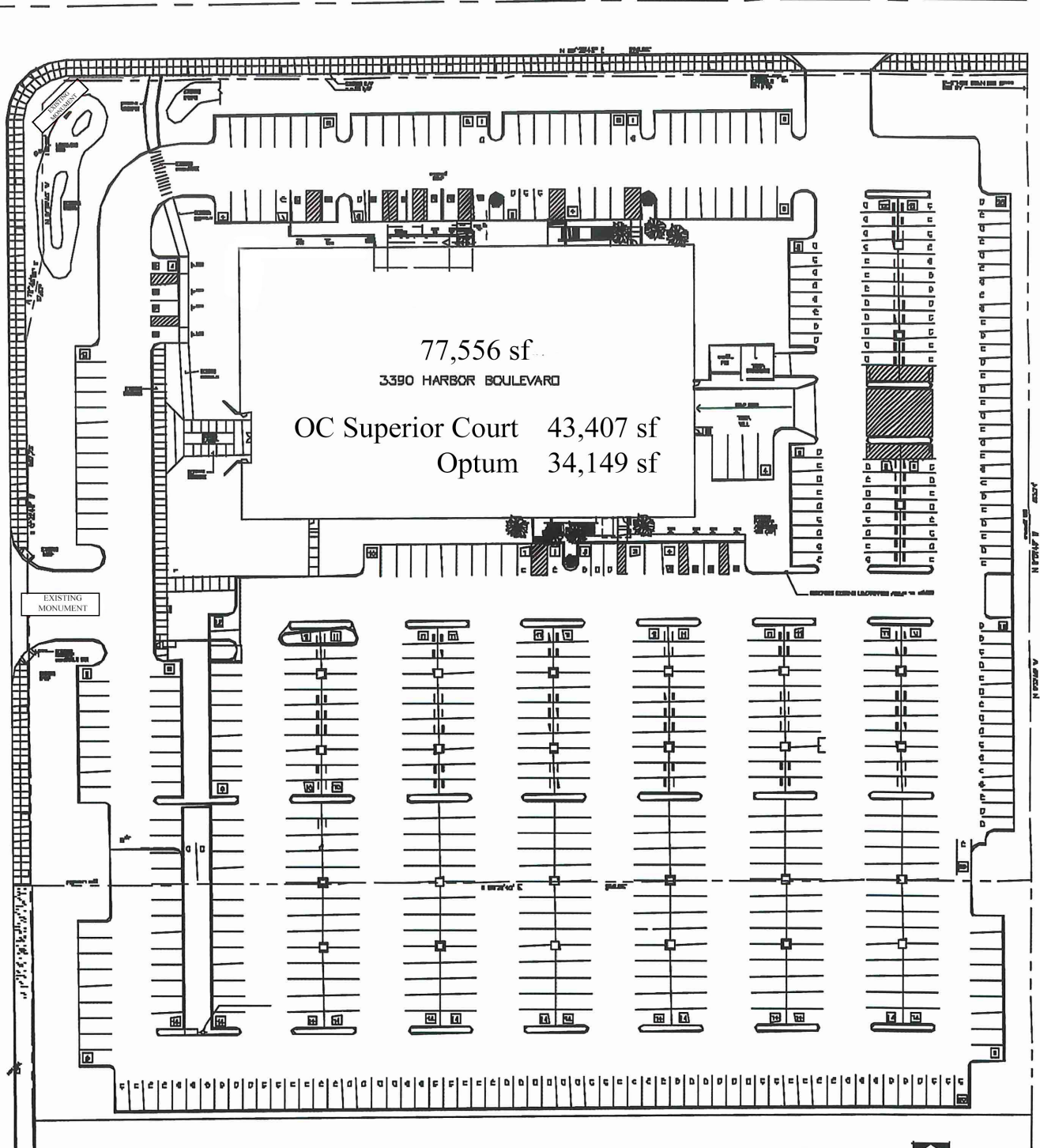


C OF SUNFLOWER AVENUE

C OF HARBOR BOULEVARD



PARKING AVAILABLE = 608 SPACES  
PARKING RATIO = 7.8/1000

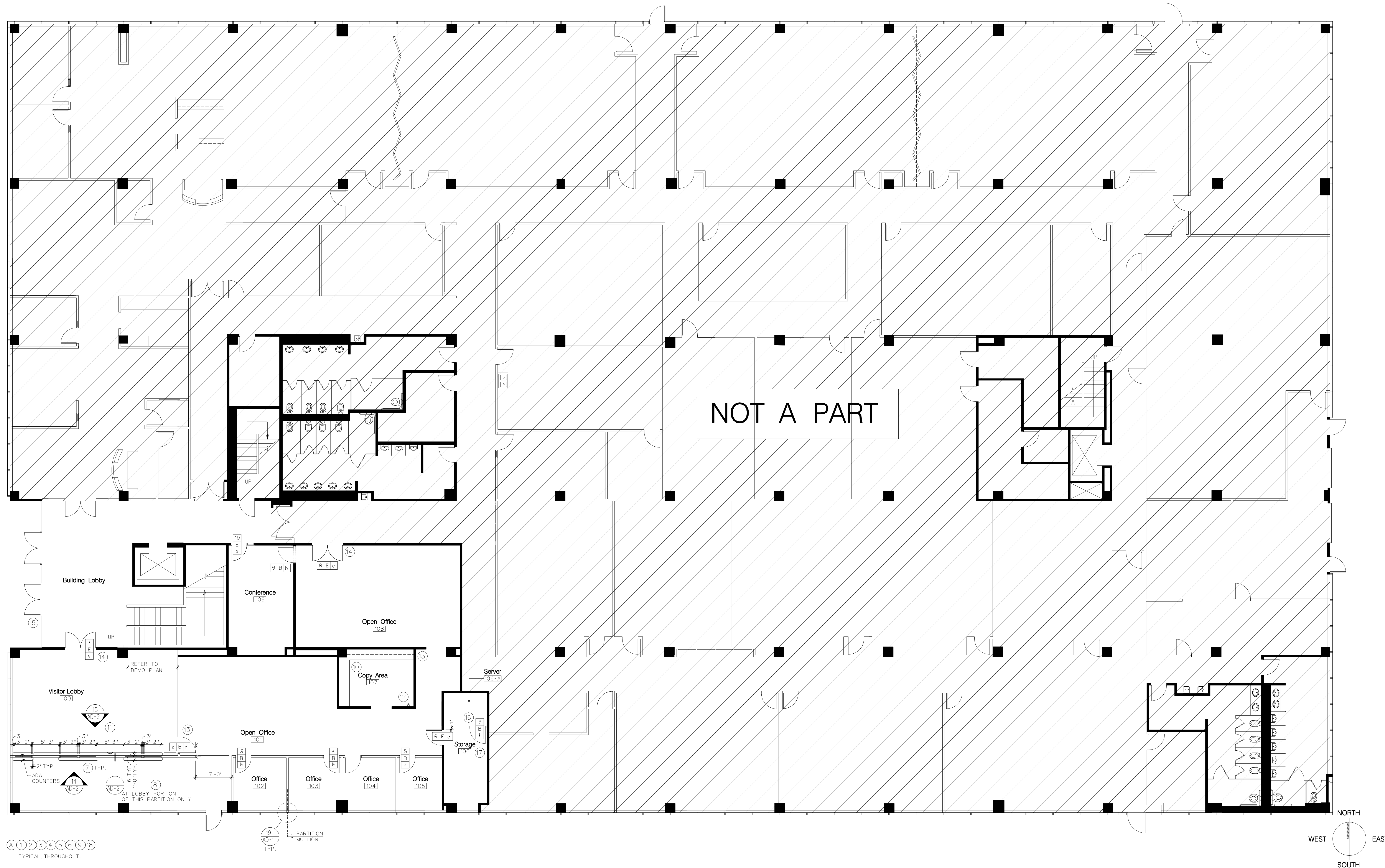


# Orange County Superior Courts

3390 Harbor Boulevard  
1st and 2nd Floor  
Costa Mesa, Ca



## FIRST FLOOR CONSTRUCTION PLAN



### DOOR NOTES

- ALL EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT, AND SHALL BE PROVIDED WITH ILLUMINATED "EXIT" SIGNS AS REQUIRED BY THE FIRE DEPARTMENT.
- DOOR OPENINGS IN PARTITIONS NOT DIMENSIONED ARE TO BE LOCATED 4" FROM ADJOINING PARTITION.
- REFER TO DETAIL 2, 3, AND 4 ON SHEET AD-1 FOR TYPICAL DOOR HEAD AND JAMB DETAILS. FOR ABOVE STANDARD DOOR DETAILS (WHERE OCCUR) SEE PLAN FOR ELEVATION OR DETAIL REFERENCE SYMBOL.
- ALL DOORS TO HAVE RAIL SUPPORT AS REQUIRED FOR HARDWARE, NO THROUGH-BOLTING.
- ALL DOORS SHALL HAVE LEVER TYPE HARDWARE IN COMPLIANCE WITH C.B.C. AND TITLE 24 REQUIREMENTS.
- LANDINGS OR FLOOR LEVEL AT DOORS SHALL NOT BE MORE THAN 1/2" BELOW THE THRESHOLD, RAISED THRESHOLDS AND FLOOR LEVEL CHANGES GREATER THAN 1/4" AT DOORWAYS SHALL BE BEVELED WITH A SLOPE NOT GREATER THAN ONE UNIT VERTICAL IN TWO UNITS HORIZONTAL, CBC 101.17, REFER TO \*20/AD-1.

### DOOR TYPES

- TYPE "A" NEW INTERIOR DOOR (SINGLE/20-MIN. RATED):  
3'-0" x 8'-0" x 1 3/4" SOLID CORE PAINT GRADE WOOD DOOR WITH FACTORY FINISHED TIMELY BLACK ALUMINUM FRAME (MATCH EXISTING)
- TYPE "B" NEW INTERIOR DOOR (SINGLE/NON-RATED):  
3'-0" x 8'-0" x 1 3/4" SOLID CORE PAINT GRADE WOOD DOOR WITH FACTORY FINISHED TIMELY BLACK ALUMINUM FRAME (MATCH EXISTING)
- TYPE "C" NEW INTERIOR DOOR (PARTITION-RATED):  
6'-0" x 8'-0" x 1 3/4" SOLID CORE PAINT GRADE WOOD DOOR WITH FACTORY FINISHED TIMELY BLACK ALUMINUM FRAME (MATCH EXISTING).
- TYPE "D" NOT USED.
- TYPE "E" EXISTING DOOR AND FRAME ASSEMBLY SHALL REMAIN.

### HARDWARE SETS

- ALL HARDWARE THROUGHOUT SHALL MATCH EXISTING.
- SET "a" 2- PAIR BUTT HINGES  
1- CYLINDRICAL LEVER LATCHSET  
1- CLOSER  
1- WALL STOP
- SET "b" 2- PAIR BUTT HINGES  
1- CYLINDRICAL LEVER LOCKSET  
1- WALL STOP
- SET "c" 2- PAIR BUTT HINGES  
1- CYLINDRICAL LEVER LOCKSET  
1- CLOSER  
1- WALL STOP
- SET "d" 2- PAIR BUTT HINGES  
1- CYLINDRICAL PRIVACY LEVER LOCKSET  
1- CLOSER  
1- WALL STOP
- SET "e" EXISTING HARDWARE SHALL REMAIN.
- SET "f" 2- PAIR BUTT HINGES  
1- CYLINDRICAL STOREROOM FUNCTION LEVER LOCKSET  
1- ELECTRIFIED STRIKE  
1- CLOSER  
1- WALL STOP
- SET "g" 4- PAIR BUTT HINGES  
2- PANIC PUSHBARS  
2- CLOSERS  
2- WALL STOPS  
1- DUSTPROOF STRIKE  
1- COORDINATOR  
1- ASTRAGAL  
1- AUTO FLUSH BOLT
- PROVIDE SMOKE SEALS AT ALL RATED DOOR LOCATIONS.

### PLAN KEY-NOTES

- ALL AREAS SHOWN WITH DIAGONAL SCREENING ARE N.I.C.
- ALL CONSTRUCTION IS EXISTING TO REMAIN, U.O.N.
- ALL SURFACES AFFECTED BY DEMOLITION SHALL BE PATCHED/PREPARED AS REQUIRED, TO MATCH ADJACENT SURFACES.
- PATCH/PREP ALL GYP. BD. SURFACES THROUGHOUT TENANT SUITE AREA TO RECEIVE NEW FINISHES SHOWN WITHIN THESE DOCUMENTS.
- ALL NEW AND EXISTING PARTITIONS SHALL HAVE A SMOOTH, LEVEL 4 FINISH. ALL PATCHED AREAS SHALL BE PATCHED/PREPARED AS REQUIRED TO RECEIVE A LEVEL 4 FINISH.
- PATCH ALL GYP. BD. AS REQUIRED THROUGHOUT, AND AT ALL DEMO'D POWER, VOICE, AND DATA OUTLETS AS REQUIRED, TO MATCH ADJACENT SURFACES.
- PROVIDE NEW SECURITY GLAZING IN TIMELY BLACK ALUMINUM FRAME AT THIS LOCATION. BOTTOM OF GLASS SHALL BE AT +42" A.F.F. (TRANSACTION COUNTER HEIGHT) 134" A.F.F. AT ADA COUNTER HEIGHT). TOP OF FRAME SHALL ALIGN WITH ADJACENT DOOR FRAME (18'-0" T.). GLAZING PROVIDE LEVEL 2 BULLET RESISTANT GLAZING SYSTEM. MFR: PACIFIC BULLETPROOF CO. (OR APPROVED EQUAL) REFER TO AD-2 FOR ADDITIONAL INFORMATION.
- AT THIS LOCATION, PROVIDE 1/2" BALLISTIC FIBERGLASS PANEL. SPECIFICATION ARMORTEX O.F. 700 PANELS, UL 752, LEVEL 7. (ONE SIDE BEHIND FINISHED GYP. BD., LOBBY SIDE). REFER TO \*17/AD-2 AND \*3/AD-4.
- REPAIR/FINISH ALL EXTERIOR WINDOW MULLIONS AFFECTED BY DEMOLITION OF PARTITIONS, AS REQUIRED FOR A "LIKE NEW" APPEARANCE, TYPICAL.
- EXISTING PLASTIC LAMINATE MILLWORK AT THIS LOCATION SHALL REMAIN. CLEAN/REPAIR AS REQUIRED FOR A "LIKE-NEW" APPEARANCE.
- PROVIDE NEW PLASTIC LAMINATE TRANSACTION COUNTERTOP AT +42" A.F.F. AS SHOWN.
- EXISTING SURFACE MOUNTED FIRE EXTINGUISHER SHALL REMAIN AT THIS LOCATION.
- PROVIDE NEW TACTILE EXIT SIGN "EXIT ROUTE" AT THIS LOCATION. REFER TO \*19/AD-2.
- PROVIDE NEW TACTILE EXIT SIGN "EXIT" AT THIS LOCATION. REFER TO \*19/AD-2.
- EXISTING INTERNATIONAL ACCESSIBILITY SYMBOL SIGNAGE PER 2019 CBC SECTION 11B-703.7.2.1.
- PROVIDE 24" x 12" TRANSFER GRILLE IN DOOR AT THIS LOCATION. KRUEGER, MODEL 600A, DOUBLE PLATE FRAME, WITH 1/4" MARGIN, COLOR: BLACK.
- PATCH/PREP EXISTING DRYWALL AT THIS LOCATION AS REQUIRED, TO MATCH ADJACENT SURFACES.
- PROVIDE A MOISTURE TEST OF THE SLAB AT VARIOUS LOCATIONS WITHIN THE OFFICE AREAS ONLY. COORDINATE/DETERMINE LOCATIONS TO BE TESTED WITH LANDLORD. BASED ON MOISTURE TEST RESULTS AND AS DIRECTED BY THE LANDLORD, PROVIDE AN ALTERNATE COST TO INSTALL A MOISTURE BARRIER AT ALL VCT, AND LVT FLOORING LOCATIONS. SPECIFICATION: SIKA PRODUCTS, EPOXY FLOOR SEALER WITH SIKA PRIMER, AND SIKA LEVELER.

### GENERAL CONTRACTOR BID NOTE

- (A) PROVIDE A SEPARATE LINE ITEM COST FOR ALL CONSTRUCTION TO BE COMPLETED DURING NON-BUSINESS OFF HOURS.

### GENERAL NOTES

- REFER TO SHEET CS FOR ADDITIONAL INFORMATION AND NOTES.
- FOR WALL TYPES, REFER TO 1 / AD-1
- DOOR OPENINGS IN PARTITIONS NOT DIMENSIONED ARE TO BE LOCATED WITH IN 4" OF ADJOINING PARTITION.

### LEGEND

- EXISTING PARTITION TO REMAIN
- EXISTING PARTITION OR CONSTRUCTION TO BE REMOVED
- FULL HEIGHT PARTITION WITH INSULATION REFER TO 1C/AD-1
- FULL HEIGHT ONE-HOUR RATED PARTITION WITH INSULATION REFER TO 1C/AD-1
- CEILING HEIGHT INTERIOR RATED PARTITION (+9'-0" / -1) WITH INSULATION REFER TO 1B/AD-1
- INTERIOR TENANT PARTITION (+10'-0" / -) WITH INSULATION REFER TO 1A/AD-1
- LOW PARTITION (+36" HIGH) WITHOUT INSULATION REFER TO \*2 AND \*6/AD-2

Issues and Revisions				
No.	Date	Issues and Revisions	By	Check
01/14/22		Issued for Engineering	JSM	
02/01/22		Issued for Bid	JSM	

Project Name	Orange County Superior Courts
	3390 Harbor Blvd., 1st and 2nd Flrs., Costa Mesa, CA
Project Number	16.00.05
Description	First Floor
	Construction Plan
Computer File	ocsc-cpt1.dgn

Scale 1/8" = 1'-0" (U.N.O.)

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A1-1

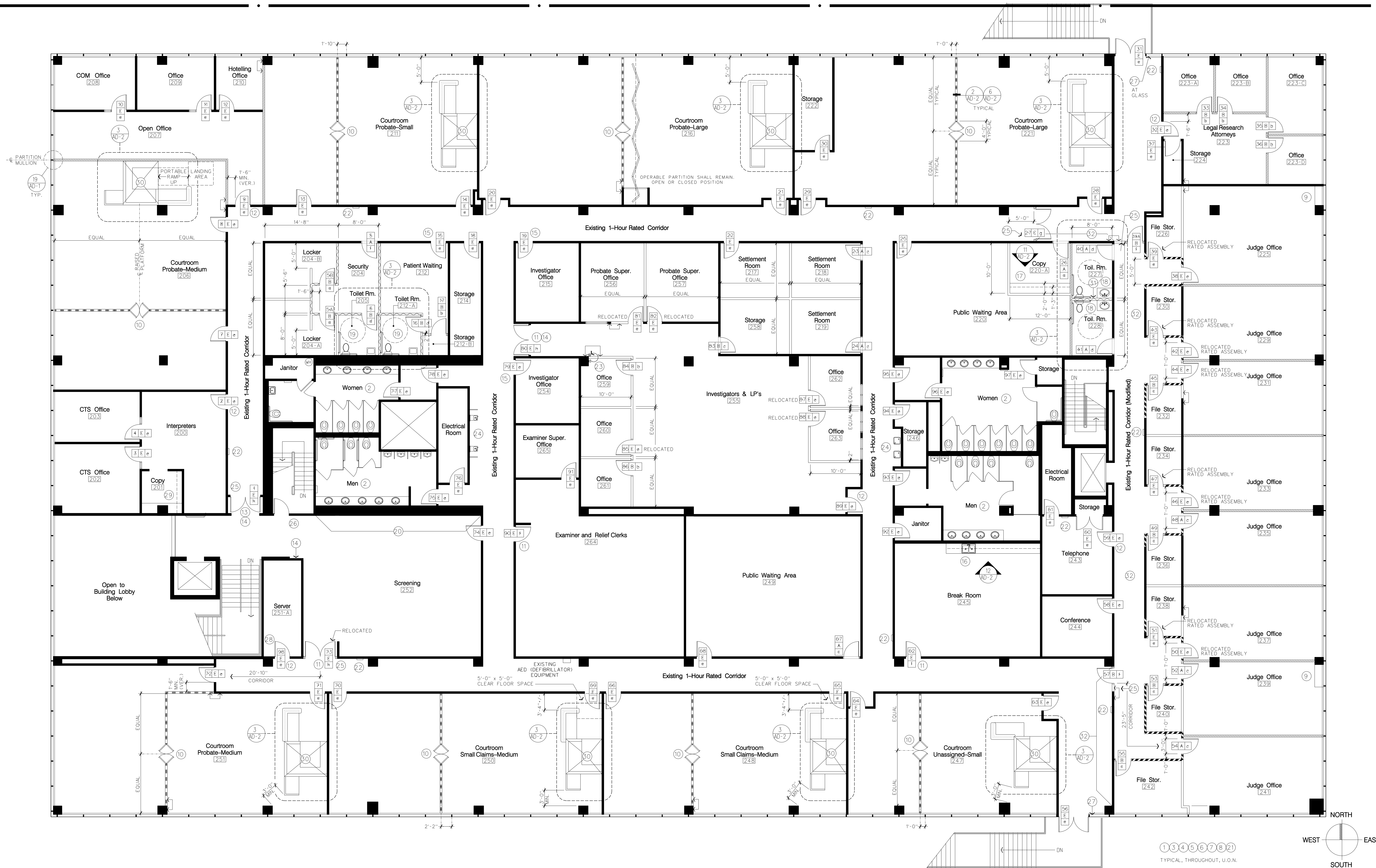
# Orange County Superior Courts

3390 Harbor Boulevard  
1st and 2nd Floor  
Costa Mesa, Ca

**J. Marzich Design**  
Commercial Interior Planning  
25 Center St., Rancho Mission Viejo, CA 92694  
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## SECOND FLOOR CONSTRUCTION PLAN



NOTE: REFER TO SHEET A2-1.1 FOR PLAN KEY-NOTES AND ADDITIONAL INFORMATION RELATED TO THIS PLAN.

Issues and Revisions				
No.	Date	Issues and Revisions	By	Check
01/14/22		Issued for Engineering	JSM	
02/01/22		Issued for Bid	JSM	

Project Name Orange County Superior Courts  
3390 Harbor Blvd., 1st and 2nd Flrs., Costa Mesa, CA  
Project Number 16.00.05  
Description Second Floor  
Construction Plan  
Computer File ccsc-cp2.dgn

Scale 1/8" = 1'-0" (U.O.N.)

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**3390 HARBOR BOULEVARD  
COSTA MESA, CA**



**WEST FACING ELEVATION**



NORTH FACING ELEVATION



EAST FACING ELEVATION



SOUTH FACING ELEVATION