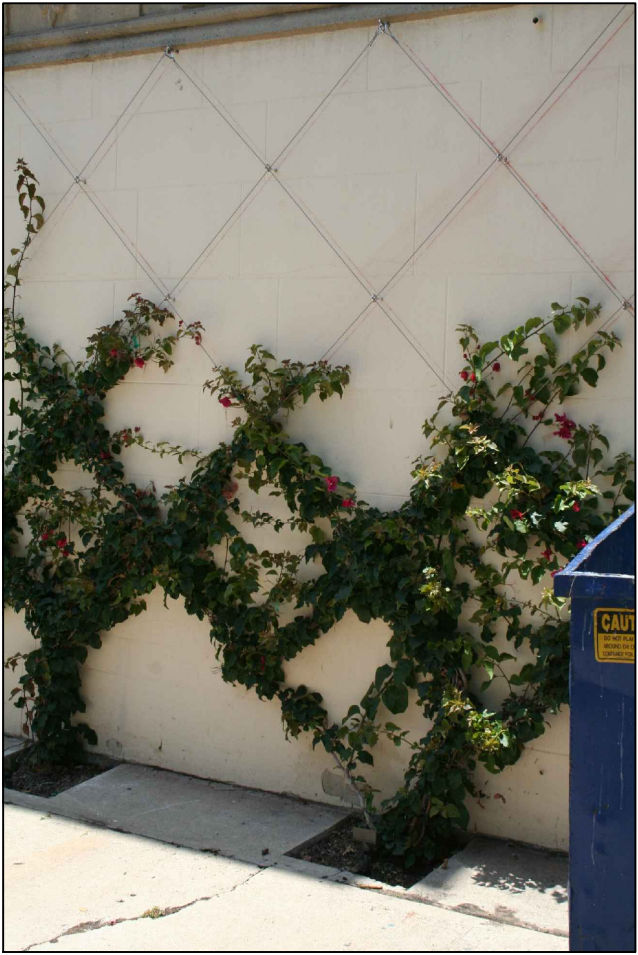
SISYRINCHIUM BELLUM
WESTERN BLUE EYED GRASS



CHILOPSIS LINEARIS
DESERT WILLOW
FLOWERING ACCENT TREE



CUPRESSUS SEMPERVIRENS 'GLAUCA'
ITALIAN CYPRESS
VERTICAL ACCENT



BOUGAINVILLEA 'BARBARA KARST'
BARBARA KARST BOUGAINVILLEA
DIAMOND CABLE TRELLIS VINE



CARPINTERIA CALIFORNICA 'ELIZABETH'
BUSH ANEMONE



PARKINSONIA x DESERT MUSEUM
DESERT MUSEUM PALO VERDE
FLOWERING ACCENT TREE



CERCIS OCCIDENTALIS
WESTERN REDBUD
FLOWERING ACCENT TREE



L-2 - PRELIMINARYPLANT PALETTE IMAGERY

COSTA MESA TOWNHOMES - 1540 SUPERIOR AVENUE, COSTA MESA, CA 92626

DATE: 11/09/22

L-3 - PRELIMINARY IRRIGATION CALCULATIONS AND STATEMENTS

COSTA MESA TOWNHOMES - 1540 SUPERIOR AVENUE, COSTA MESA, CA 92626

PRELIMINARY LANDSCAPE AND IRRIGATION STATEMENT (WELO):

I HAVE COMPLIED WITH THE CRITERIA OF THE LANDSCAPE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE PRELIMINARY LANDSCAPE PLAN. THE NEW IRRIGATION SYSTEM IS TO UTILIZE A 'SMART' IRRIGATION CONTROLLER WITH A NEW WEATHER SENSOR AND NEW DEDICATED IRRIGATION SUB-METER WITH FLOW SENSING. SHRUBS WILL BE IRRIGATED WITH SUB-SURFACE DRIP LINE TUBING AND POINT TO POINT EMITTERS ON DEDICATED CONTROL VALVES WITH PRESSURE REGULATORS AND DRIP FILTERS. POINT TO POINT DRIP EMITTERS WILL BE USED WHERE NECESSARY FOR LARGER SHRUBS, VINES AND TREES. TREES AND VINES WILL BE PROVIDED WITH DEDICATED CONTROL VALVES WITH 2 LOW FLOW BUBBLERS EACH FOR MONTHLY DEEP ROOT WATERING.

PROPOSED NEW IRRIGATION EQUIPMENT:
NEW IRRIGATION-ONLY SUB-METER WITH FLOW SENSING AND MASTER VALVE - HC-FLOW METER (HUNTER) / 3100PRS (SUPERIOR)
NEW IRRIGATION SUB-SURFACE DRIPLINE SYSTEM - GPH HEAVY WALL DRIPLINE AND DRIP ACCESSORIES (GPH)
NEW IRRIGATION SUB-SURFACE BUBBLERS - ROOT ZONE WATERING SYSTEM (HUNTER)
NEW IRRIGATION SUB-SURFACE POINT TO POINT DRIP SYSTEM WITH PRESSURE REGULATING EMITTERS AND BUG CAPS
NEW IRRIGATION CONTROL VALVES - SUPERIOR 810 (DRIP) AND 950 (BUBBLER) BRASS VALVES WITH PRESSURE REGULATION AND FILTRATION
NEW IRRIGATION ACCESSORIES - IRRIGATION VALVES FOR DRIP AND BUBBLER SYSTEMS SHALL INCLUDE 150 MESH STAINLESS STEEL FILTERS
NEW IRRIGATION CONTROLLER - HUNTER PRO-HC 'SMART' CONTROLLER WITH WIRELESS WEATHER SENSOR AND FLOW MONITORING
NEW IRRIGATION GATE VALVES - NIBCO T-113 BRASS GATE VALVES FOR PARTIAL OR COMPLETE SYSTEM SHUTDOWN

Cimis Data - Station #75 - Irvine - South Coast Valleys Region - as of 05/10/22				
	Monthly Average Eto	Daily Average Eto	Monthly % (Of Total Year)	Monthly % (Of Peak July)
January	2.36	0.076	4.67%	36.53%
February	2.66	0.094	5.27%	41.18%
March	3.84	0.124	7.60%	59.44%
April	4.82	0.161	9.54%	74.61%
May	5.10	0.165	10.10%	78.95%
June	5.78	0.193	11.44%	89.47%
July	6.46	0.208	12.79%	100.00%
August	6.23	0.201	12.33%	96.44%
September	4.80	0.160	9.50%	74.30%
October	3.67	0.118	7.27%	56.81%
November	2.65	0.088	5.25%	41.02%
December	2.14	0.069	4.24%	33.13%
Yearly Total	50.51	0.138	100.00%	N/A

Water Efficient Landscape Worksheet

City of Costa Mesa, CA

Irrigation System 'A'

Maximun Applied Water Allowance

Total MAWA = (ETo x 0.55 x LA in SF x 0.62 + (ETo x 1.0 x SLA in SF x 0.62) = Gallons per Year for LA+SLA

Where:

MAWA = Maximum Applied Water Allowance (gallons per year)
ETo = Reference Evapotranspiration (Appendix A) (inches per year)
0.55 = ET Adjustment Factor (ETAF) for Residential Site (Live Work Spaces)
1.0 = ET Adjustment Factor (ETAF) for Special Landscape Area
LA = Landscape Area (square feet)
0.62 = Conversion factor (to gallons per square foot)
SLA = Special Landscape Area (square feet)
Billing Unit = 1 Hundred Cubic feet (HCF) or 748 gallons

MAWA Calculation:

	ETo		ETAF		LA or SLA (SF)		Conversion	MAWA (Gallons per Year)
MAWA for LA =	50.51	x	0.55	x	1,973	x	0.62	= 33,983
MAWA for SLA =	50.51	x	1.00	x	0	x	0.62	= 0
Total Area (SF) = 1,973						Total MAWA = 33,983 Gal/Yr.		
						= 45 Billing units		

Estimated Total Water Use

Irrigation System 'A'

KI = Landscape Coefficient (Plant Factor)
LA = Landscape Area (square feet)
0.62 = Conversion factor (gallons/ square foot)
IE = Irrigation Efficiency = IME x DU
IME = Irrigation Management Efficiency (90%)
DU = Distribution Uniformity of Irrigation head
ETAF = KI x LA (ET Adjustment Factor)

Kd = Density Factor (range = 0.5 to 1.3) (See WUCOLS for density ranges)
Kmc = Microclimate Factor (range = 0.5 to 1.4) (See WUCOLS)
WUCOLS - www.owue.water.ca.gov/docs/wucols00.pdf

ETWU Calculation: ETo x KI x LA in SF x 0.62 = Gallons per Year

ETo		SLA		Conversion		ETWU (Gallons Per Year)	
SLA / Special Landscape Area - Turf	50.51	x	0	x	0.62	=	0

(ETAF)

ETo		KI		LA		Conversion		IE		ETWU (Gallons Per Year)	
L-2 \ Low Water Using Shrubs	50.51	x	0.25	x	1,973	x	0.62	÷	0.81	=	19,070
L-1 \ Low Water Using Trees (11)*	50.51	x	0.25	x	176	x	0.62	÷	0.81	=	1,701
L-3 \ Low Water Using Vines (14)*	50.51	x	0.25	x	224	x	0.62	÷	0.81	=	2,165
Total ETWU =										Total ETWU =	22,936 Gallons per year
										Total ETWU =	31 Billing units

SUMMARY

The ETWU (22,936 gallons per year) is less than the MAWA (33,983 gallons per year). (67.4.0%)
The project's Landscape Estimated Total Water Use complies with the City of Costa Mesa Water Efficient Landscape Ordinance
*Trees / Vines are assigned 16 s.f. per Plant and are calculated in addition to the project MAWA landscape area of coverage

Sprinkler Head Types	Average Precipitation Rate	Distribution Uniformity of Irrigation Head
Dripline	0.60"/Hr.	0.90
Flood Bubbler	1.5"/Hr.	0.90

ETAF Calculations	
Regular Landscape Areas	
Total ETAF x Area	732.41
Total Area	2,373.00
Average ETAF	0.31
All Landscape Areas	
Total ETAF x Area	732.41
Total Area	2,373.00
Sitewide ETAF	0.31



DATE: 11/09/22

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